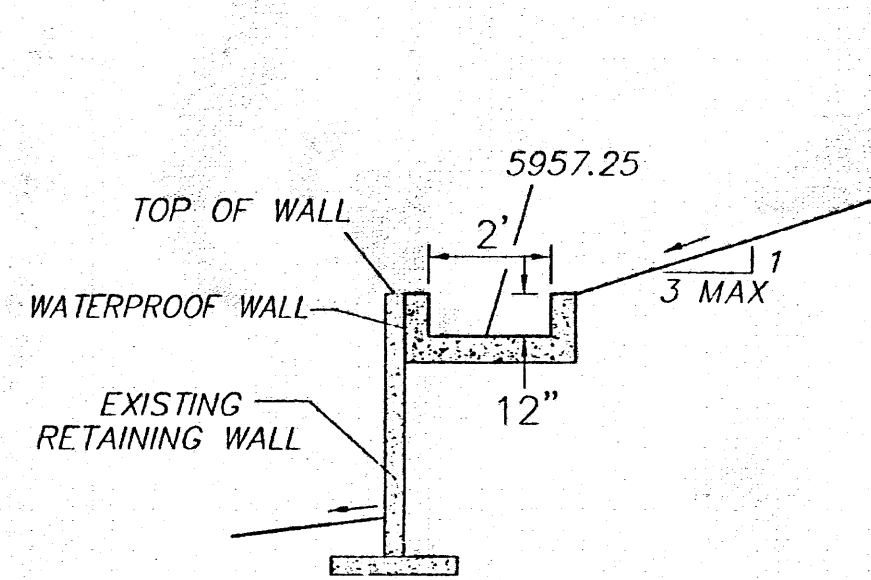


GENERAL NOTES:

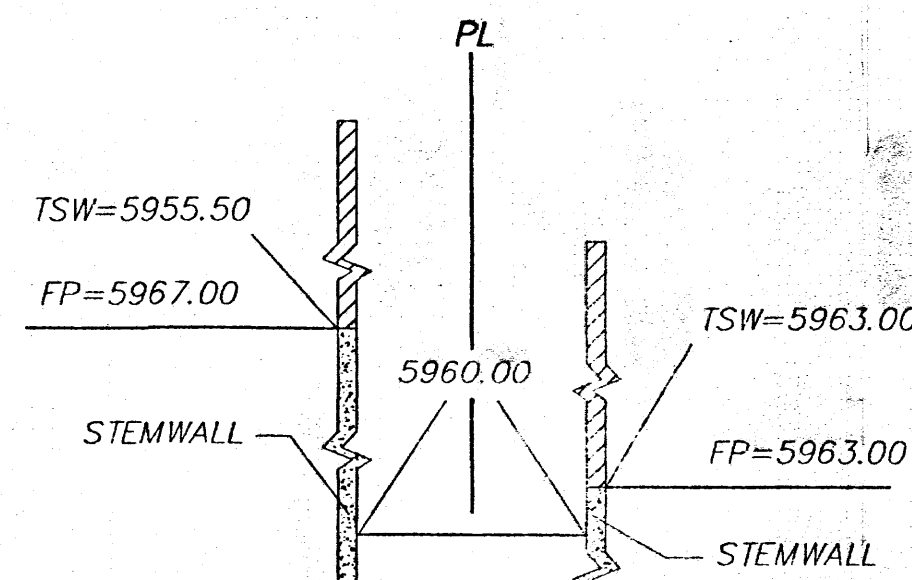
- 1: ADD 5900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
- 2: CONTOUR INTERVAL IS ONE (1) FOOT.
- 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 23-J23 HAVING AN ELEVATION OF 5836.473 FEET ABOVE SEA LEVEL.
- 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- 6: SLOPES ARE AT 3:1 MAXIMUM.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

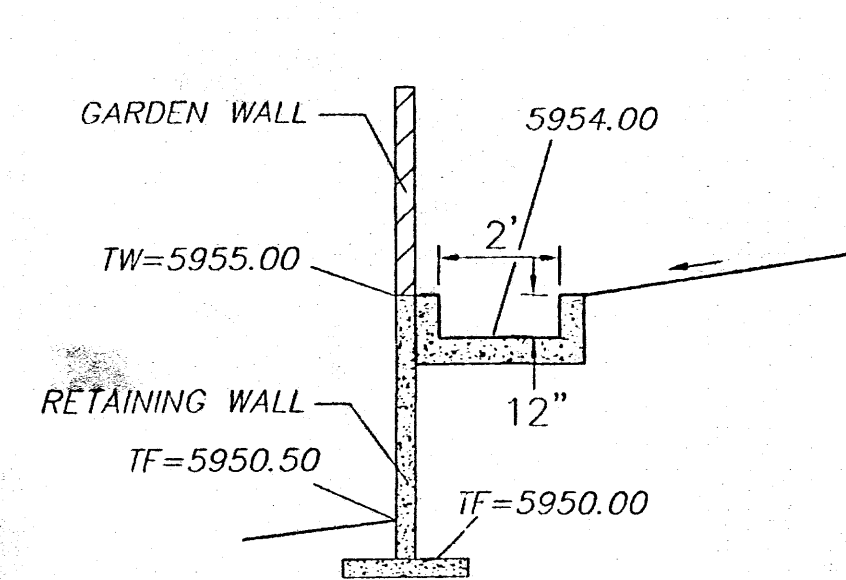
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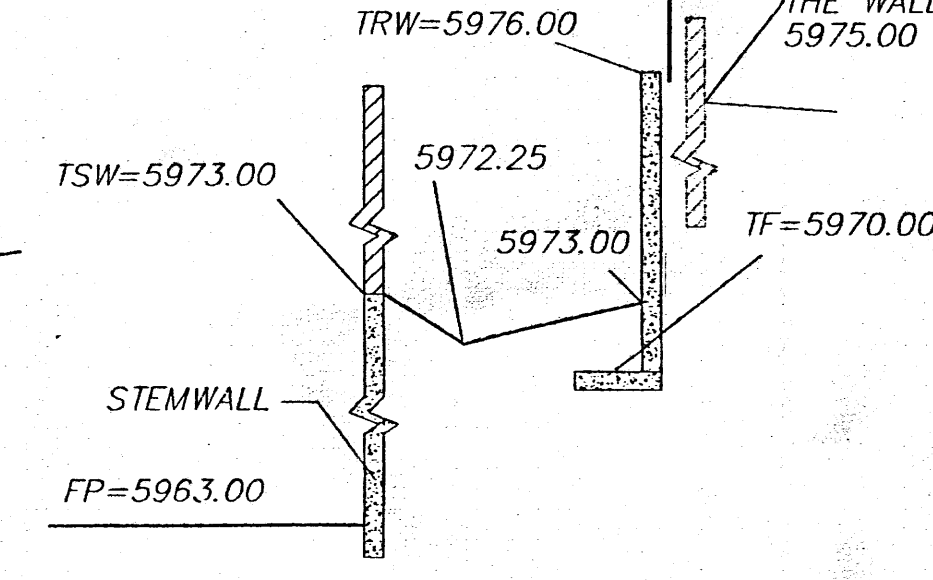
SECTION A-A
NTS



