

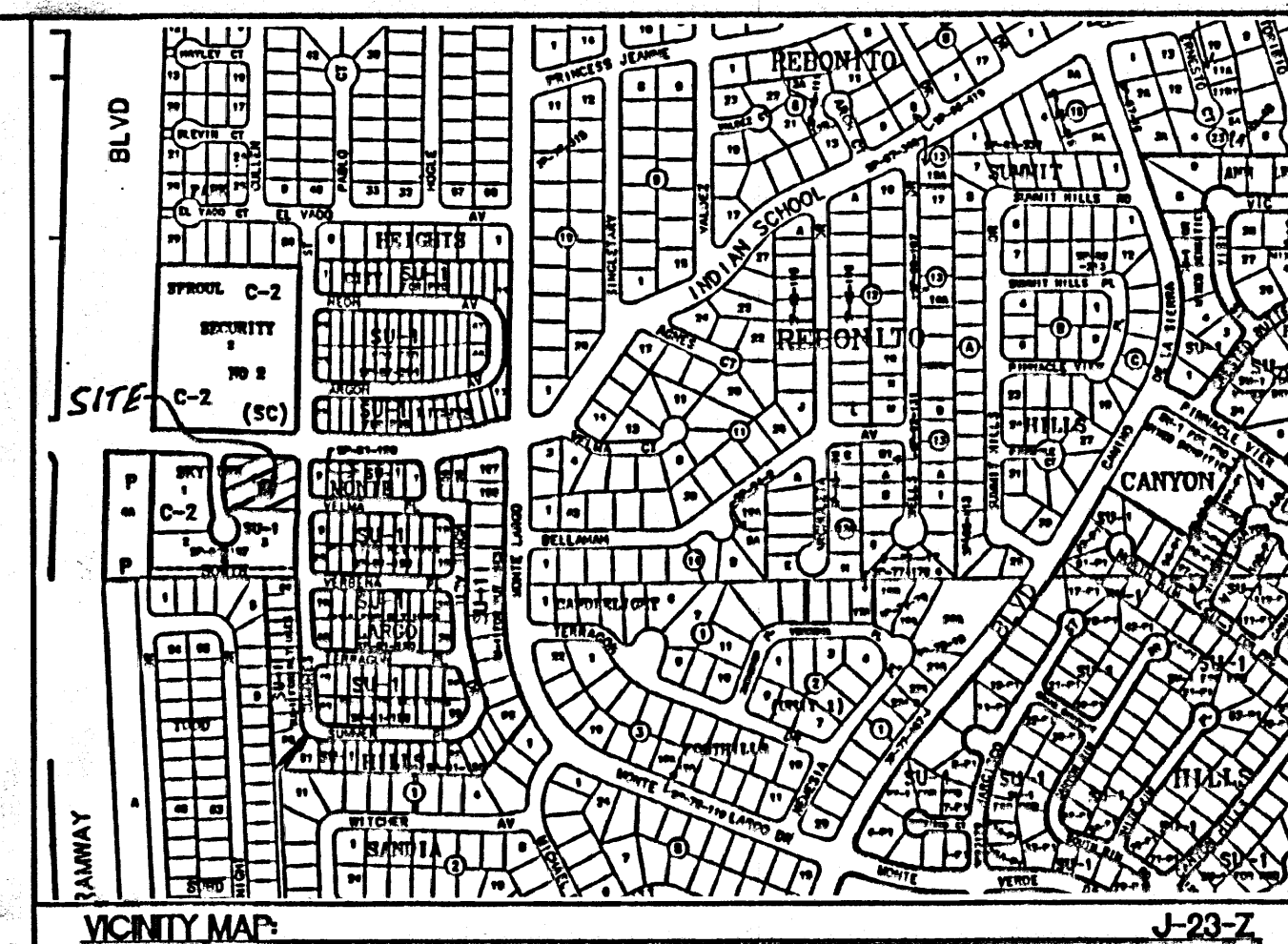
ACS "1-J23-A"
STANDARD NMHC BRASS TABLE
(FOUND IN PLACE)
NEW MEXICO STATE PLANE GRID
COORDINATES (CENTRAL ZONE)
X=426,100.69 (NAD 1927)
Y=1,490,001.03
G=0.99962698
SPIRIT LEVEL ELEVATION=5840.708
DELTA ALPHA=-0°08'31"

