# CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

July 27, 2022

David Soule, P.E. Rio Grande Engineering PO Box 93924 Albuquerque, NM 87199

**Re:** 13909 Lomas NE

Request for Certificate of Occupancy - Permanent

**Hydrology Final Inspection – Approved** 

Grading and Drainage Plan Stamp Date: 06/14/2021

Certification dated: 05/31/2022 Drainage File: J23D003A1

Dear Mr. Soule,

Based on the submittal received 6/17/2022 and inspection on 7/22/2022 this certification is approved

for Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 505-924-3695 or dggutierrez@cabq.gov.

Albuquerque

PO Box 1293

Sincerely,

NM 87103

David G. Gutierrez, P.E.

Senior Engineer, Planning Dept.

in Gul

www.cabq.gov Development Review Services



# City of Albuquerque

### Planning Department

### Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 13909 LOMAS NE	Building Permit #	<b>#:</b>	Hydrole	ogy File #:		
DRB#:	77	Work Order#:				
DRB#: Legal Description: LOT 20-A CANDLE	LIGHT FOOTH	ILL UNIT 1	<del>_</del>			
City Address: 13909 LOMAS NE	102	1, 1, 1, 1				
Applicant: RUELAS CONSTRUCTION			Contact:			
Address:						
Phone#:			E-mail:			
Other Contact: RIO GRANDE ENGINE						
			Contact:			
Address: PO BOX 93924 ALB NM	8/199	2000				
Phone#: 505.321.9099	Fax#: 505.872.0		E-mail:	avideriograndeengineering.com		
TYPE OF DEVELOPMENT: PLAT	X RESIDEN	CE DRB S	SITE	ADMIN SITE		
Check all that Apply:						
DEPARTMENT:  X HYDROLOGY/ DRAINAGE TRAFFIC/ TRANSPORTATION  TYPE OF SUBMITTAL:  X ENGINEER/ARCHITECT CERTIFICATION PAD CERTIFICATION CONCEPTUAL G & D PLAN GRADING PLAN DRAINAGE REPORT DRAINAGE MASTER PLAN FLOODPLAIN DEVELOPMENT PERMIT A ELEVATION CERTIFICATE CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) TRAFFIC IMPACT STUDY (TIS) STREET LIGHT LAYOUT OTHER (SPECIFY) PRE-DESIGN MEETING?  IS THIS A RESUBMITTAL?: X Yes No	PPLIC -	FINAL PLAT AI	MIT APPR OF OCCUP PLAT APP S SUB'D A S BLDG. P PPROVAL OF FINAN PERMIT APPR AL T APPRO CERTIFI PPROVAL	OVAL PANCY  PROVAL APPROVAL ERMIT APPROVAL  CIAL GUARANTEE APPROVAL OVAL CATION  MENT PERMIT		
DATE SUBMITTED:	By:					
COA STAFF:						

FEE PAID:\_\_\_\_\_

## Weighted E Method

### Existing Developed Rasins

									100-Year, 6-hr.			10-day		
Basin	Area	Area	Treatment.	Treatment A Treatment B		Treatment C Treatment D		Weighted E	Volume	Flow	Volume			
	(sf)	(acres)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)
EXISTING	6007	0.138	0%	0	70.0%	0.097	30.0%	0.04137	0%	0.000	1.025	0.012	0.40	0.012
PROPOSED	6007	0.138	0%	0	15.0%	0.021	37.0%	0.05102	48%	0.066	2.190	0.025	0.55	0.034

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed\*Ad / (Total Area)

Volume = Weighted D \* Total Area

Flow = Qa \* Aa + Qb \* Ab + Qc \* Ac + Qd \* Ad

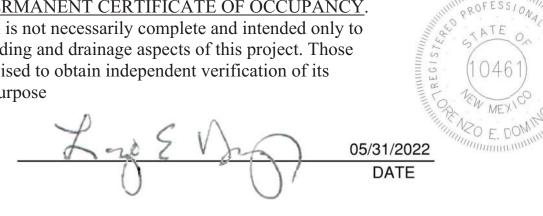
Where for 100-year, 6-hour storm (zone 4)