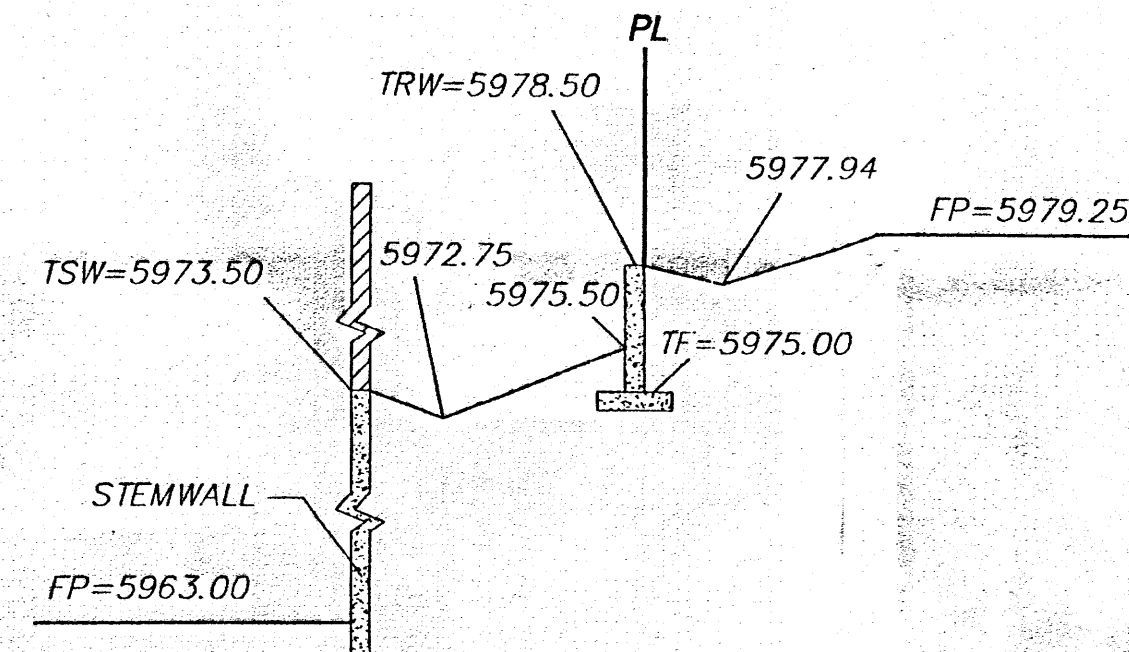
SECTION B-B
NTS



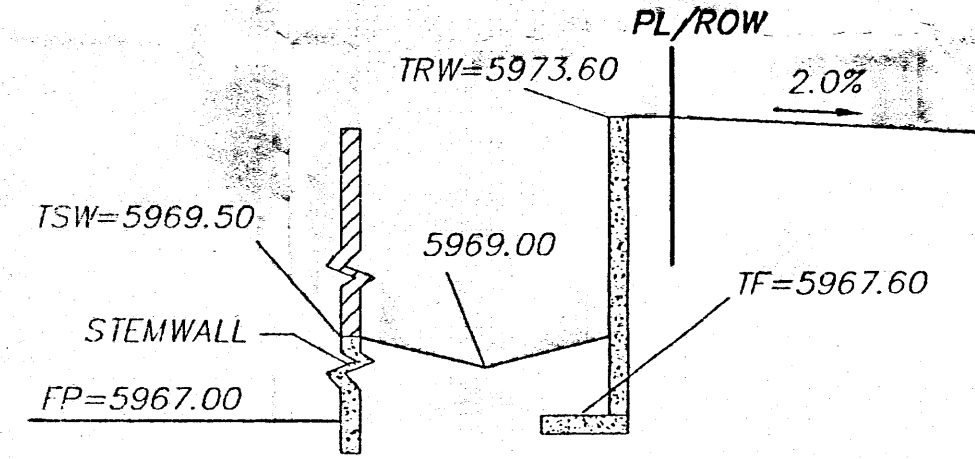
SECTION C-C
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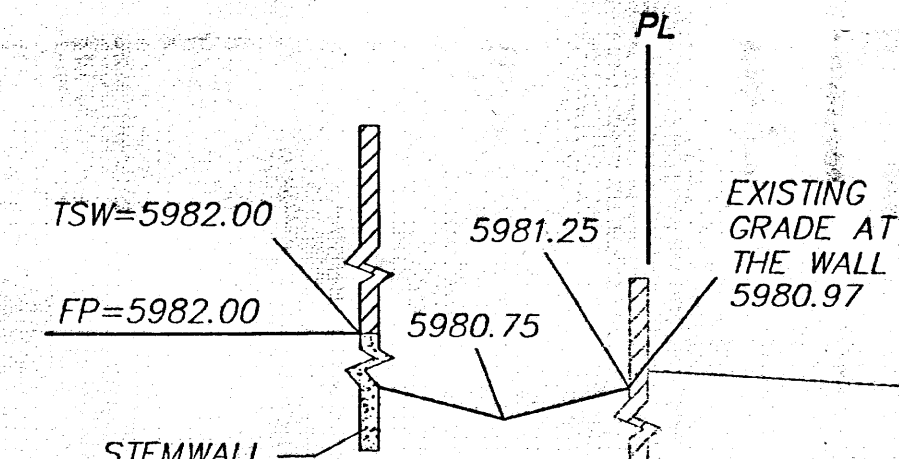
SECTION D-D
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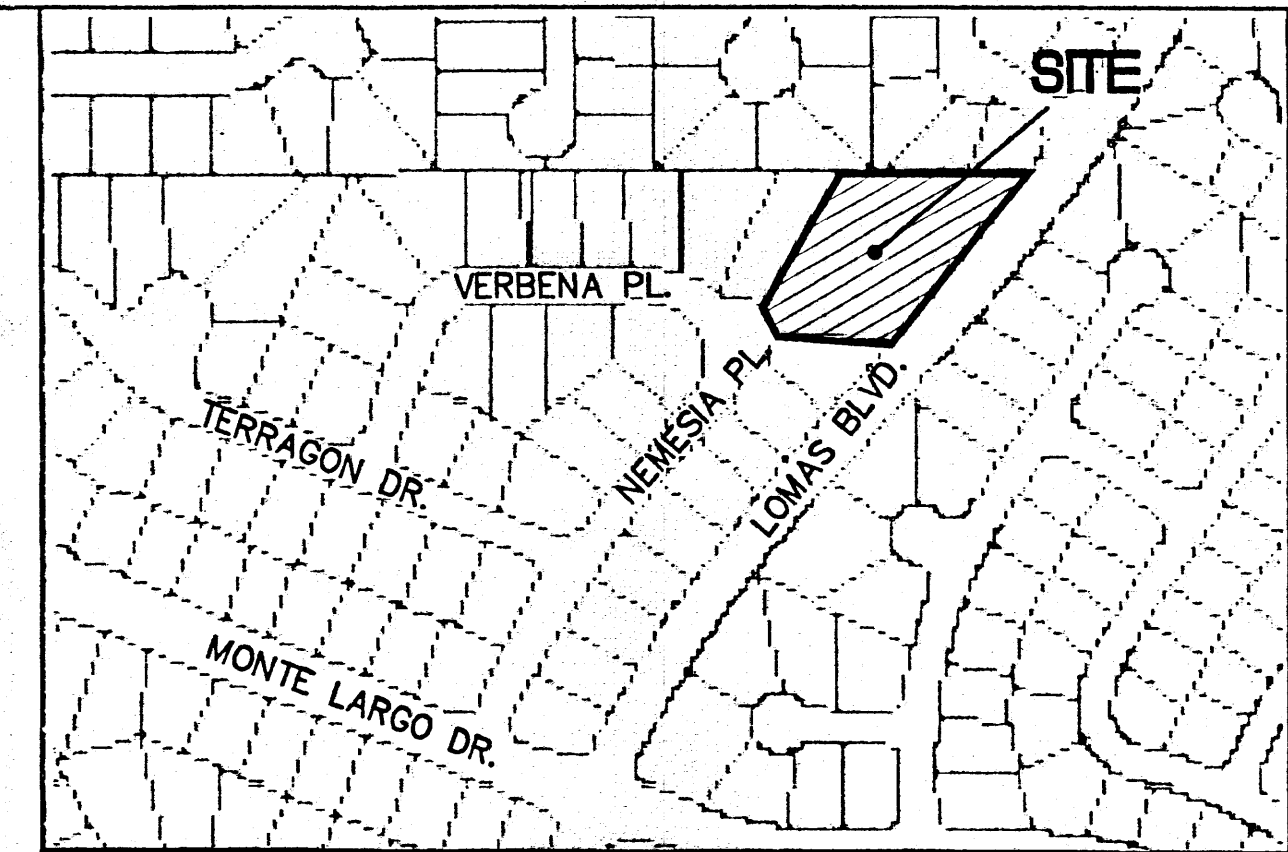
SECTION E-E
NTS



SECTION F-F
NTS



SECTION G-G
NTS



VICINITY MAP:

J-23-Z

LEGAL DESCRIPTION:

LOTS 20-A-1 THRU 20-A-6, BLOCK 1, CANDLELIGHT FOOTHILLS, UNIT 1 CONTAINING 48,351.95 SQUARE FEET (1.1100 ACRES) MORE OR LESS.