$\Delta = 90^{\circ}14'35"$
 $R = 25.00'$
 $T = 25.11'$
 $L = 39.38'$
 $CH = N 47^{\circ}21'29" E$
 $35.43'$

$\Delta = 89^{\circ}59'27"$
 $R = 25.00'$
 $T = 25.00'$
 $L = 39.27'$
 $CH = S 89^{\circ}59'27" E$
 $35.35'$

SITE DATA

PROPOSED USAGE:	SINGLE FAMILY TOWNHOMES
LOT AREA:	37,779 SF (0.867 ACRES)
BUILDING AREA:	8 X UNIT "A" 1850 SF PER UNIT 12 X UNIT "B" 1573 SF PER UNIT TOTAL 33676 SF ALL UNITS
PARKING/DRIVEWAY:	9949 SF $\pm$
LANDSCAPE AREA	12136 SF $\pm$
LANDSCAPING REQUIRED:	3614 SF $\pm$
PARKING PROVIDED:	10 SPACES 1 BUS STOP CREDIT
PARKING REQUIRED:	10 SPACES



LEGAL DESCRIPTION
LOT 4 SKYVIEW SOUTH SUBDIVISION

LEGEND

=====	EXISTING CURB & GUTTER
-----	PROPOSED CURB & GUTTER
-----	BOUNDARY LINE
-----	EASEMENT
=====	PROPOSED SIDEWALK
=====	EXISTING SIDEWALK
-----	EXISTING WROUGHT IRON FENCE
-----	EXISTING RETAINING WALL
=====	LIMITS OF NEW EASEMENT
=====	PROPOSED LIGHT POLES
=====	PROPOSED FIRE HYDRANT
=====	TEMPORARY BENCHMARK
=====	BENCHMARK

SHEET INDEX

1. SITE PLAN
2. LANDSCAPING PLAN
3. GRADING AND DRAINAGE PLAN
4. RENDERED ELEVATIONS
5. STREET ELEVATIONS
6. BUILDING ELEVATIONS
7. DETAIL SHEET
8. MASTER UTILITY PLAN

GENERAL NOTES

1. ALL TRASH WILL BE CURB SIDE PICKUP ALONG INDIAN VIEW PLACE
2. ALL SITE LIGHTING WILL BE BUILDING MOUNTED, PLACED ON 10'-0" POLES OR MOUNTED ON ARCHWAYS. SEE SHEET 7 FOR DETAIL.
3. THE 24' DRIVE AISLE WILL CONTAIN THE FOLLOWING EASEMENTS GRANTED BY THIS SITE PLAN AND PLAT:
CROSS DRAINAGE EASEMENT
PEDESTRIAN ACCESS EASEMENT
INGRESS/EGRESS EASEMENT
PUBLIC UTILITY EASEMENT
4. THE AREA BETWEEN THE MOUNTABLE CURB AND GUTTER IS PAVED WITH ASPHALT.

SOLID WASTE

DATE

CASE NUMBER: Z-

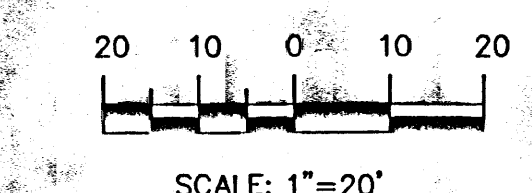
This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on [] and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Design and Development, CIP	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo	Date
County Planning Division	
PLN2 (10706) 4/96	

	INDIAN VIEW PLACE		DRAWN BY JDN
	SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT		DATE 12-22-98
	TERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592		9875SP1.DWG
			SHEET # 1 OF 8
		JOB # 980075	