Qb= 2.73 Eb= 0.95 Qc = 3.41Ed= 3.34 Qd= 4.78

### DRAINAGE NARRATIVE

THIS SITE IS A SEMI GRADED LOT WITHIN A DEVELOPED RESIDENTIAL SUBDIVISION. THE AREA WAS MASS GRADED UPON INITIAL DEVELOPMENT. THE LOT IS PART OF AN APPROVED CANDLELIGHT FOOTHILS SUBDVISION DRAINAG PLAN(J23-D3A). THIS SITE IS IMPACTED BY MINOR UPLAND FLOWS THAT WILL BE ELIMINATED UPON FINAL DEVELOPMENT OF ADJACENT VACATE LOT. THE SITE IS DESIGNED TO CONFORM TO THE APPROVED GRADING PLAN AND DISCHARGE TO THE ADJACENT ROADWAY THAT DISCHARGES TO LOMAS WHERE THE FLOW DRAINS WEST TO CITY MAINTAINED DRAINAGE FACILITIES. THE SITE WILL DISCHARGE.55 CFS AND DOES RETAIN 46 CF FOR

I <u>David Soule</u>, NMPE 14522, of the firm <u>Rio Grande Engineering</u>, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 6/14/21. The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The asbuilt survey was provided by LORENZO DOMINGUEZ NMPLS 10461. The certification is submitted in support of a request for PERMANENT CERTIFICATE OF OCCUPANCY The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose



"AS-BUILT"

**EROSION CONTROL NOTES:** 

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.

2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.

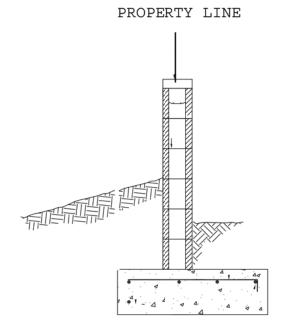
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.

4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

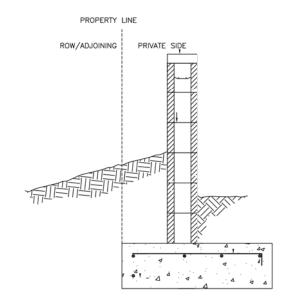






WALL SHALL BE CONSTRUCTED CENTERED ON PROPERTY LINE THAT SHARE COMMON OWNERSHIP OR WITH WRITTEN PERMISSION

SECTION B-B\*

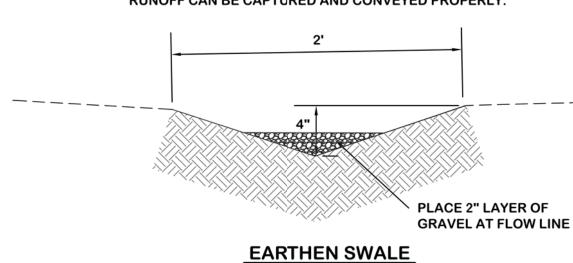


WALL SHALL BE CONSTRUCTED SUCH THAT NO PORTION OF WALL OR FOOTING SHALL ENCROACH. EXISTING GRADES SHALL BE MAINTAINED WITHIN RIGHT OF WAYS