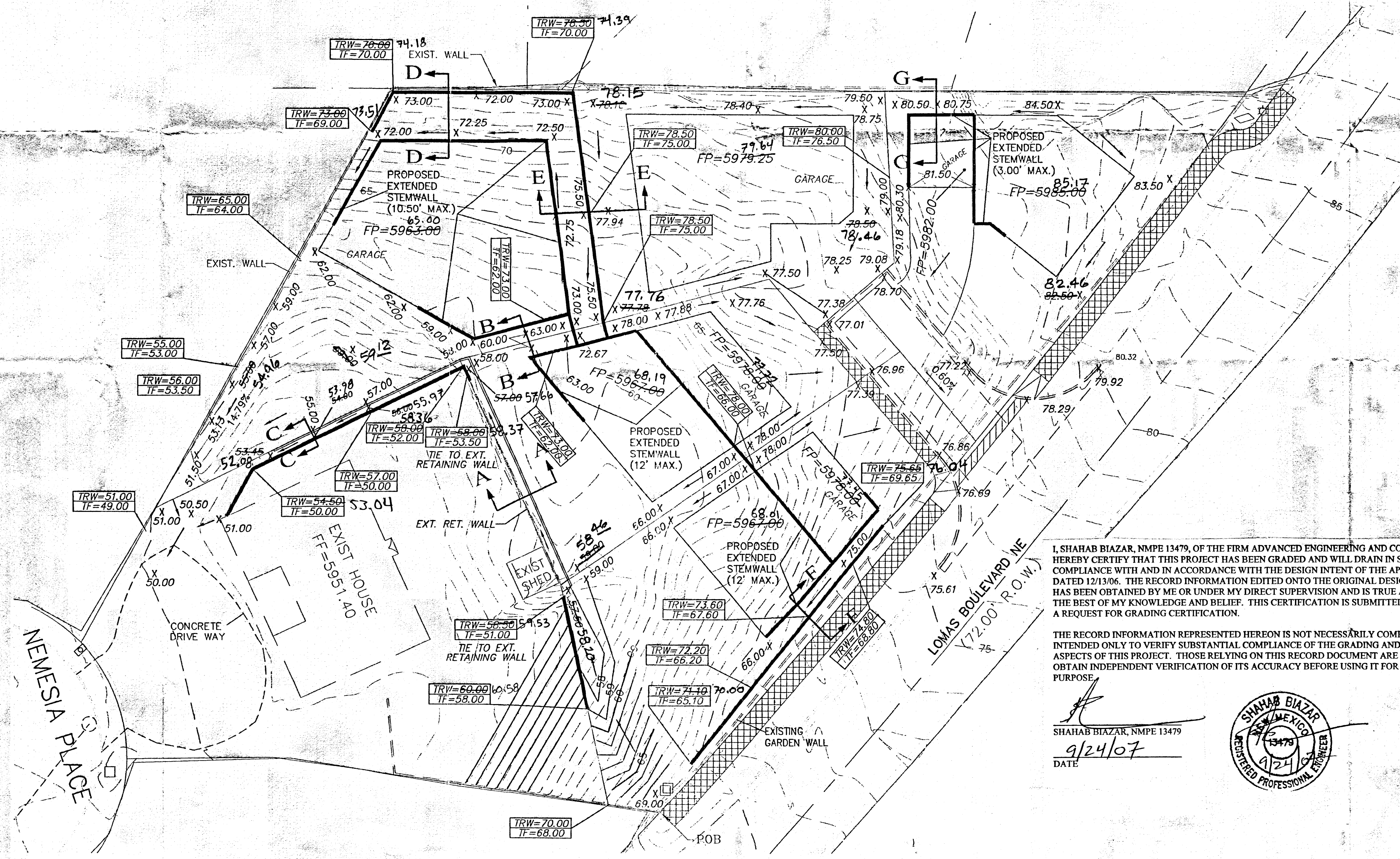


GRAPHIC SCALE

SCALE: 1"=20'

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EX. 8" SAS - EXISTING SANITARY SEWER LINE
- EX. 16" WL - EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
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- TOP OF FOOTING
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- EXISTING STREET LIGHT
- EXISTING ANCHER
- EXISTING POWER POLE



ROUGH GRADING APPROVAL DATE

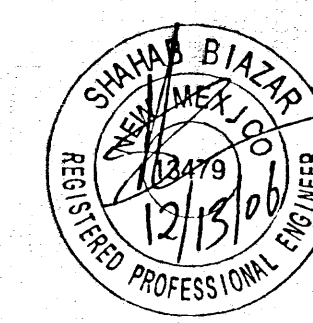
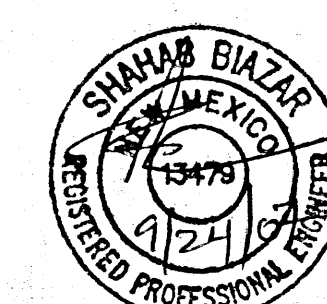
NOTICE TO CONTRACTORS

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2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

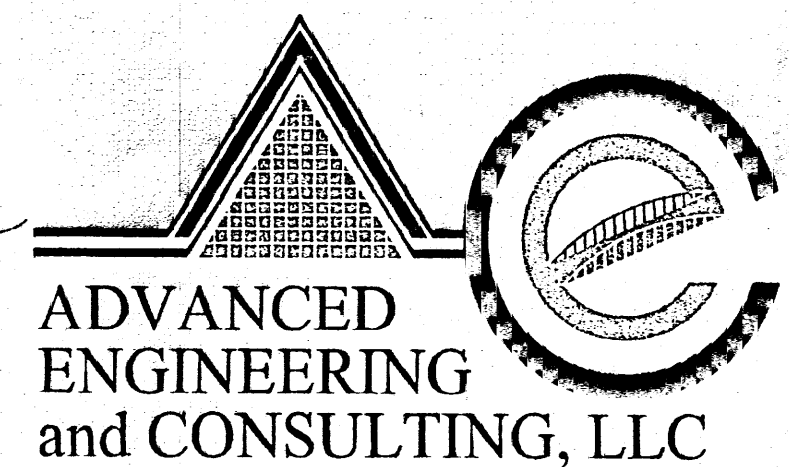
I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/13/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION.

THE RECORD INFORMATION REPRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE 13479
9/24/07
DATE