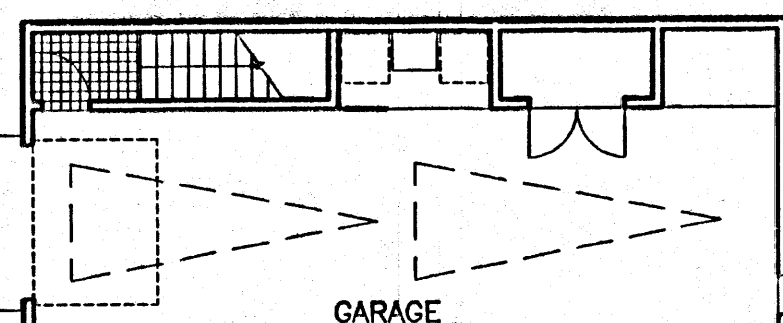
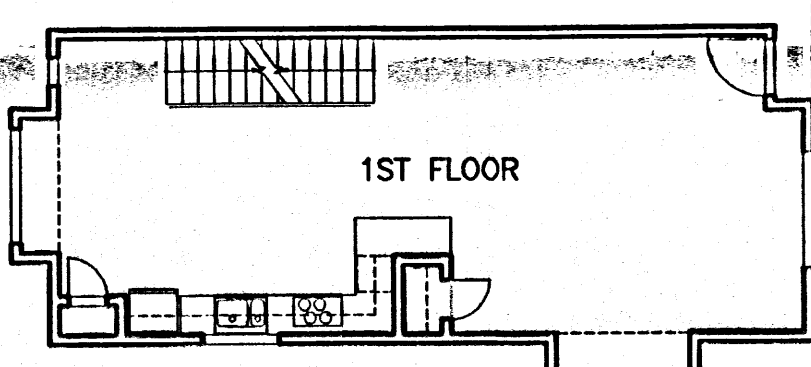
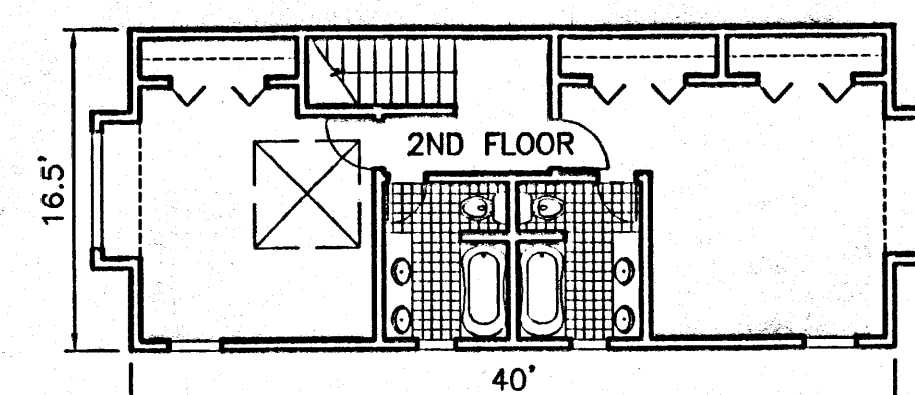
GRAPHIC SCALE



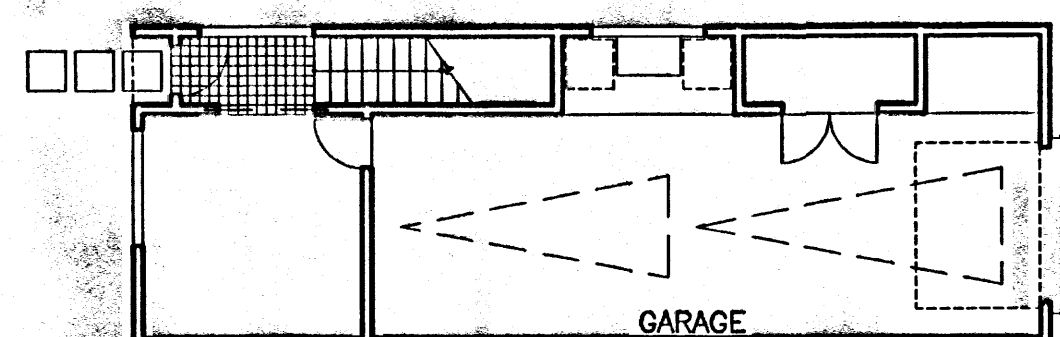
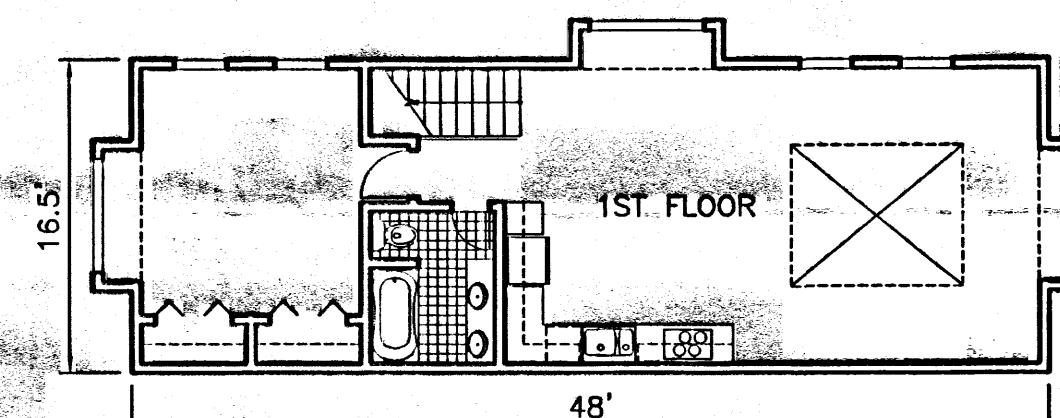
UNIT "A" FOOTPRINTS

