

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 12, 2025

Derek Bohannon
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM, 87109

**RE: Mister Car Wash
1020 Juan Tabo Blvd NE
Grading and Drainage Plan
Engineer's Stamp Date: 10/22/25
Hydrology File: J22D074
Case # HYDR-2025-00392**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 10/30/2025, the Grading & Drainage Plans are not approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. A portion of this project is located in a floodplain (AO-1') and a floodplain development permit must be obtained. The permit application must demonstrate zero rise to the base flood elevation, unless a Letter of Map Revision (LOMR) is being prepared. Please contact Rudy Rael, CFM for more information regarding floodplain development permits (rrael@cabq.gov or 505-924-3977).



2. Please show the SFHA boundary on the plan.
3. Please update the floodplain note with the SFHA information.
4. Please state the 100-year BFE and verify that the proposed FF elevation is sufficient.

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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,



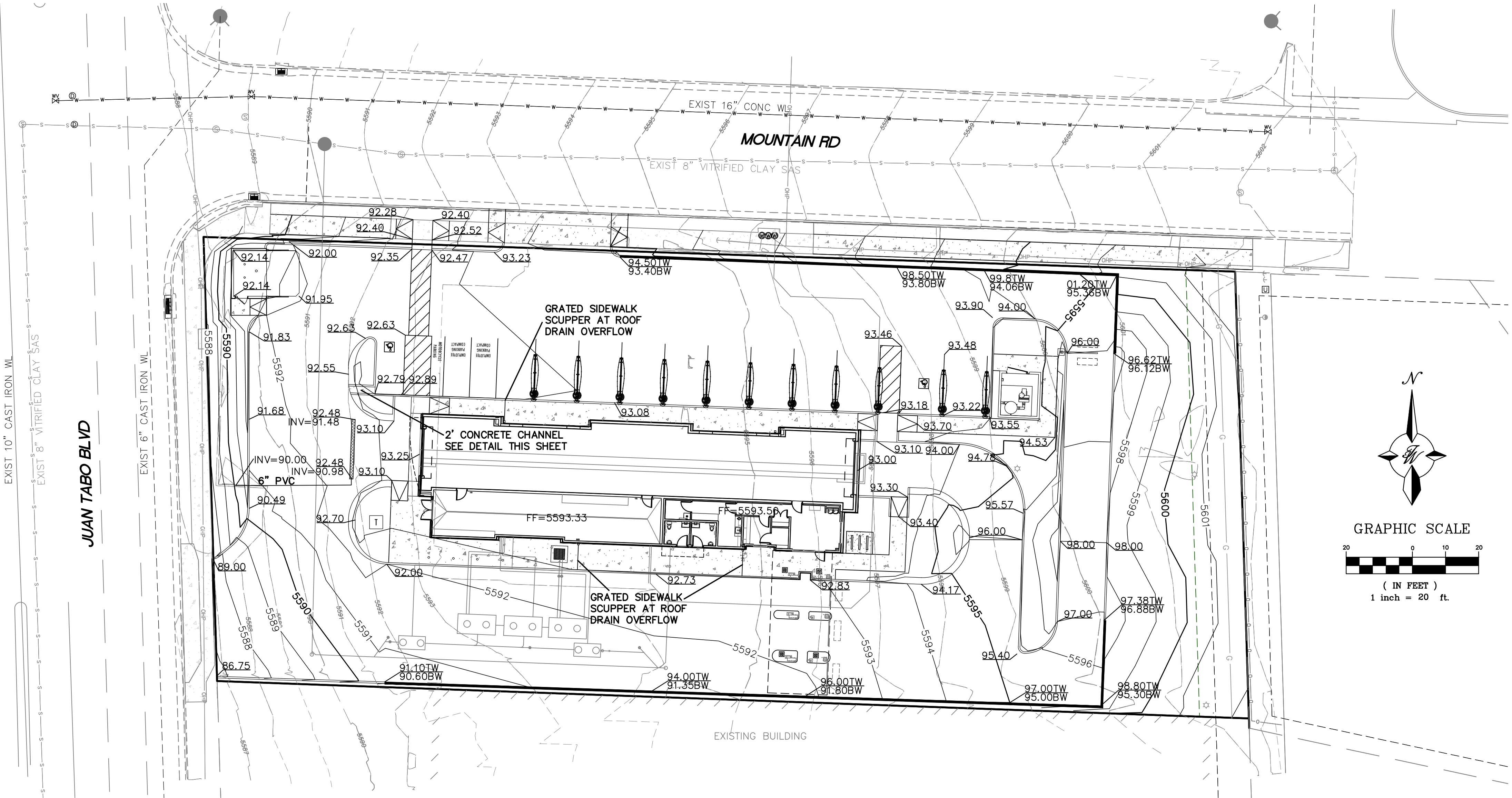
Anthony Montoya, Jr., P.E., C.F.M.
Senior Engineer, Hydrology
Planning Department, Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	BUILDING
	RETAINING WALL
	CONCRETE SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING SAS MH
	EXISTING GATE VALVE
	EXISTING WATERLINE
	EXISTING SAS
	8" SAS
	SANITARY SEWER LINE
	8" WL
	WATERLINE