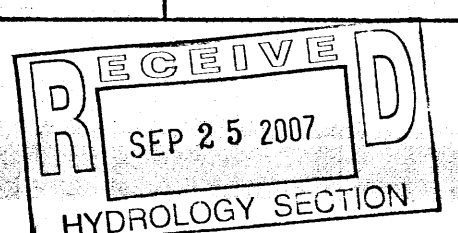
SHAHAB BIAZAR
P.E. #13479



4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505) 899-5570

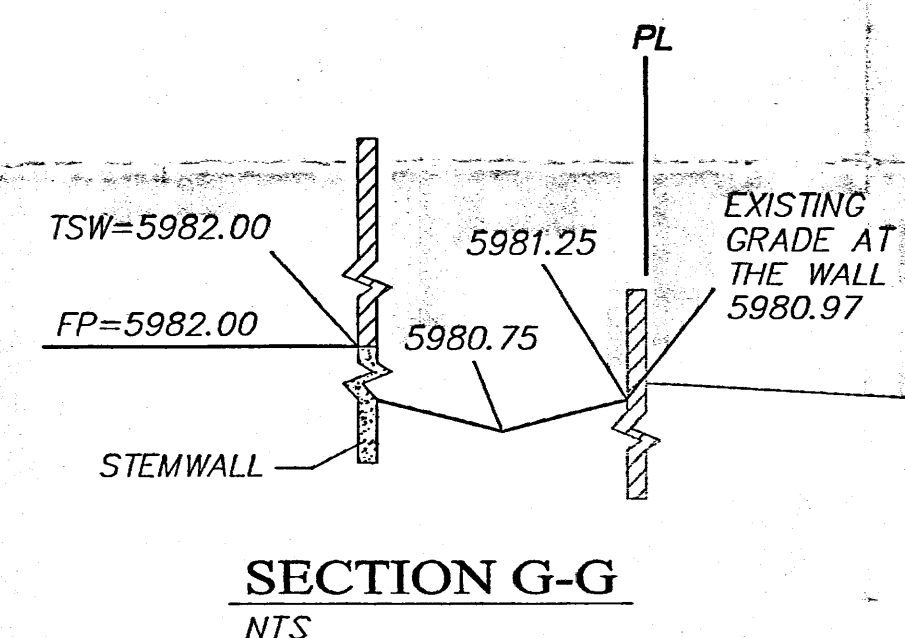
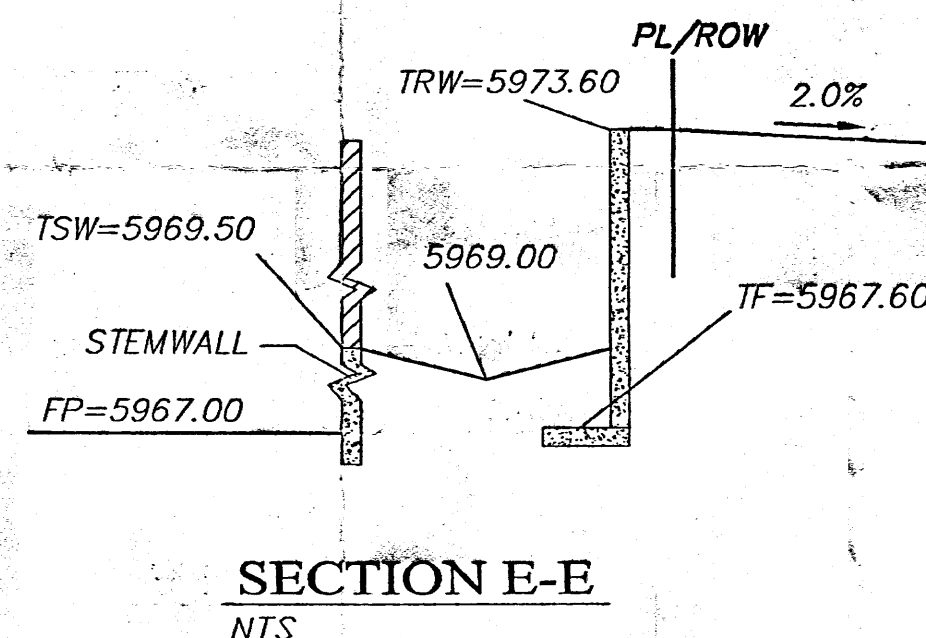
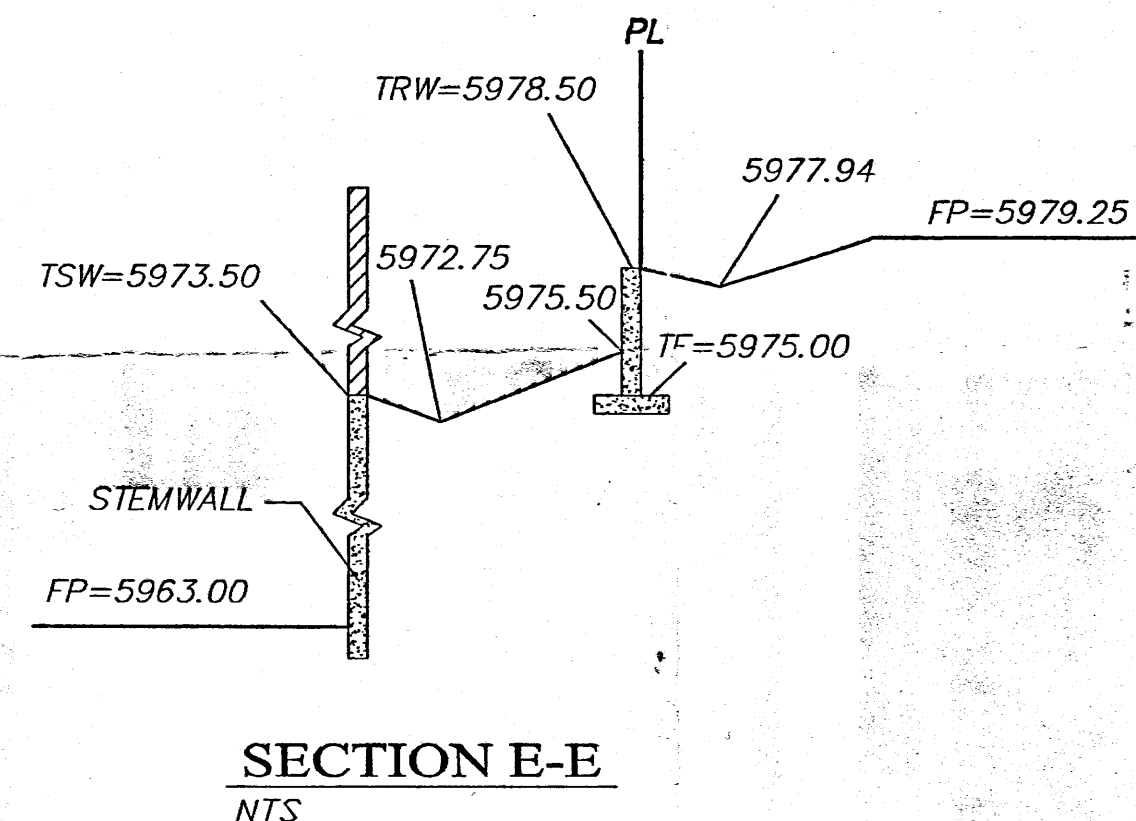
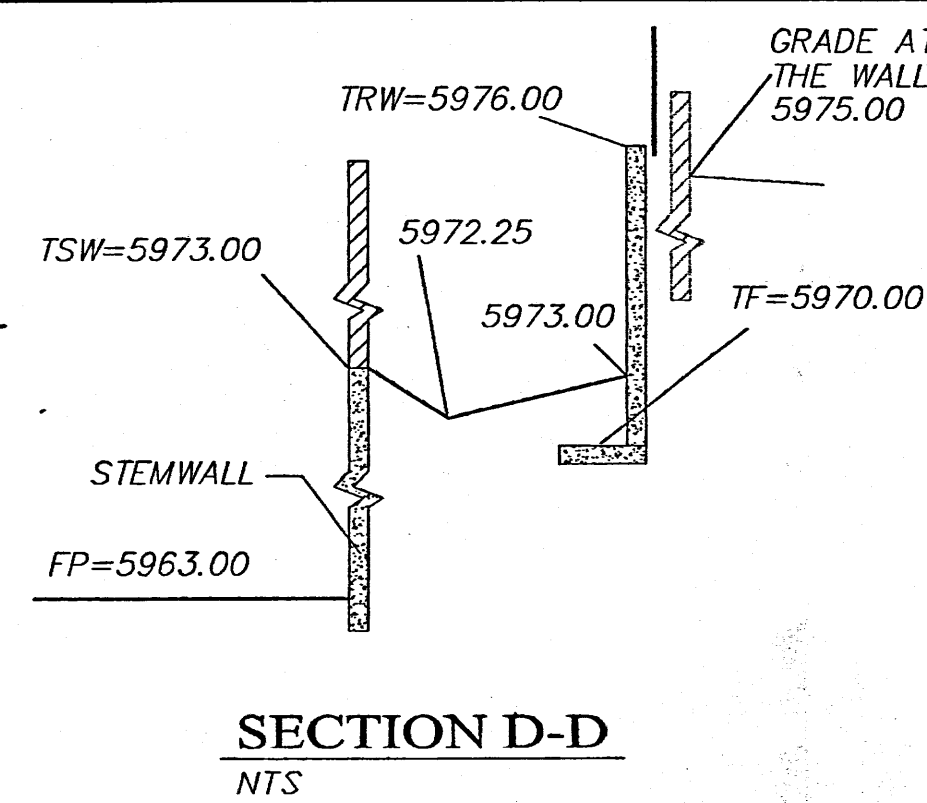
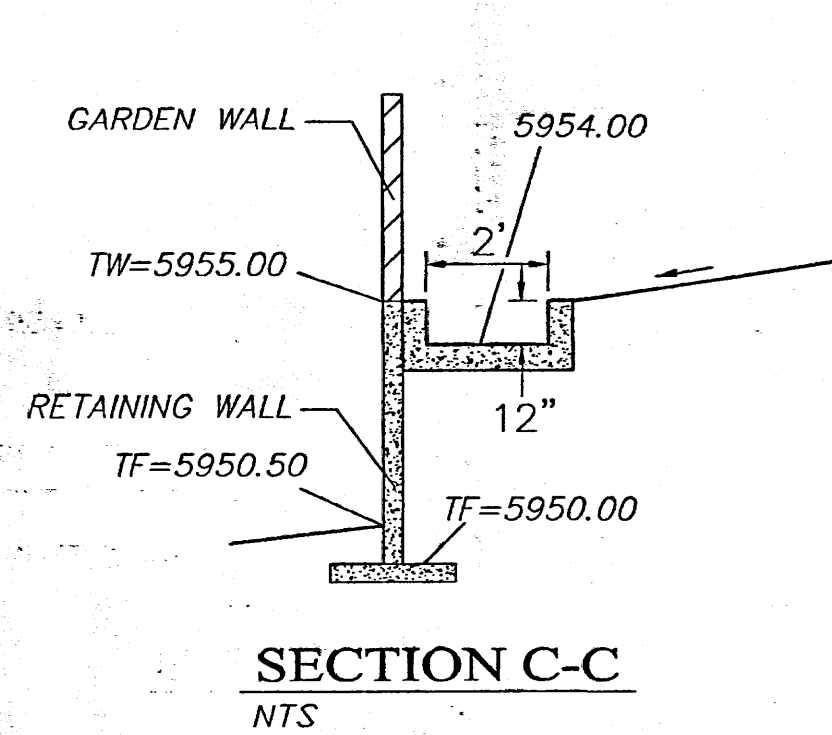
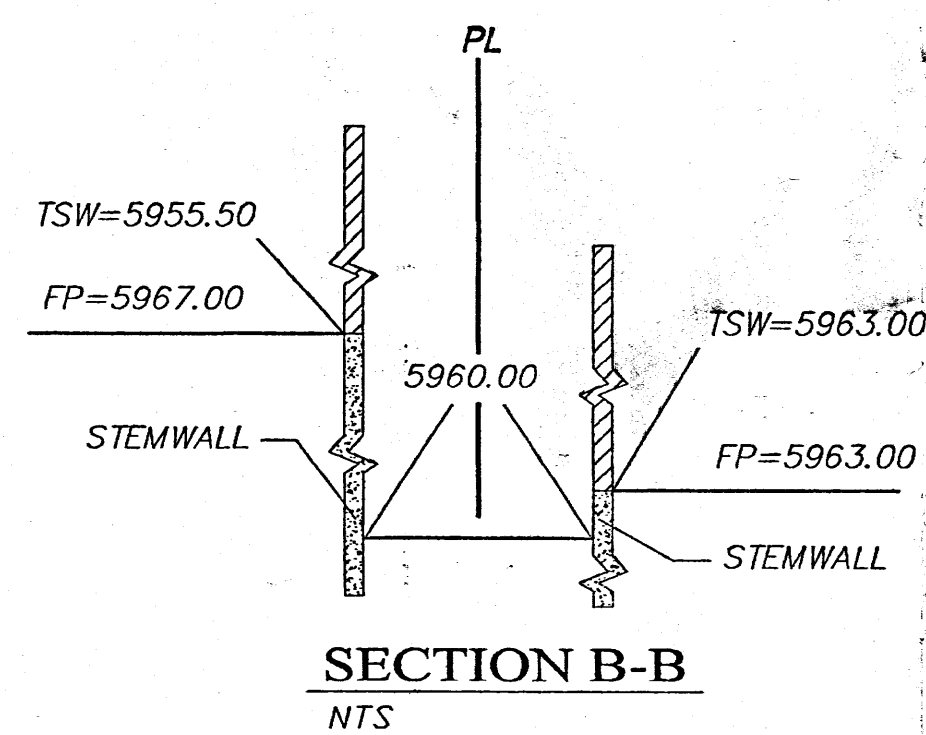
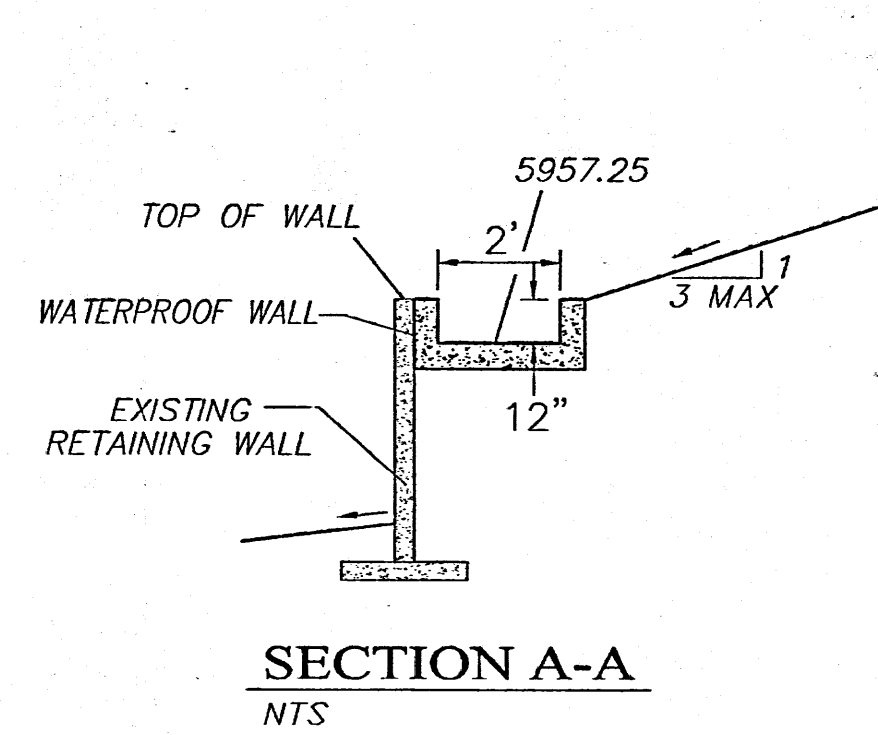
LOTS 20-A-1 THRU 20-A-6, GRADING AND DRAINAGE PLAN FOR INFORMATION ONLY