SCALE: 1"=10'

UNIT "B" FOOTPRINTS



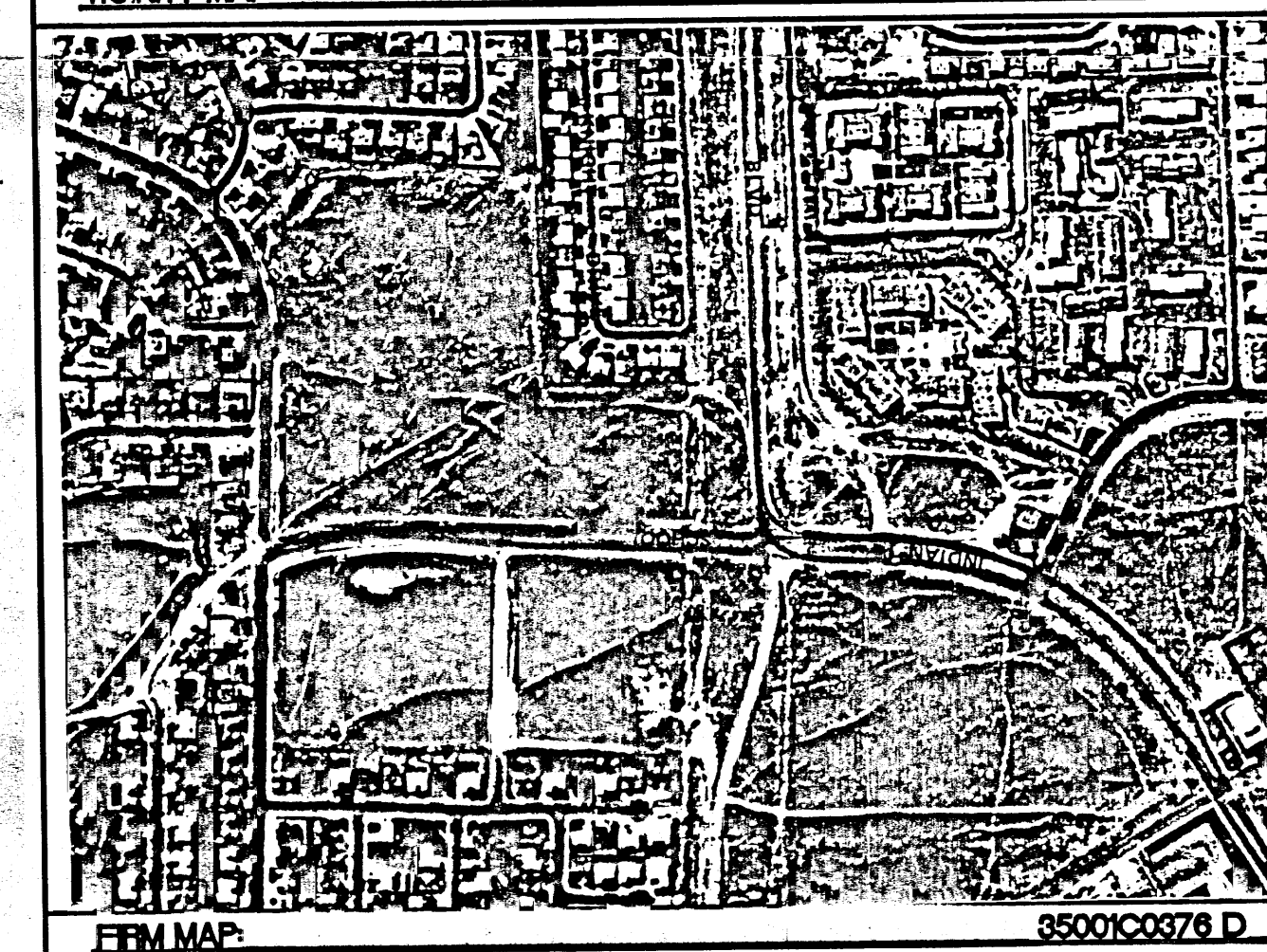