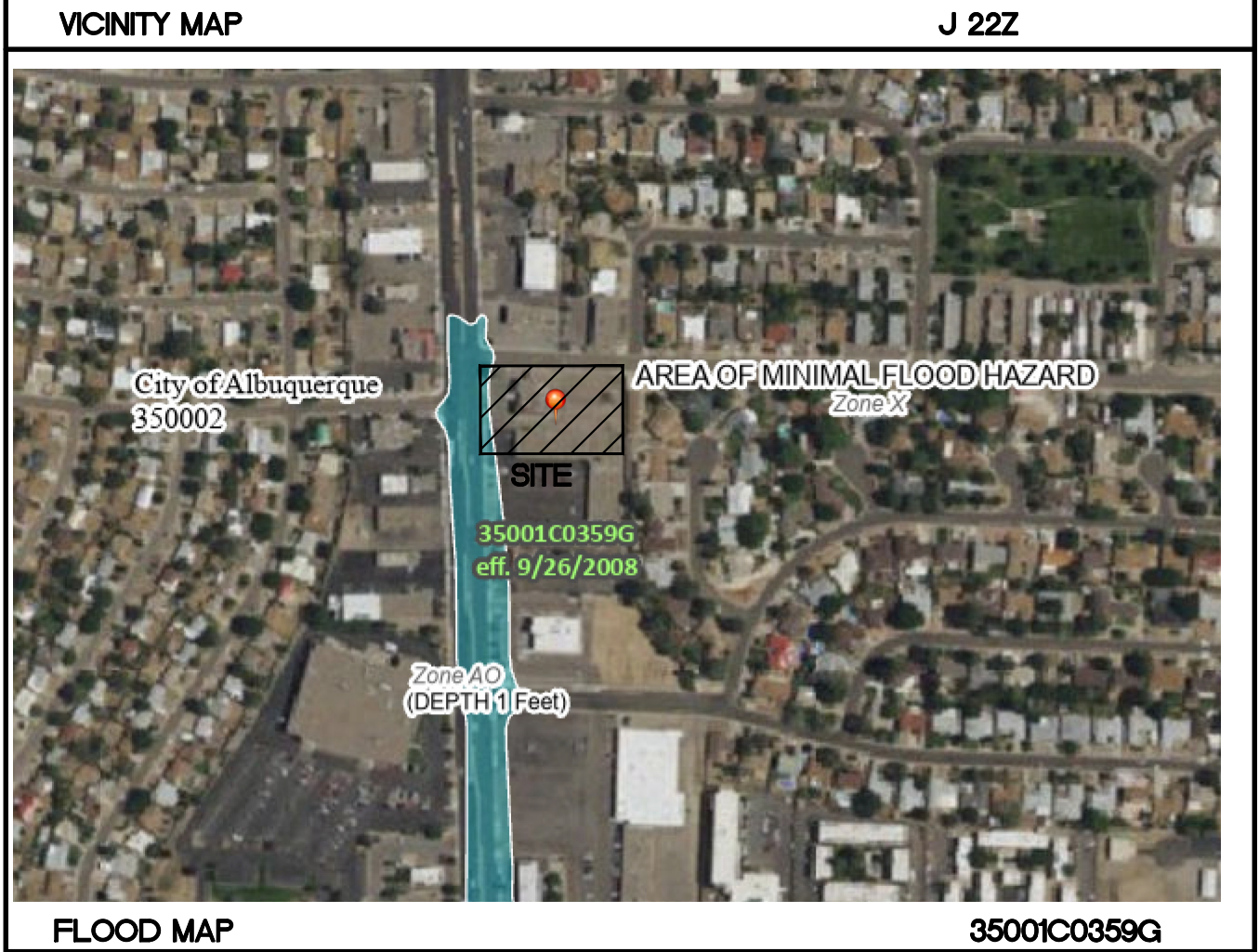
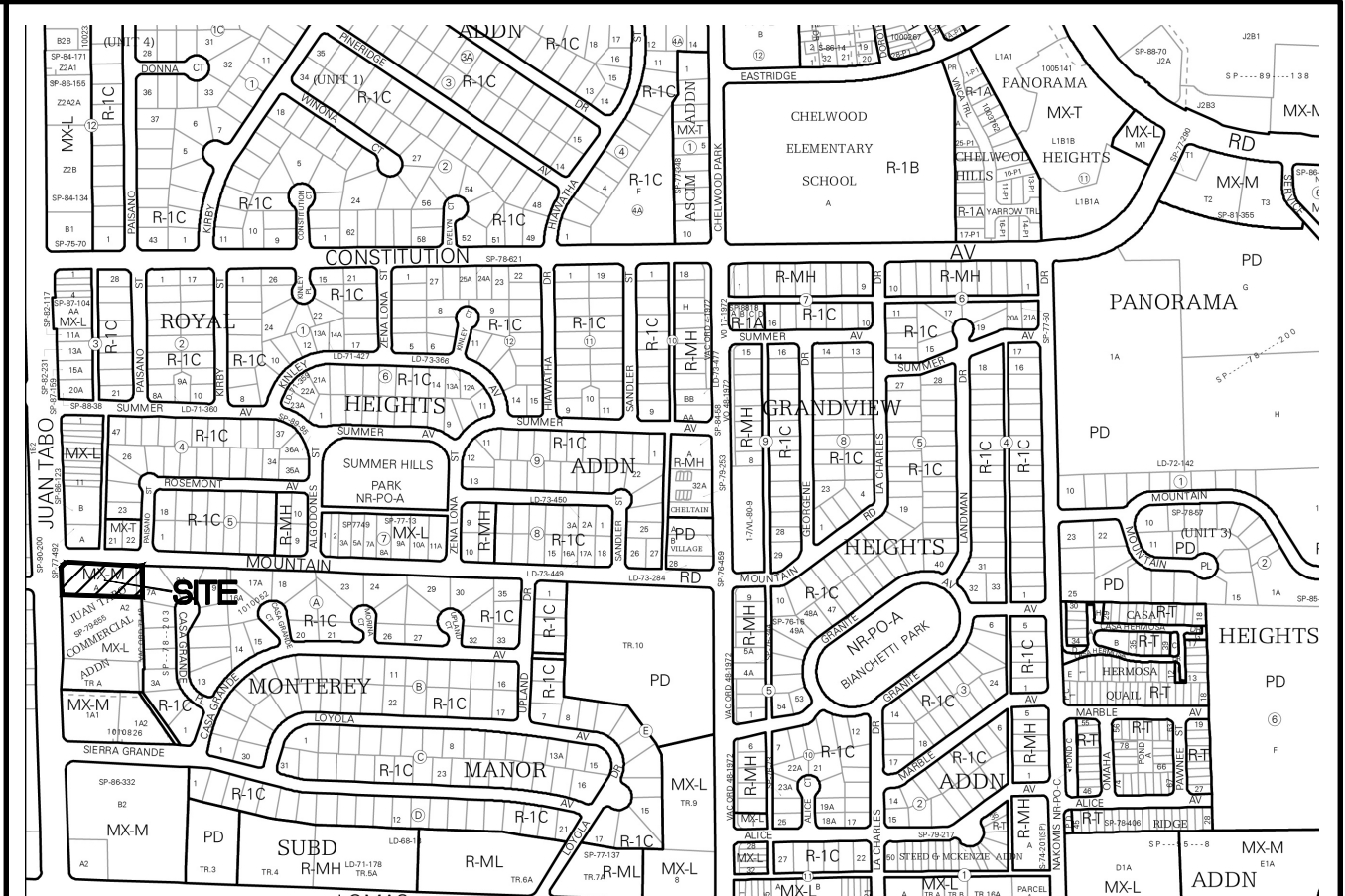
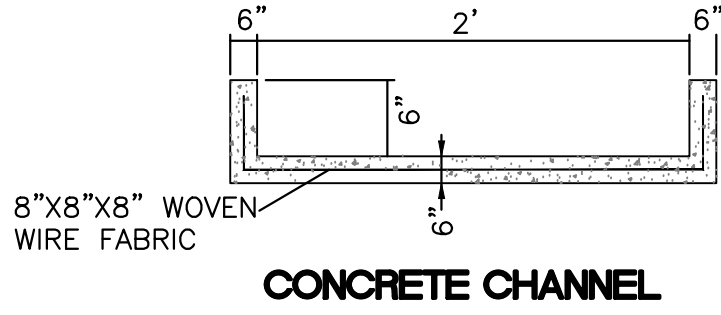
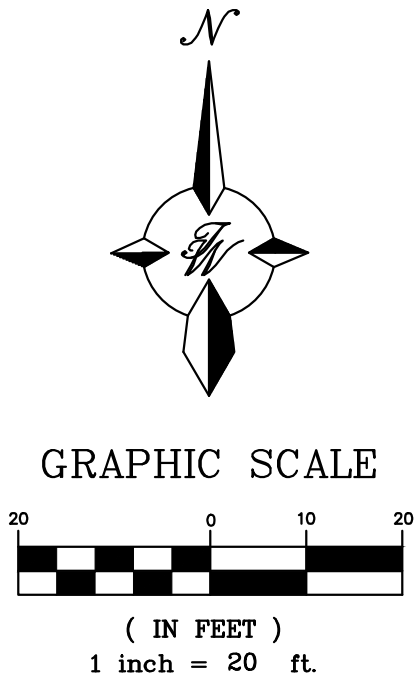
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3/4" GRAVEL.

