

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 9, 2021

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: 13909 Lomas Blvd. NE
Grading and Drainage Plan
Engineer's Stamp Date: 06/14/21
Hydrology File: J23D003A1

Dear Mr. Soule:

Based upon the information provided in your submittal received 06/14/2021, the Grading and Drainage Plan is approved for Grading Permit (earthwork can get started for the earth pad on the house).

Once the grading is complete, a pad certification (meaning that the earthwork is complete) will be required prior to release from Hydrology during the Building Permit process. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 13909 LOMAS NE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 20-A CANDLELIGHT FOOTHILL UNIT 1
City Address: 13909 LOMAS NE

Applicant: RUELAS CONSTRUCTION **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Weighted E Method

WELLS										100-Year, 6-hr.		10-day
Existing Developed Basins										Weighted E	Volume	Flow
Basin	Area (sf)	Area (acres)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Losses %	Losses (acres)	Losses (acres)	(ac-ft)	(ac-ft)	cfs
EXISTING	6007	0.138	0%	0	70.0%	0.097	30.0%	0.04137	0%	0.000	1.025	0.012
PROPOSED	6007	0.138	0%	0	15.0%	0.021	37.0%	0.05102	48%	0.066	2.190	0.025

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

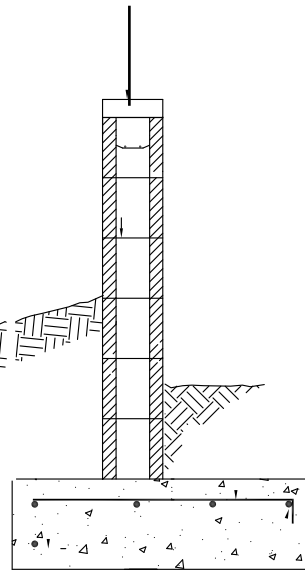
Where for 100-year, 6-hour storm (zone 4)

Ea= 0.76
Eb= 0.95
Ec= 1.2
Ed= 3.34

Qa= 2.09
Qb= 2.73
Qc= 3.41
Qd= 4.78

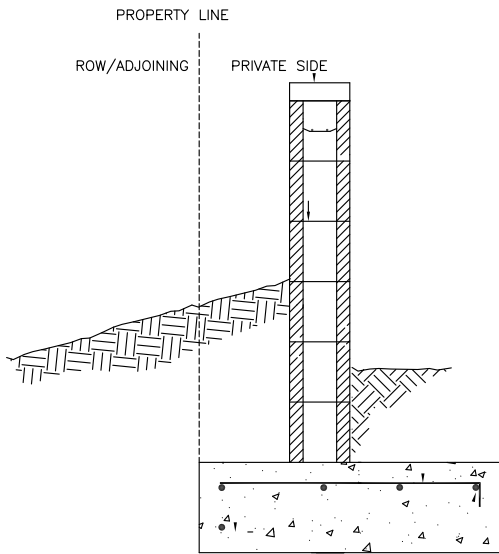
DRAINAGE NARRATIVE
THIS SITE IS A SEMI GRADED LOT WITHIN A DEVELOPED RESIDENTIAL SUBDIVISION. THE AREA WAS MASS GRADED UPON INITIAL DEVELOPMENT. THE LOT IS PART OF AN APPROVED CANDLELIGHT FOOTHILLS SUBDIVISION DRAINAGE PLAN(J23-D3A). THIS SITE IS IMPACTED BY MINOR UPLAND FLOWS THAT WILL BE ELIMINATED UPON FINAL DEVELOPMENT OF ADJACENT VACATE LOT. THE SITE IS DESIGNED TO CONFORM TO THE APPROVED GRADING PLAN AND DISCHARGE TO THE ADJACENT ROADWAY THAT DISCHARGES TO LOMAS WHERE THE FLOW DRAINS WEST TO CITY MAINTAINED DRAINAGE FACILITIES. THE SITE WILL DISCHARGE .55 CFS AND DOES RETAIN .46 CF FOR WATER QUALITY PURPOSES