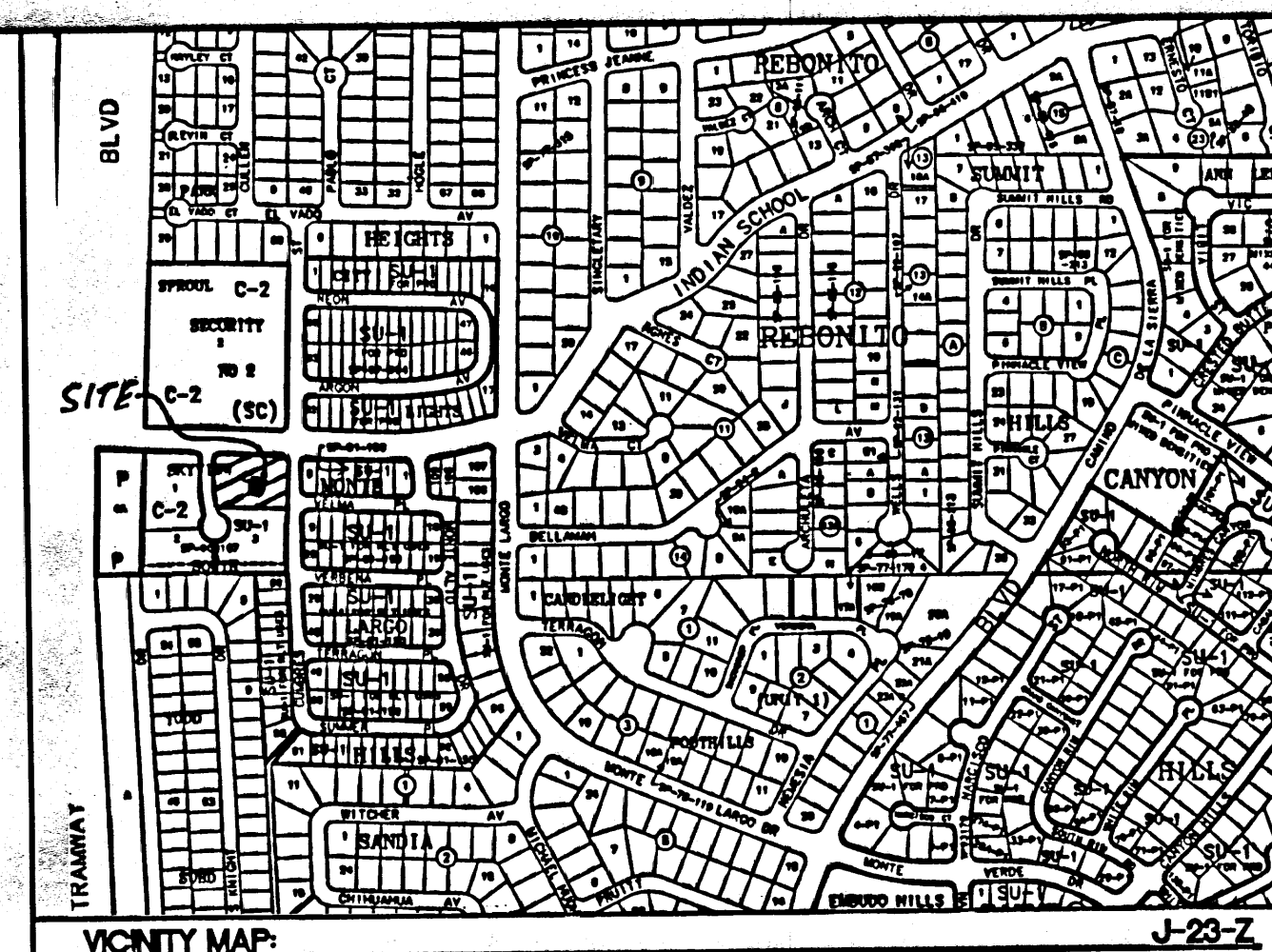
FIRE DEPARTMENT



