

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

January 6, 2025

David Soule, P.E.  
Rio Grande Engineering  
P.O. Box 93924  
Albuquerque, NM 87199

**RE: 12800 Mountain Rd NE**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 1/2/25**  
**Engineer's Stamp Date: 1/8/23**  
**Hydrology File: J22D073**

Dear Mr. Soule:

PO Box 1293

Based on the Certification received 01/02/2025, the site photos submitted on 01/02/2025, and the site visit on 01/03/2025 this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

www.cabq.gov

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

**TYPE OF DEVELOPMENT:** PLAT (#of lots) \_\_\_\_\_ RESIDENCE  
DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

**DEPARTMENT:** TRANSPORTATION HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)  
ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT  
APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT  
APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_

**SITE HYDROLOGY**

**Weighted E Method**  
per city of Albuquerque Development Process Manual- chapter 22

Basin	Area (sf)	Area (acres)	Treatment				100-Year, 6-hr. Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	10-day Volume (ac-ft)			
			A (%)	B (%)	C (%)	D (%)							
EXISTING	7227.00	0.166	50%	0.0830	50%	0.083	0%	0.000	0.855	0.012	0.40	0.012	
DRAIN TO STREET	5226.00	0.120	0%	0.0000	18.0%	0.022	23.0%	0.02759	59%	0.071	2.418	0.024	0.49
RETAIN IN BACK YARD	2001.00	0.046	0%	0.0000	55.0%	0.025	45.0%	0.02067	0%	0.000	1.063	0.004	0.14

**Equations:**  
Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)  
Volume = Weighted E \* Total Area  
Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

Where for 100-year, 6-hour storm (ZONE 4)  
Ea= 0.76      Qa= 2.09  
Eb= 0.95      Qb= 2.73  
Ec= 1.2        Qc= 3.41  
Ed= 3.34      Qd= 4.78

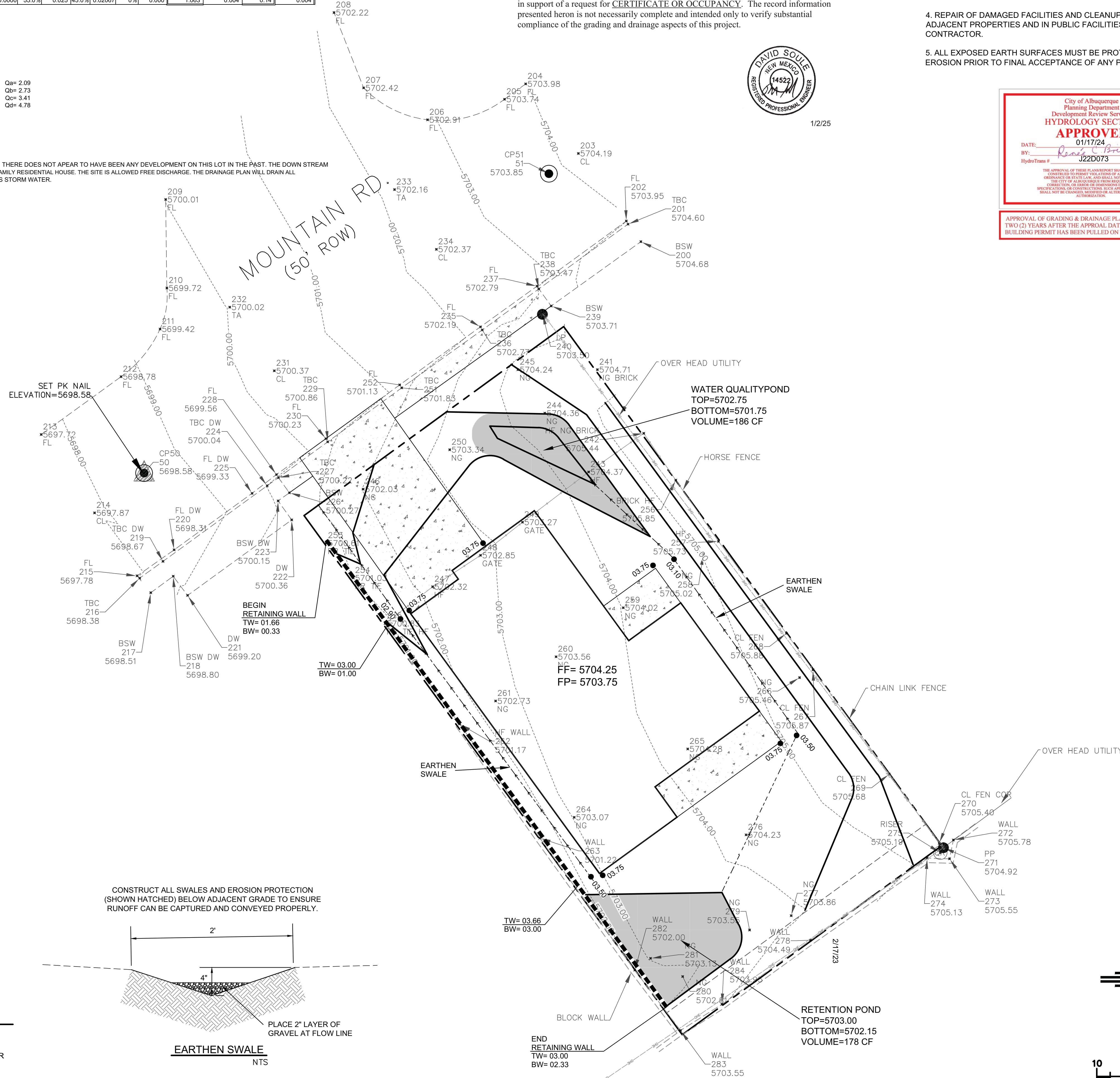
EXISTING DISCHARGE TO STREET    0.400 CFS  
PROPOSED DISCHARGE TO STREET 0.491 CFS  
REAR YARD GENERATION          177.171875