NOTE
ALL GRADES ARE TO FLOWLINE UNLESS OTHERWISE INDICATED



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

	ENGINEER'S SEAL	MISTER CAR WASH ALBUQUERQUE, NM	DRAWN BY pm
		GRADING AND DRAINAGE PLAN	DATE 10-22-25
			DRAWING
			SHEET # 5
			JOB # 2025017

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

Weighted E Method

Zone:
Zone 4
Existing Basin

Basin	Basin Area			Treatments								100-Year			10-Year			2-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)									
Undeveloped Basin	41,817.4	0.964	0.0024	0%4	0.004	0%4	0.004	0%4	0.004	100%4	0.964	3.3404	0.2674	4.594	2.1504	0.1724	2.924	1.3904	0.1114	1.804
Total	41,817.6	0.960	0.00150		0.00		0.000		0.000		0.960		0.267	4.59		0.172	2.92		0.111	1.80

Zone:
Zone 4
Existing Basin

Basin	Basin Area			Treatments								100-Year			10-Year			2-Year		
	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs	Weighted E (in)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)									
Developed Basin	41,817.6	0.96	0.002	0%	0.00	15%	0.14	0%	0.00	85%	0.816	2.982	0.239	4.29	1.889	0.151	2.66	1.224	0.098	1.57
Total	41,817.6	0.960	0.00150		0.00		0.144		0.000		0.816		0.239	4.29		0.151	2.66		0.098	1.57
												Delta	-0.30			Delta	-0.25		Delta	-0.23

6-Hour Excess Precipitation, 'E' (DPM 6.2.13)					
Zone:	Event	A	B	C	D
Zone 4	100 Year	0.76	0.95	1.2	3.34
Zone 4	10 Year	0.25	0.41	0.59	2.15
Zone 4	2 Year	0	0.28	0.87	1.39

Peak Discharge Rate for Small Watersheds (DPM 6.2.14)					
Zone:	Event	A	B	C	D
Zone 4	100 Year	2.09	2.73	3.41	4.78
Zone 4	10 Year	0.7	1.28	1.89	3.04
Zone 4	2 Year	0	0.28	0.87	1.88