SECTION A-A\*

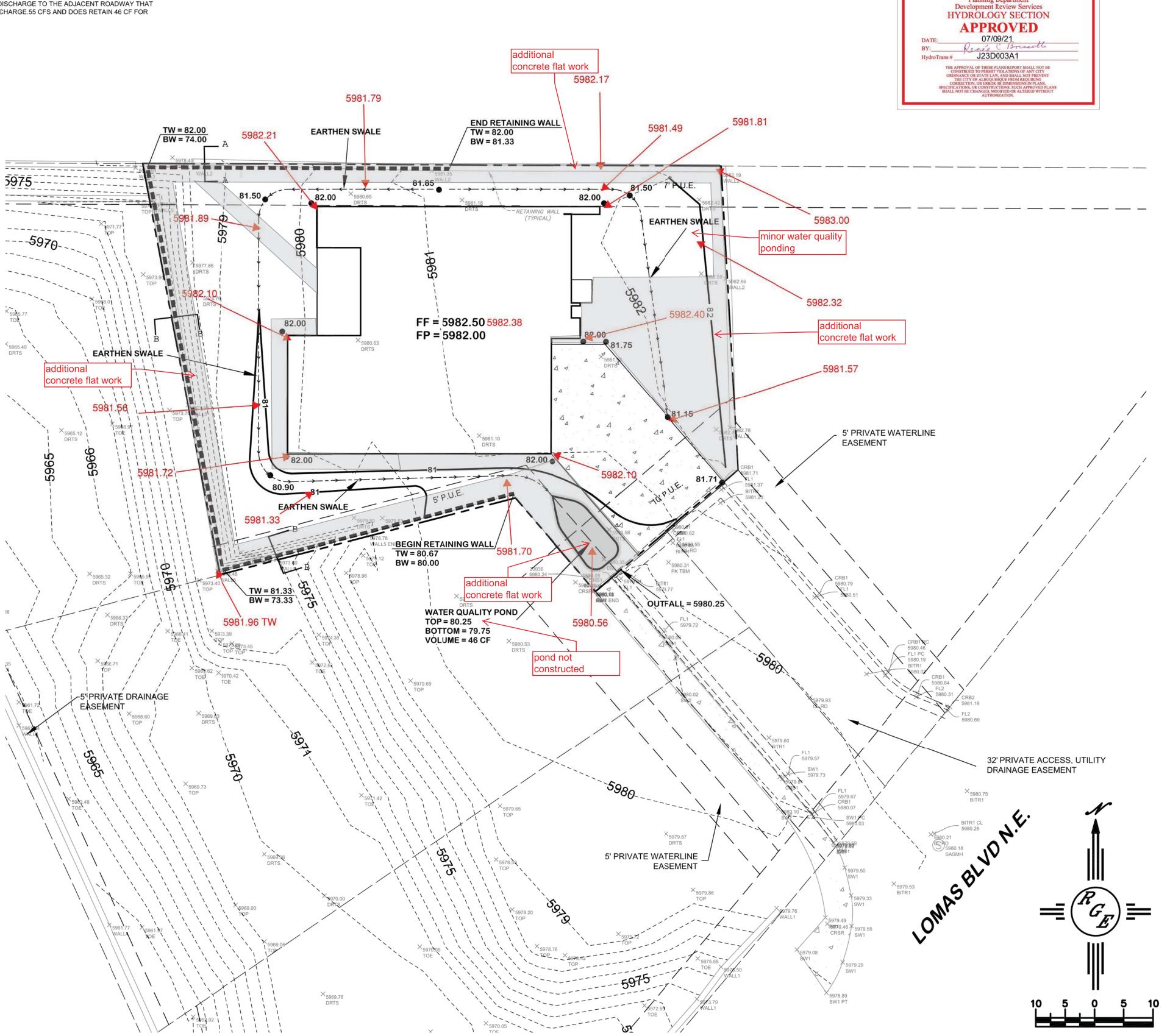
\* SECTION NOT TO SCALE, STRUCTURAL CONSTRUCTION DETAILS FOR WALL MUST BE PROVIDED BY OTHERS.

CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENDSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.

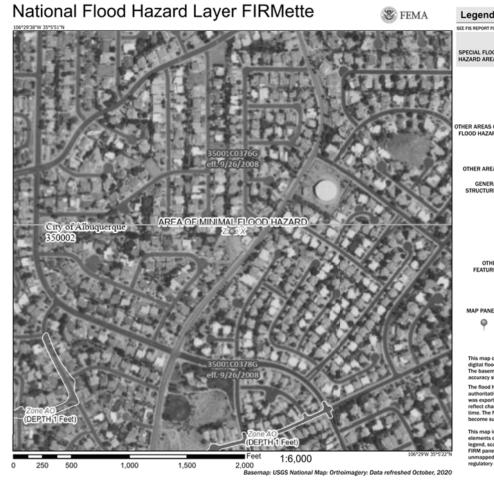


**CAUTION:** EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL **NECESSARY FIELD INVESTIGATIONS PRIOR** TO ANY EXCAVATION TO DETERMINE THE **ACTUAL LOCATION OF UTILITIES & OTHER** 

IMPROVEMENTS.







# FIRM MAP:

## **LEGAL DESCRIPTION:**

LOT 20A CANDLELIGHT FOOTHILLS UN 1 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

## NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.

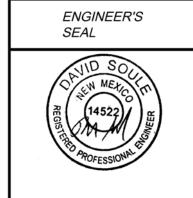
3. ANY PERIMETER WALLS MUST BE PERMITED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.

4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD

5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING

# **LEGEND**

---- EXISTING CONTOUR ---- EXISTING INDEX CONTOUR PROPOSED CONTOUR PROPOSED INDEX CONTOUR EXISTING SPOT ELEVATION × XXXX XXXX PROPOSED SPOT ELEVATION BOUNDARY — — — — ADJACENT BOUNDARY ≡≡≡≡≡≡≡≡≡≡ EXISTING CURB AND GUTTER PROPOSED EARTHEN SWALE PROPOSED RETAINING WALL 4 4 PROPOSED CONCRETE



P.E. #14522

SCALE: 1"=10'

Lot 20A Candlelight Foothills Un 1 13909 LOMAS BLVD N.E.

GRADING AND DRAINAGE PLAN



6/14/2 DAVID SOULE

SHEET# JOB#

 $^{BY}$  DEM

DATE 6-12-21

Lot 20A Candlelight Foothills Un 1.dwg