DRAWING:	DRAWN BY:	DATE:	SHEET #
200442-GR.DWG	SBB	12-21-2004	1 OF 1



GENERAL NOTES:

- 1: ADD 5900 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
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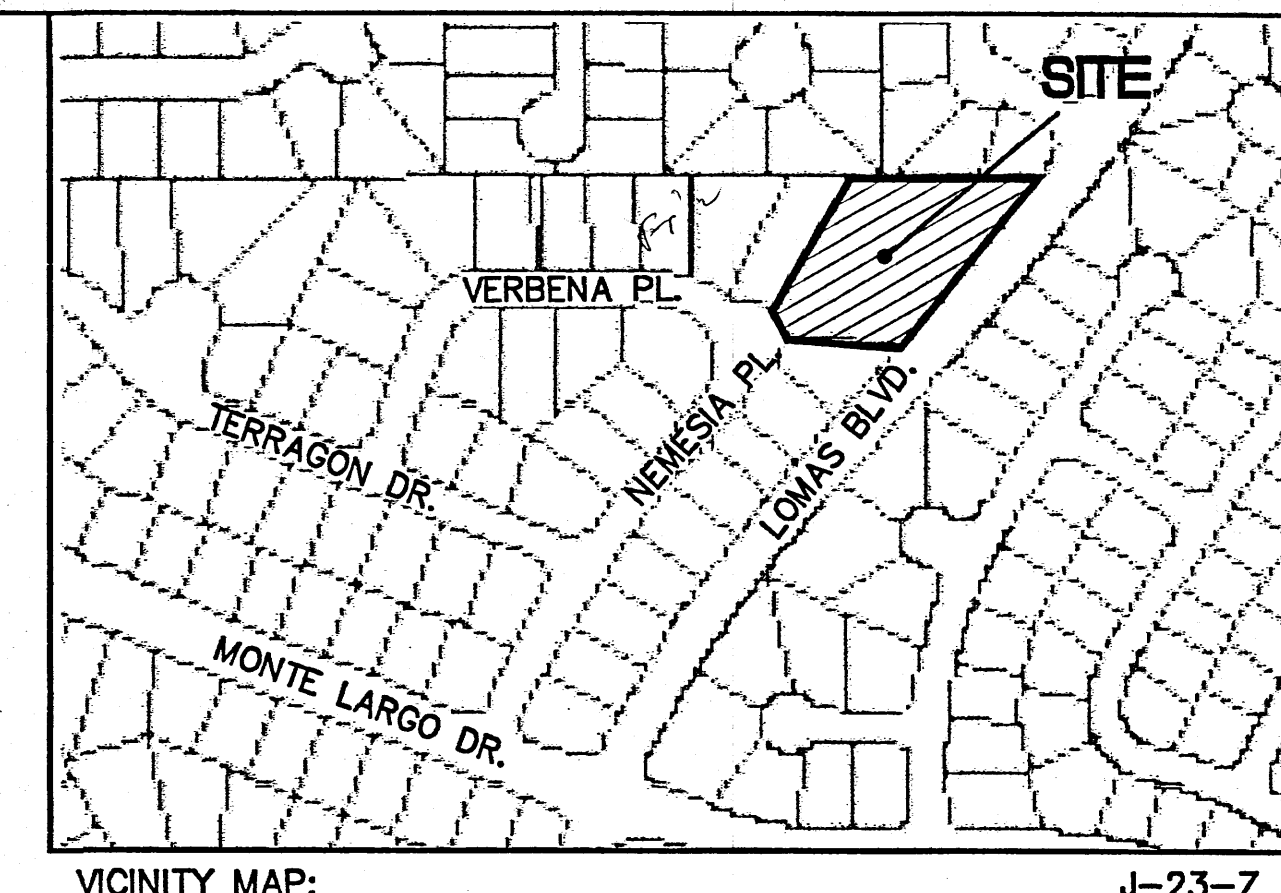
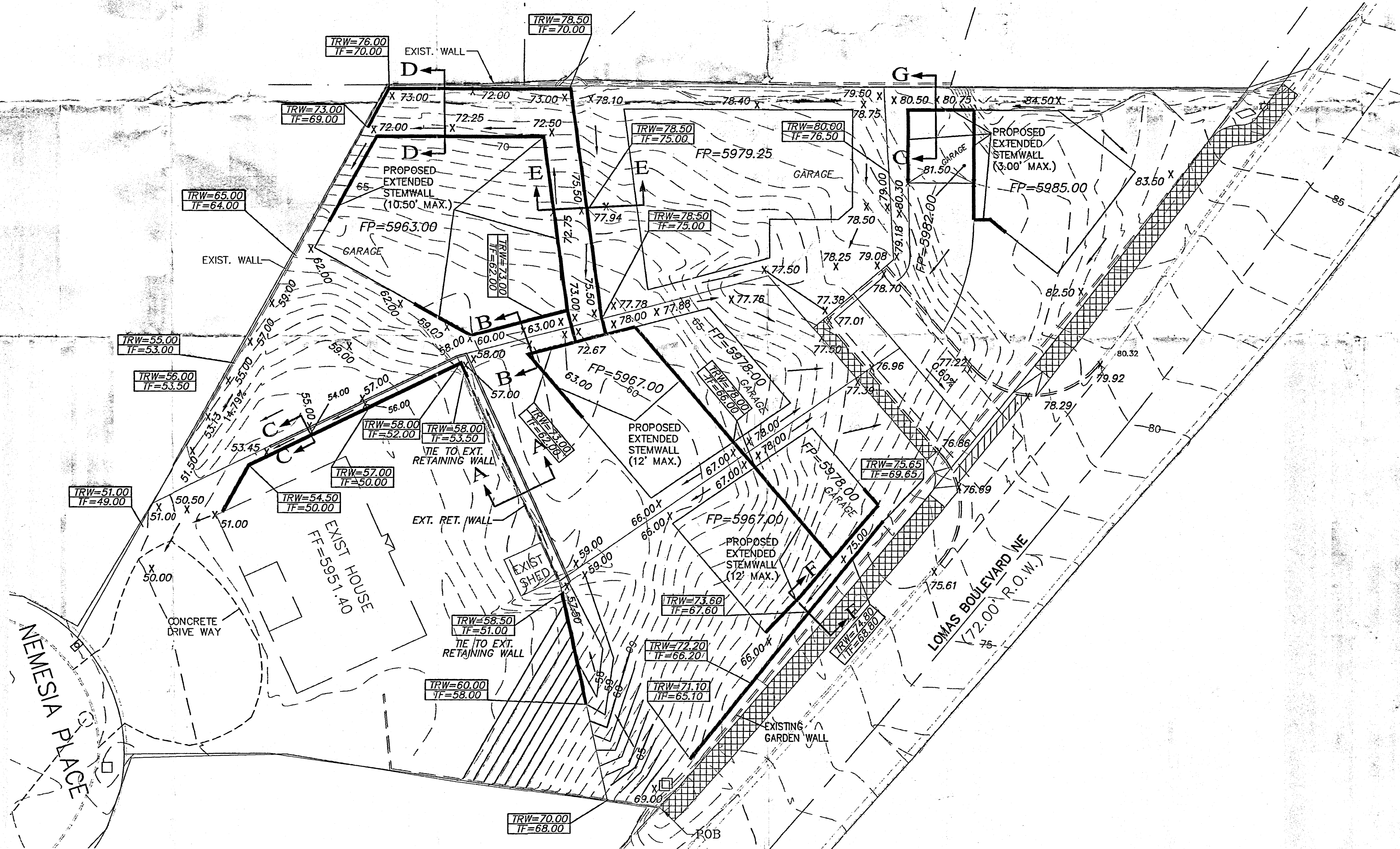


EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

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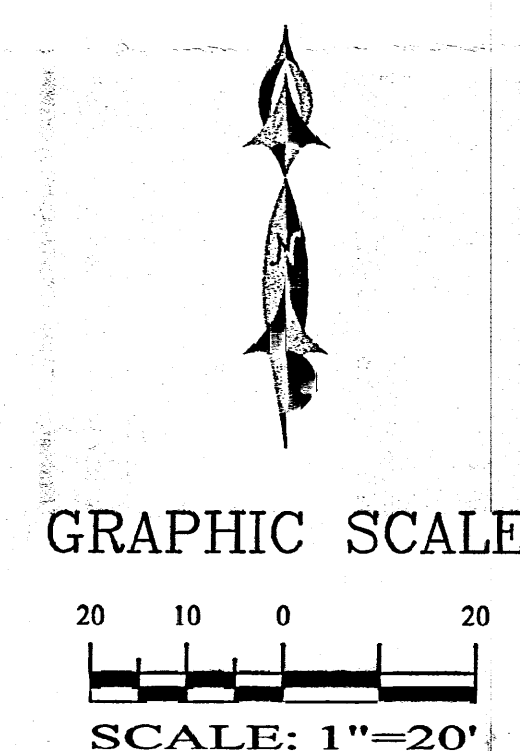
LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EX. 8" SAS - EXISTING SANITARY SEWER LINE
- EX. 16" WL - EXISTING WATER LINE
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- TOP OF EXTENDED STEM WALL
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- EXISTING STREET LIGHT
- EXISTING ANCHER
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LEGAL DESCRIPTION:

LOTS 20-A-1 THRU 20-A-6, BLOCK 1, CANDLELIGHT FOOTHILLS, UNIT 1 CONTAINING 48,351.95 SQUARE FEET (1.1100 ACRES) MORE OR LESS.



ROUGH GRADING APPROVAL DATE

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SHAFAB BIAZAR
P.E. #13479

ADVANCED
ENGINEERING
and CONSULTING, LLC

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

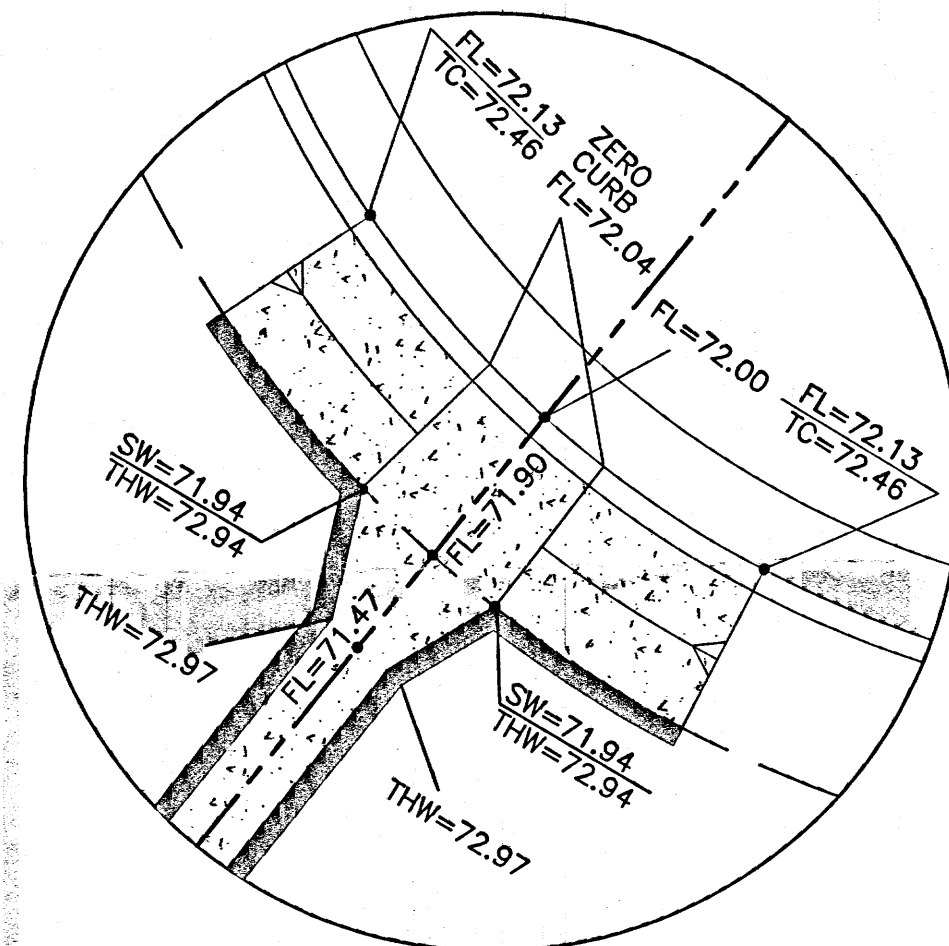
LOTS 20-A-1 THRU 20-A-6, GRADING AND DRAINAGE PLAN

FOR INFORMATION ONLY

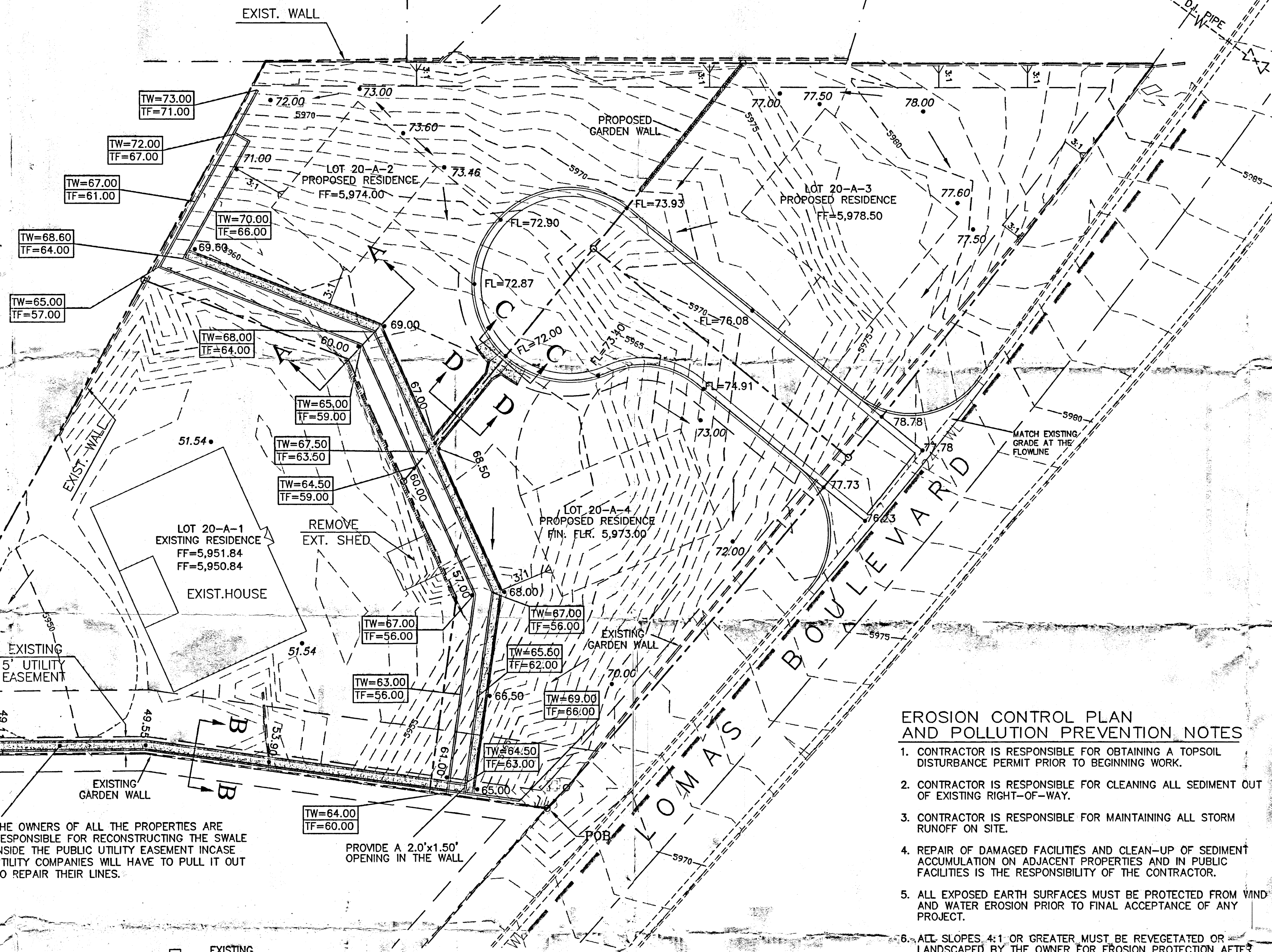
DRAWING:	DRAWN BY:	DATE:	SHEET #
200442-GR.DWG	SB	12-21-2004	1 OF 1

LAST REVISION: 12-13-2006

- GENERAL NOTES:**
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DETAIL E
NTS