6-Hour Excess Precipitation, 'E' (DPM 6.2.13)					
Zone 1	2 Year	0	0.01	0.13	0.92
Zone 2	2 Year	0	0.02	0.16	0.98
Zone 3	2 Year	0	0.05	0.19	1.05
Zone 4	2 Year	0	0.28	0.87	1.39
Zone 1	100 Year	0.55	0.73	0.95	2.24
Zone 2	100 Year	0.62	0.8	1.03	2.33
Zone 3	100 Year	0.67	0.86	1.09	2.58
Zone 4	100 Year	0.76	0.95	1.2	3.34
Zone 1	10 Year	0.11	0.26	0.43	1.43
Zone 2	10 Year	0.15	0.3	0.48	1.51
Zone 3	10 Year	0.18	0.34	0.52	1.64
Zone 4	10 Year	0.25	0.41	0.59	2.15

Peak Discharge Rate for Small Watersheds (DPM 6.2.14)					
Zone 1	2 Year	0	0.02	0.5	1.56
Zone 2	2 Year	0	0.08	0.61	1.66
Zone 3	2 Year	0	0.15	0.71	1.73
Zone 4	2 Year	0	0.28	0.87	1.88
Zone 1	100 Year	1.54	2.16	2.87	4.12
Zone 2	100 Year	1.71	2.36	3.05	4.34
Zone 3	100 Year	1.84	2.49	3.17	4.49
Zone 4	100 Year	2.09	2.73	3.41	4.78
Zone 1	10 Year	0.3	0.81	1.46	2.57
Zone 2	10 Year	0.41	0.95	1.59	2.71
Zone 3	10 Year	0.51	1.07	1.69	2.81
Zone 4	10 Year	0.7	1.28	1.89	3.04

DRAINAGE NARRATIVE

THE PROPOSED SITE REDEVELOPS AN EXISTING SITE THAT PREVIOUSLY OPERATED AS COMMERCIAL RETAIL AND WILL REDEVELOP AS A TUNNEL DRIVE THROUGH CAR WASH. THE SITE IS APPROXIMATELY 0.9607 ACRES AND SITS AT THE CORNER OF MOUNTAIN RD NE AND JUAN TABO BLVD NE. THE SITE GENERALLY SLOPES EAST TO WEST TOWARDS JUAN TABO BLVD AND HISTORICALLY DISCHARGES WITHOUT ANY PONDING INTO JUAN TABO BLVD AND INTO CITY DRAINAGE INFRASTRUCTURE. THE REDEVELOPED SITE THROUGH THE USE OF WATER RECLAMATION FOR THE CAR WAS SERVICE AS WELL AS UPDATED SITE PLAN ADHERING TO IDO STANDARDS, WILL RESULT IN A REDEVELOPED SITE WITH LESS IMPERVIOUS SURFACE THAN THE EXISTING DEVELOPED SITE, RESULTING IN AN OVERALL DECREASE IN RUNOFF AS CAN BE REFERENCED IN THE ASSOCIATED WEIGHTED E TABLES. THE COMBINATION OF NEW IDO STANDARDS, THE SMALL LOT SIZE, LESSENING OF HISTORIC FLOWS, AND BEING SITUATED AT A CORNER LOT MAKES THE INSTALLATION OF A SWQ MANAGEMENT SYSTEM TOO CUMBERSOME TO ACCOMMODATE BASED ON THESE FACTORS AND WOULD NOT ALLOW FOR THE DEVELOPMENT OF THE PROPOSED PROJECT. FOR THIS PROJECT WE ARE SEEKING FEE IN-LIEU TO ACCOUNT FOR THE SWQ TREATMENT FOR THE NEW IMPERVIOUS REDEVELOPED AREA, THE STORM WATER QUALITY VOLUMES CAN BE REFERENCED VIA THE ASSOCIATED TABLES.

ENGINEER'S SEAL

RONALD R. BOHANNAN

NEW MEXICO

7868

PROFESSIONAL ENGINEER



10-22-25

RONALD R. BOHANNAN
P.E. #7868

MISTER CAR WASH
ALBUQUERQUE, NM

GRADING AND DRAINAGE
PLAN



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DRAWN BY
pm

DATE
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DRAWING

SHEET #
6

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