PROPERTY LINE



WALL SHALL BE CONSTRUCTED CENTERED ON PROPERTY LINE THAT SHARE COMMON OWNERSHIP OR WITH WRITTEN PERMISSION

SECTION B-B*

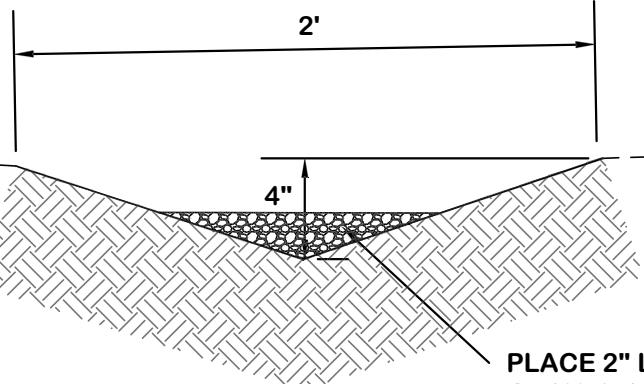


WALL SHALL BE CONSTRUCTED SUCH THAT NO PORTION OF WALL OR FOOTING SHALL ENDOURCH. EXISTING GRADES SHALL BE MAINTAINED WITHIN RIGHT OF WAYS

SECTION A-A*

* SECTION NOT TO SCALE, STRUCTURAL CONSTRUCTION DETAILS FOR WALL MUST BE PROVIDED BY OTHERS.

CONSTRUCT ALL SWALES AND EROSION PROTECTION (SHOWN HATCHED) BELOW ADJACENT GRADE TO ENSURE RUNOFF CAN BE CAPTURED AND CONVEYED PROPERLY.