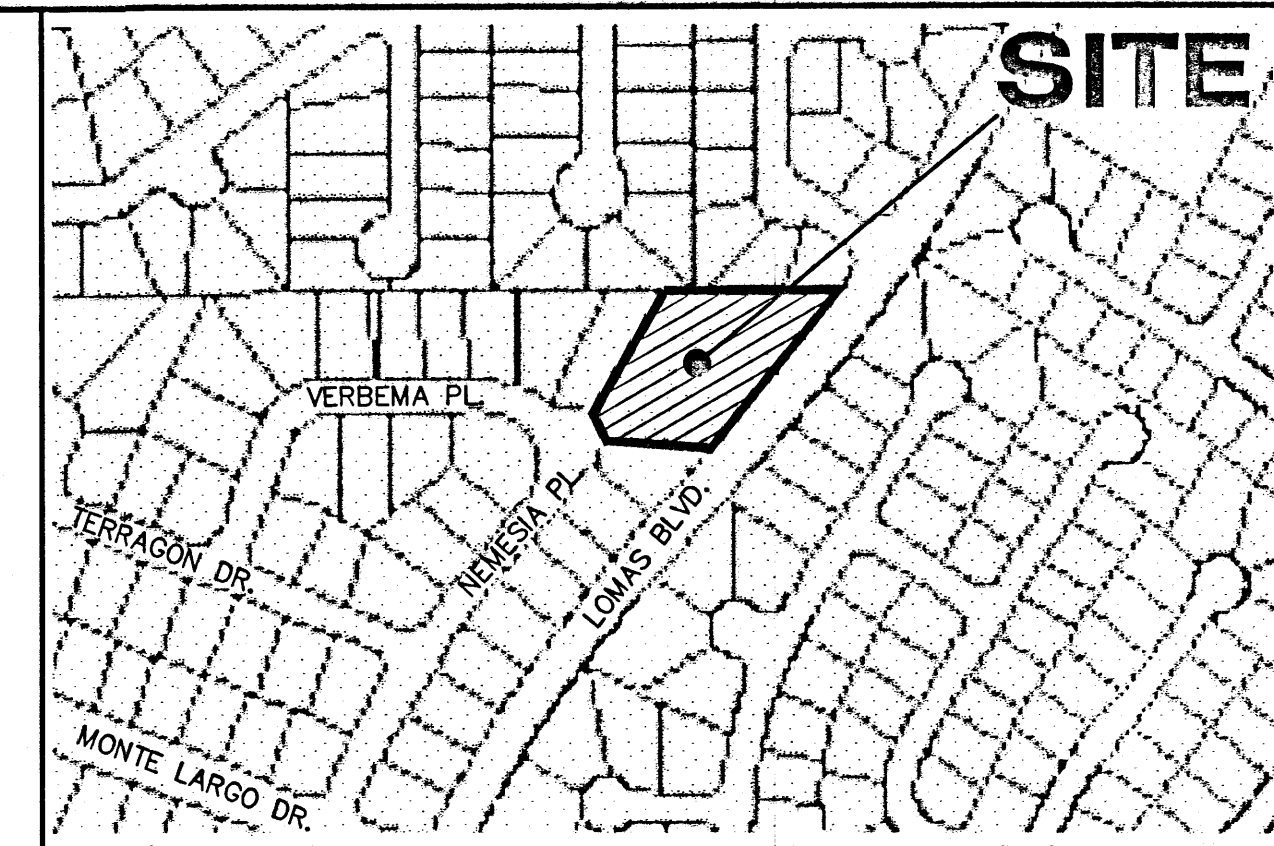


THE OWNERS OF ALL THE PROPERTIES ARE RESPONSIBLE FOR RECONSTRUCTING THE SWALE INSIDE THE PUBLIC UTILITY EASEMENT IN CASE UTILITY COMPANIES WILL HAVE TO PULL IT OUT TO REPAIR THEIR LINES.

PROVIDE A 2.0'x1.50' OPENING IN THE WALL

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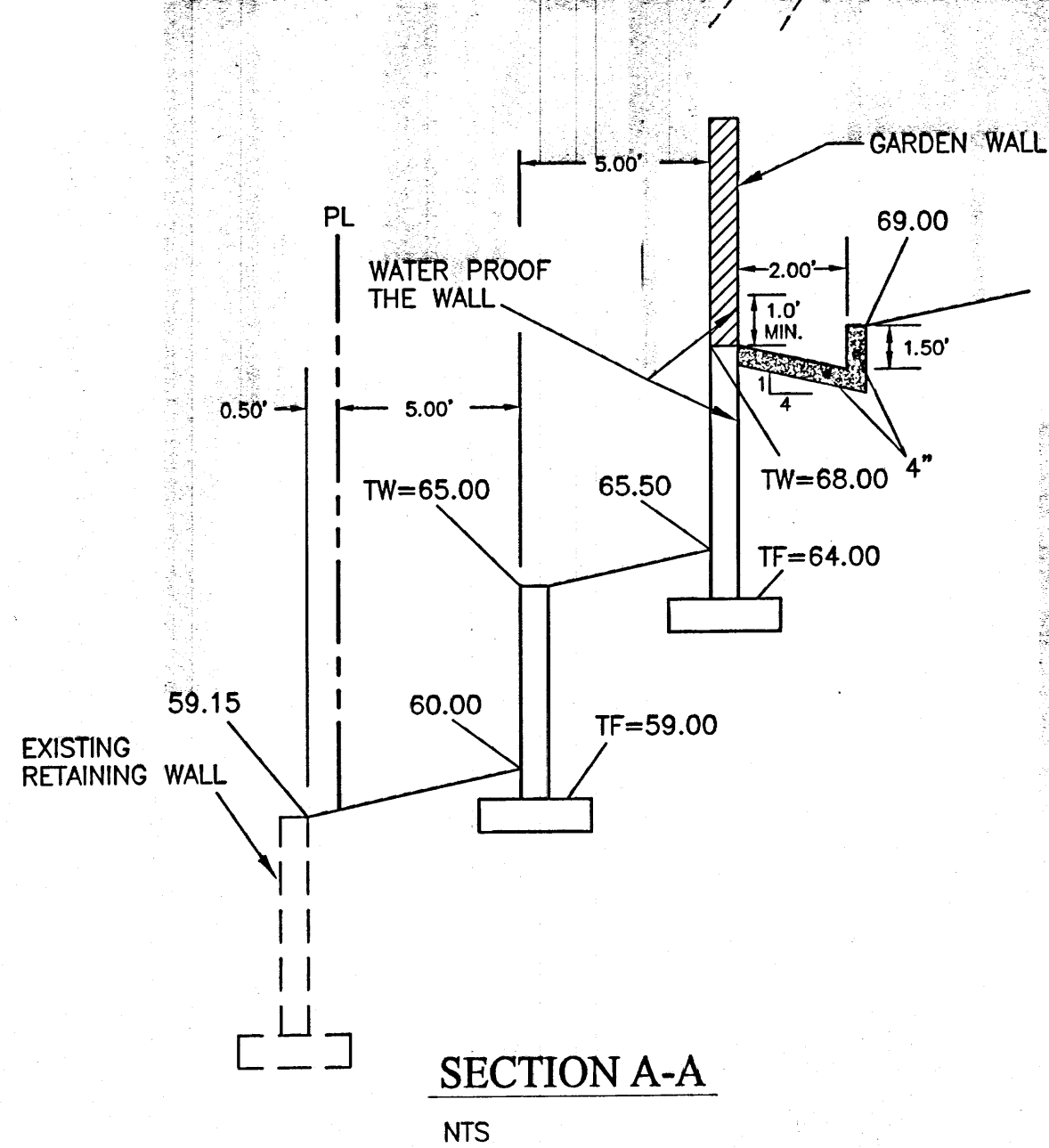


VICINITY MAP: J-23-Z

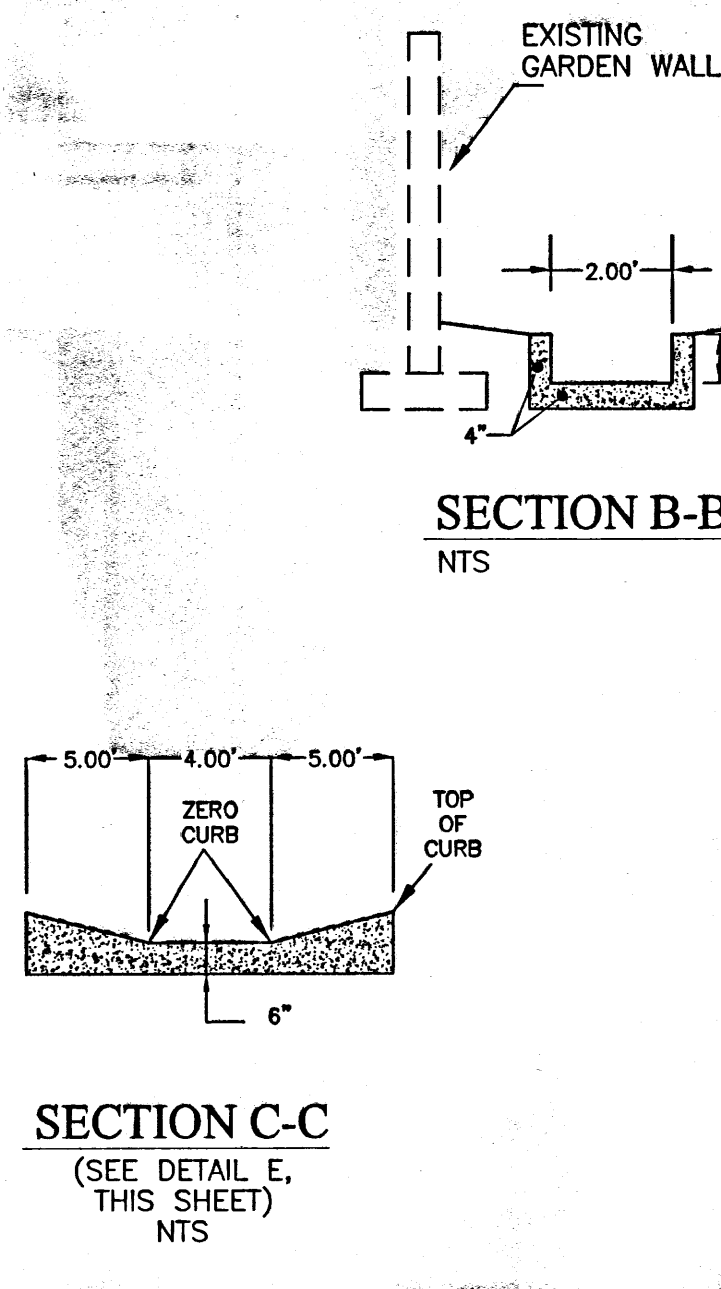
LOT 20-A, IN BLOCK 1 OF CANDLELIGHT FOOTHILLS UNIT 1 SUBDIVISION AS FILED ON JANUARY 31, 1978 NOW BEING REPLATED AS LOTS 20-A1, 20-A2, 20-A3 AND 20-A4.