**DRAINAGE NARRATIVE**  
THIS SITE IS LOCATED WITHIN A FULLY DEVELOPED NEIGHBORHOOD. THERE DOES NOT APPEAR TO HAVE BEEN ANY DEVELOPMENT ON THIS LOT IN THE PAST. THE DOWN STREAM IMPROVEMENTS ARE IN PLACE. THE PROPOSED PROJECT WILL BE A SINGLE FAMILY RESIDENTIAL HOUSE. THE SITE IS ALLOWED FREE DISCHARGE. THE DRAINAGE PLAN WILL DRAIN ALL THE HOUSE ROOF TO THE STREET AND THE BACK YARD WILL RETAIN ITS STORM WATER.

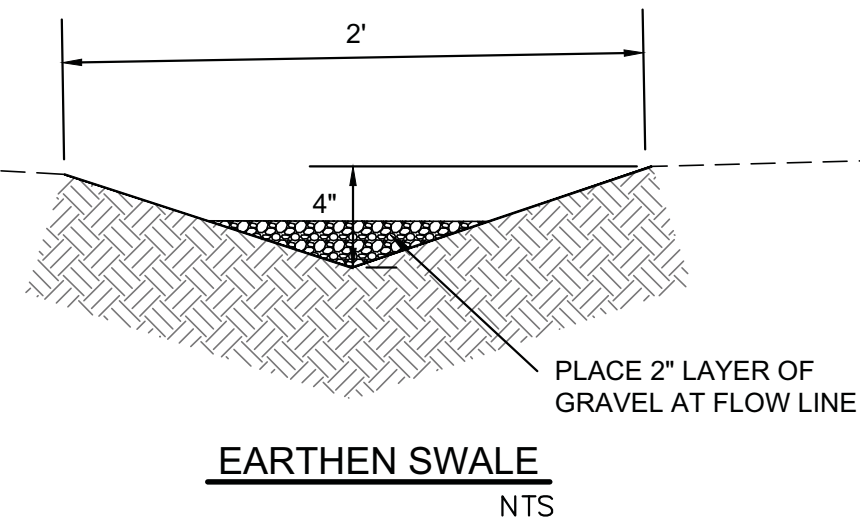
I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 1/8/23. The certification is submitted in support of a request for **CERTIFICATE OF OCCUPANCY**. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project.