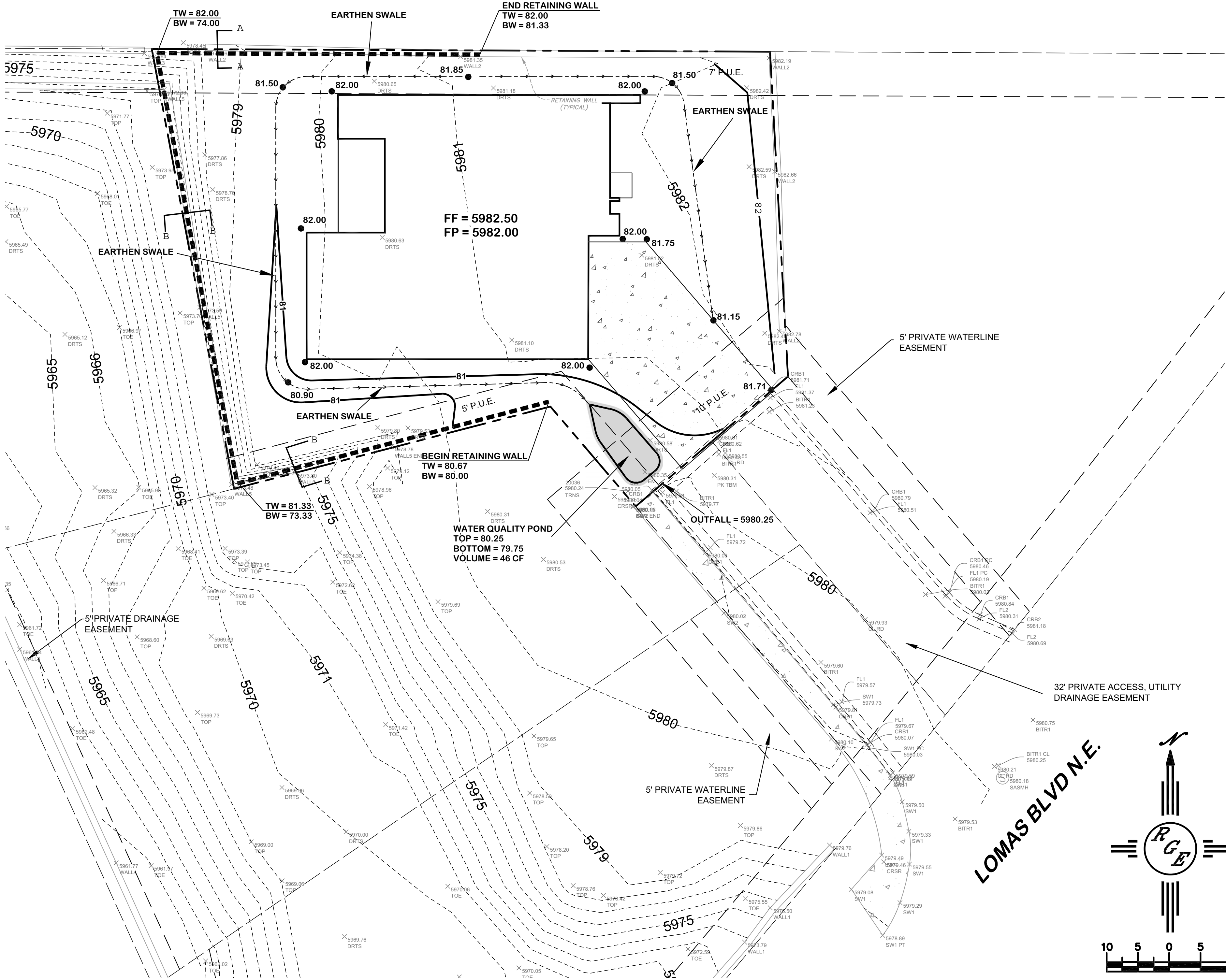
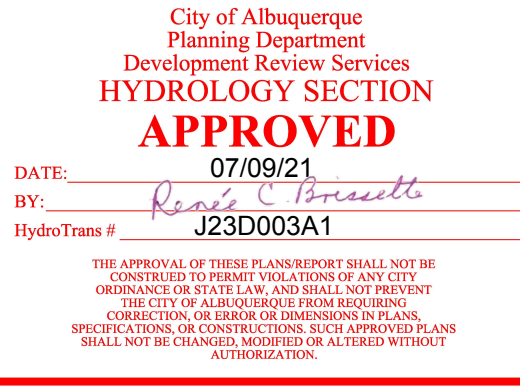
EARTHEN SWALE
NTS

CAUTION:

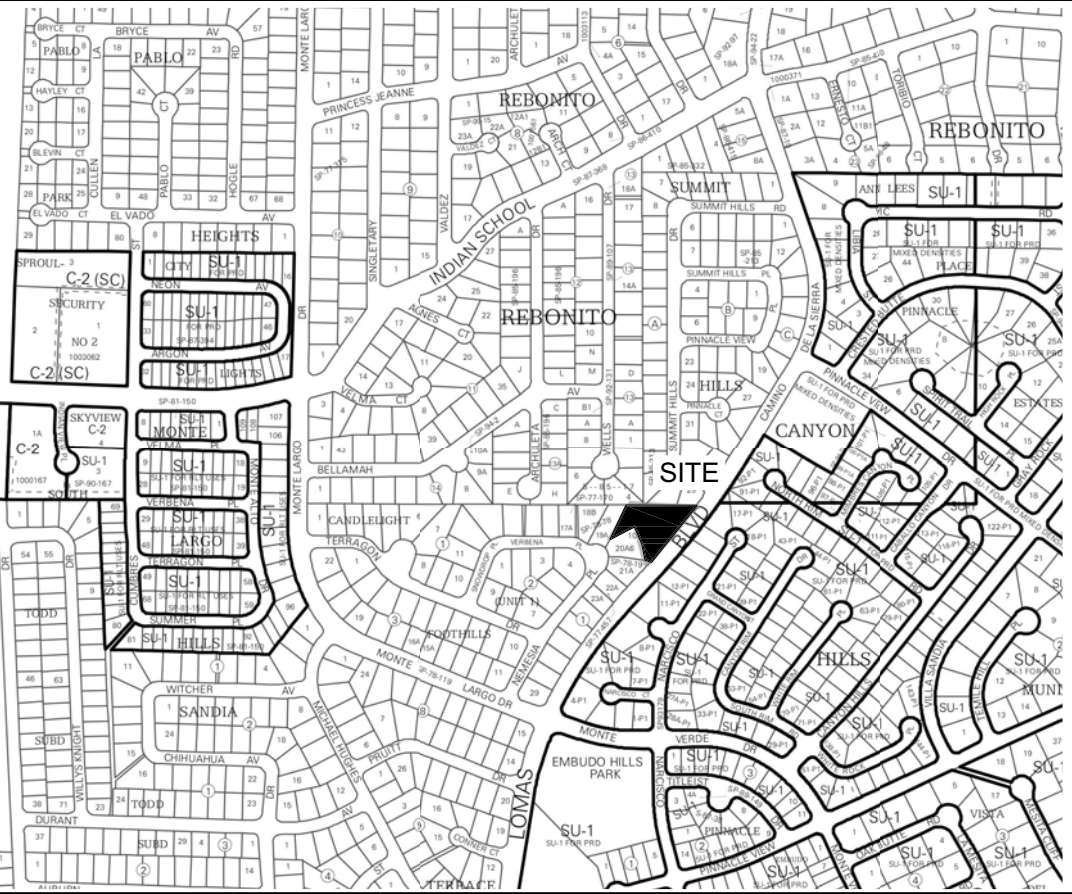
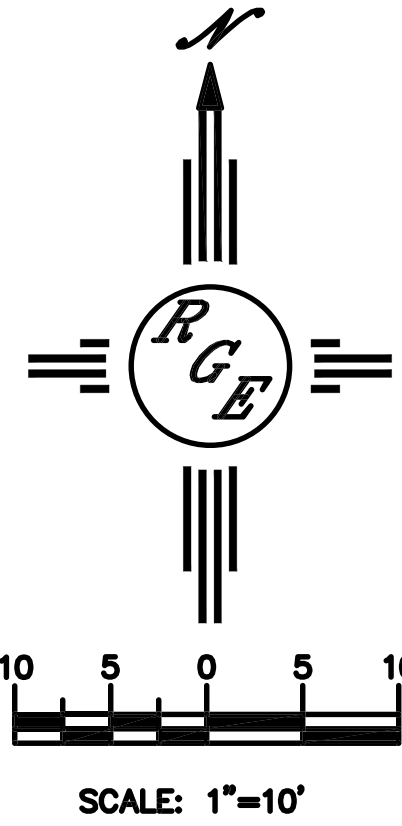
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

EROSION CONTROL NOTES:

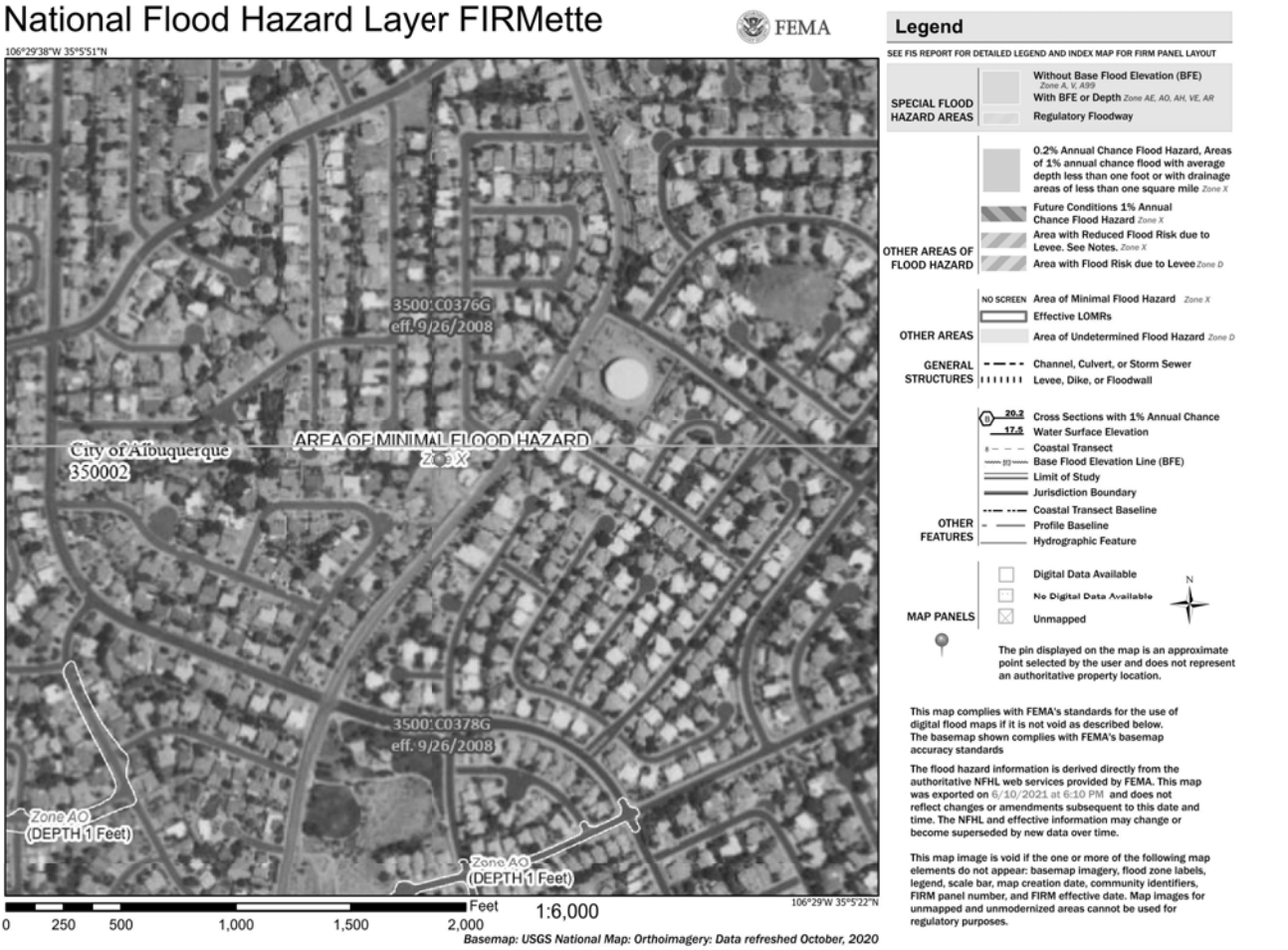
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LOMAS BLVD N.E.



VICINITY MAP: J-33-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 20A CANDLELIGHT FOOTHILLS UN 1
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
- ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
- SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
- A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- PROPOSED CONTOUR
- PROPOSED INDEX CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE

<div>ENGINEER'S SEAL</div> <div>DAVID SOULE NEW MEXICO REGISTERED PROFESSIONAL ENGINEER 14522</div> <div>6/14/21</div> <div>DAVID SOULE P.E. #14522</div>	Lot 20A Candlelight Foothills Un 1 13909 LOMAS BLVD N.E.	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 6-12-21
	<div></div> <div>Rio Grande Engineering</div> <div>PO BOX 33924 ALBUQUERQUE, NM 87199 (505) 321-9099</div>	SHEET # C1
		JOB #