LEGEND

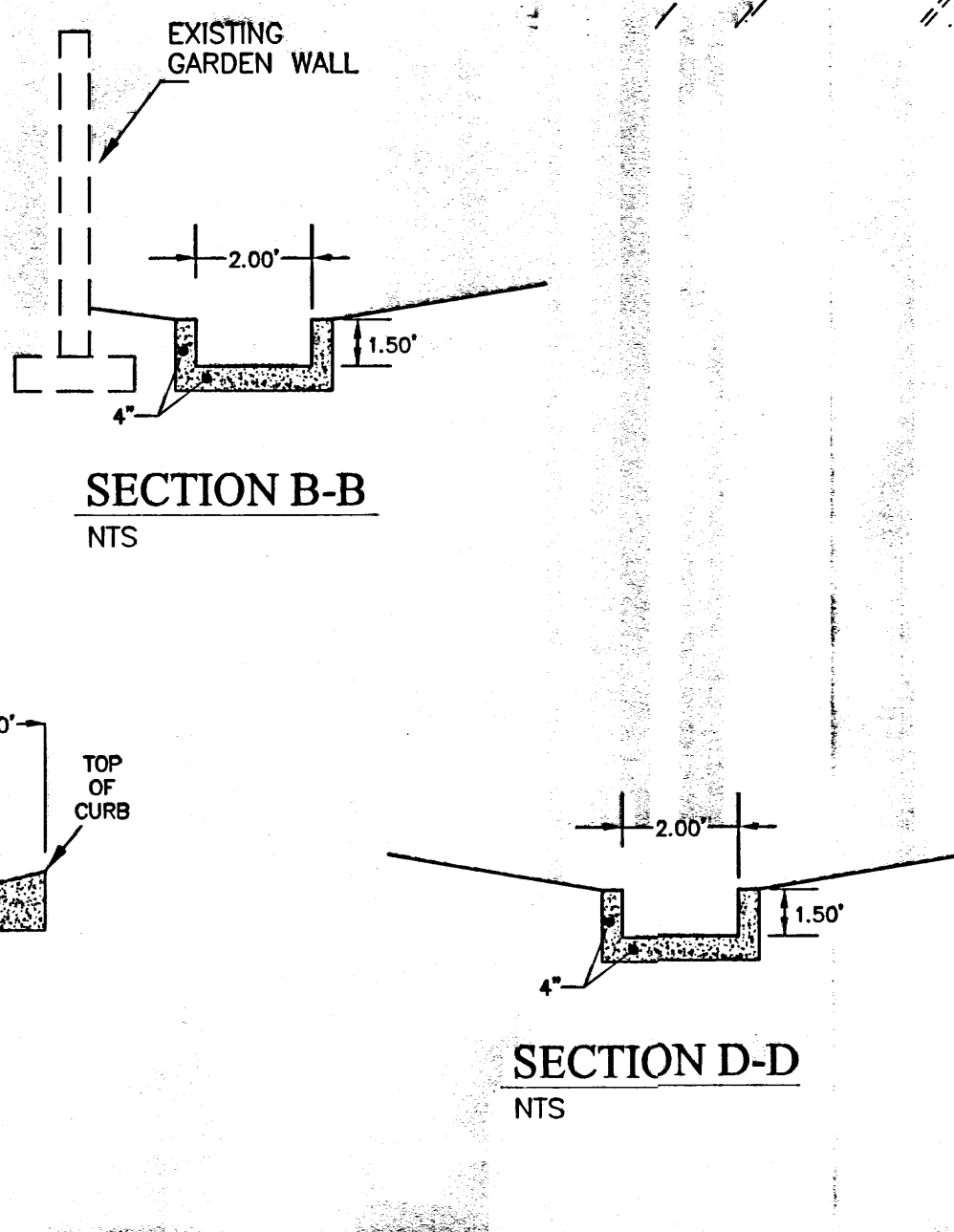
- EXISTING SAS MANHOLE
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- ◇ EXISTING VALVE W/BOX
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- ⊙ EXISTING AIR RELEASE VALVE
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- ===== EXISTING CURB & GUTTER
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- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- ===== PROPOSED SIDEWALK
- TC TOP OF CURB
- FL FLOW LINE
- THW TOP OF HEADER WALL
- TW TOP OF RETAINING WALL
- TGW TOP OF GARDEN WALL
- TF TOP OF FOOTING
- 70.28 PROPOSED SPOT ELEVATION
- * 5265.16 EXISTING GRADE
- SLOPE TIE
- FLOW DIRECTION
- EXISTING POWER LINES
- EXISTING GARDEN WALL
- EXISTING RETAINING WALL



SECTION A-A
NTS



SECTION C-C
(SEE DETAIL E, THIS SHEET)
NTS

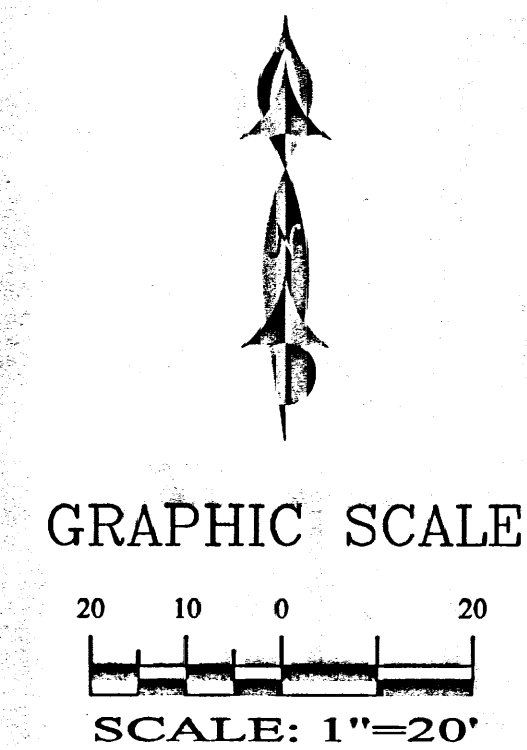


SECTION D-D
NTS

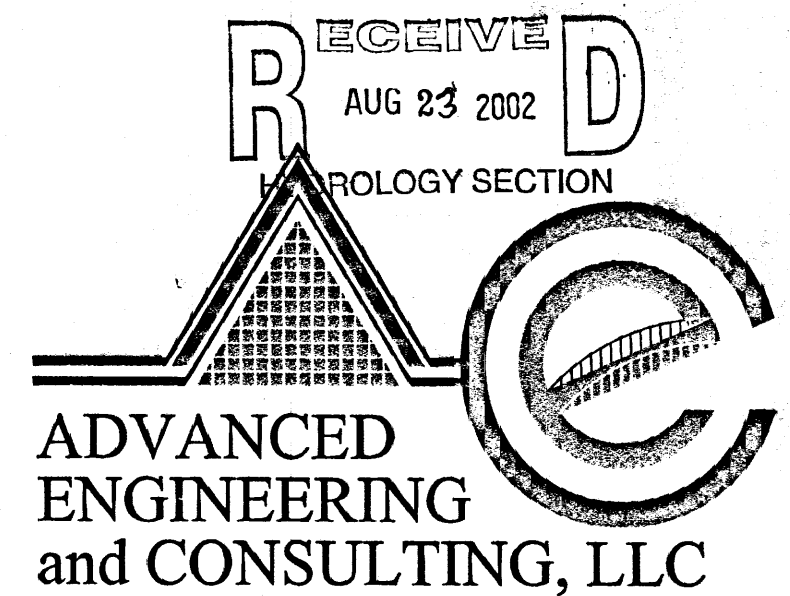
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APPROVALS	NAME	DATE
INSPECTOR		



ROUGH GRADING APPROVAL _____ DATE _____



SHAHAB BIAZAR
P.E. #13479
10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

LOT 20			
GRADING AND DRAINAGE PLAN			
DRAWING: 200130-G&D.DWG	DRAWN BY: SHH	DATE: 10-14-01	SHEET # 1 OF 1