1/2/25



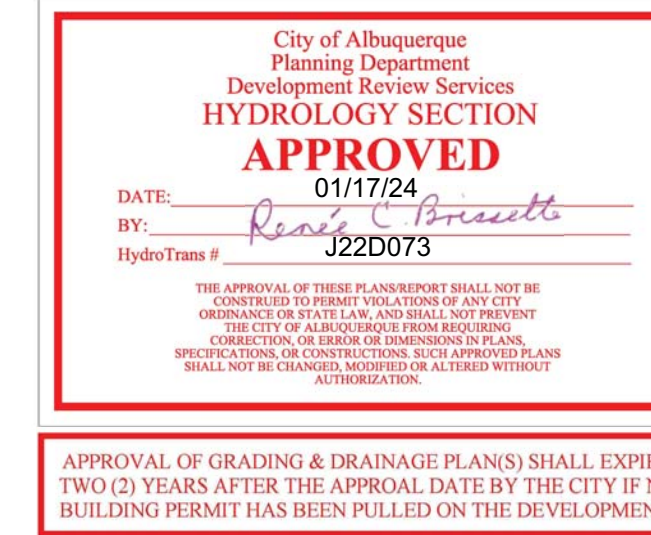
CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



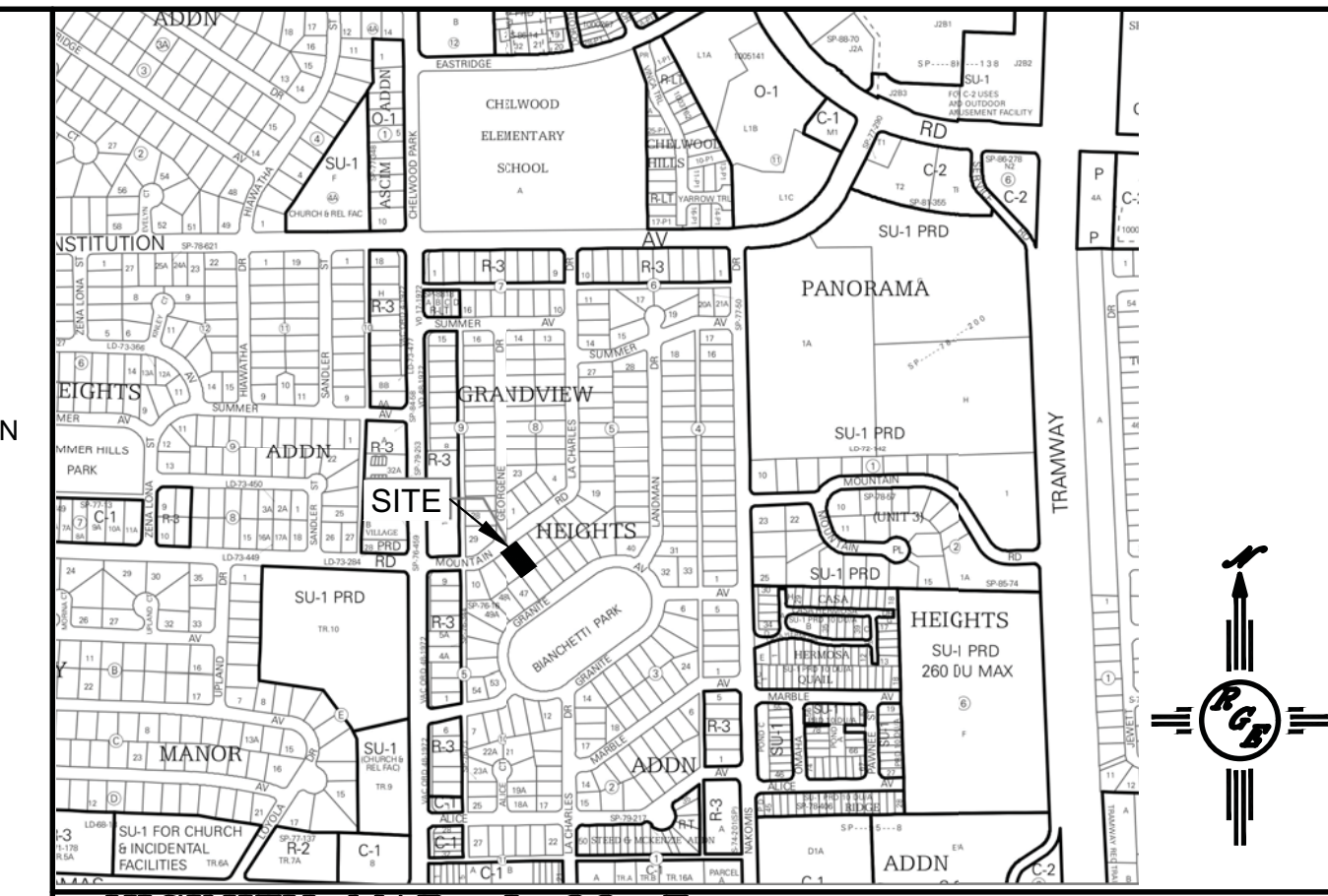
**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

**EROSION CONTROL NOTES:**

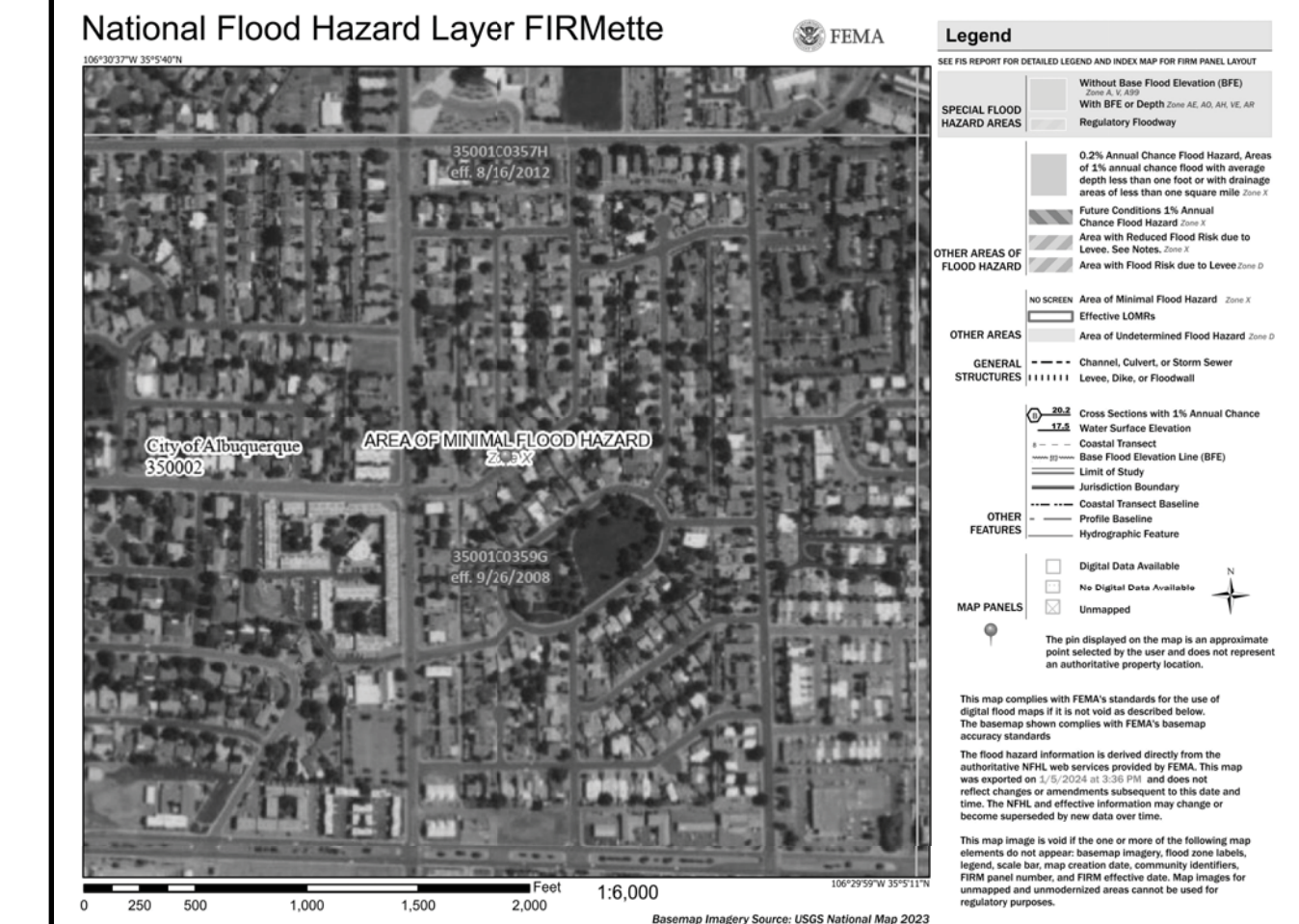
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



**VICINITY MAP: J-22-Z**



**FIRM MAP:**

**LEGAL DESCRIPTION:**

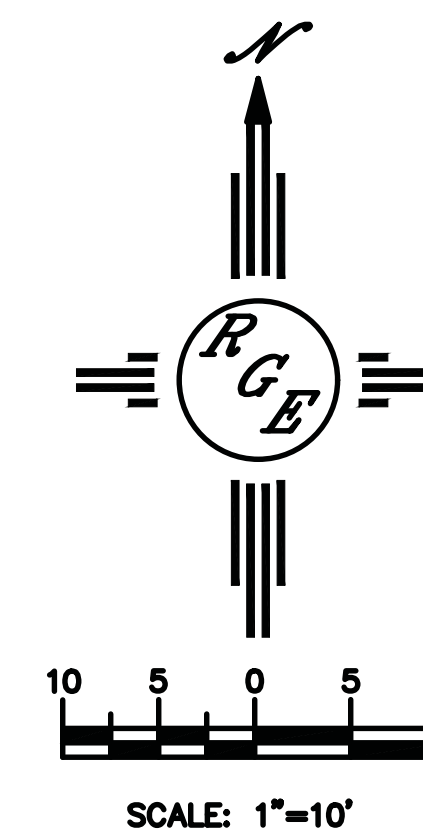
LOT 13, BLOCK 5 GRANDVIEW HEIGHTS  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**NOTES:**

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY DYNAMIC CONSTRUCTION AND TECHNOLOGY LLC USING NAD83 DATUM.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

**LEGEND**

- XXXX----- EXISTING CONTOUR
- XXXX----- EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- + XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED PONDING



ENGINEER'S SEAL	<b>LOT 13, BLK 5 GRANDVIEW HEIGHTS</b> <b>12800 MOUNTAIN RD</b>  <b>GRADING AND DRAINAGE PLAN</b>	DRAWN BY DEM
		DATE 1-7-24
DAVID SOULE P.E. #14522	 RIO BOX 53294 ALBUQUERQUE, NM 87199 (505) 321-8099	12800 Mountain Rd. DWG
1/8/23		SHEET # <b>C1</b>
		JOB #