ACS "1-123-A"
STANDARD NMSHC BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE GRID
COORDINATES (CENTRAL ZONE)
X=426,100.69 (NAD 1927)
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G=0.99962698
SPIRIT LEVEL ELEVATION=5840.708
DELTA ALPHA=-0'08"31"

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

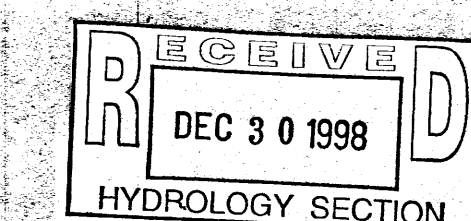
- Water disturbed area as frequently as necessary to control particulate matter during surface disturbance, construction traffic, wind events etc.
 - Water site access or haul roads during periods of active use associated with the project. (Includes interior or access roads, yard or parking areas of material storage or assembly, piled excavated material, trench work area, area disturbed by trespass traffic, etc).
 - Cover, tarp, or otherwise contain all loads of loose material entering or leaving the site.
 - Halt surface disturbance when soil or wind conditions prevent or limit effective particulate matter control. (No "transported material").
 - Restore all off-site or excess surface disturbance areas to near pre-existing condition.
 - Reseeding undeveloped disturbed area either on site or off-site to City of Albuquerque Specifications #1012-"Native Grass Seeding"
 - Clean-up particulate and transported material from nearby property and the public right-of-way.
 - Construction of permanent perimeter/interior fencing.
 - Construction of temporary erosion control fencing.
 - Special measures required. (See note)
 - Control of alternate access route or trespass traffic.
 - Stabilization of area proposed for future sale or future development.
- Contractor is responsible for obtaining a topsoil disturbance permit prior to beginning work.
 - Contractor is responsible for cleaning all sediment out of the existing right-of-way.
 - Repair of damaged facilities and clean-up of sediment accumulated on adjacent properties and in public facilities is the responsibility of the contractor.
 - All exposed earth surfaces must be protected from wind and water erosion prior to final acceptance of any project.
 - Contractor is responsible for maintaining all storm sewer run off on site.



LEGAL DESCRIPTION:
LOT 4 SKYVIEW SOUTH SUBDIVISION

LEGEND

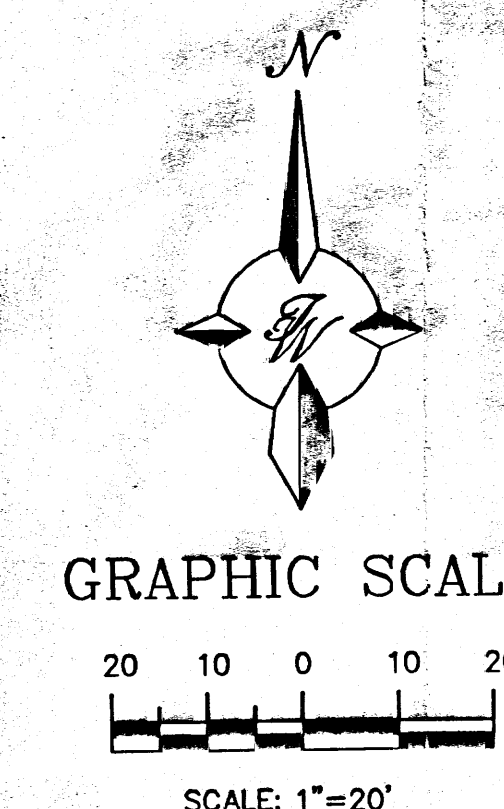
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER INLET
- EXISTING STORM SEWER LINE
- EXISTING FENCE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- ROOF DRAINAGE
- PROPOSED SPOT ELEVATION
- BENCH MARK
- TEMPORARY BENCH MARK



ROUGH GRADING APPROVAL

DATE

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	INDIAN PLACE VIEW		DRAWN BY JDN
	GRADING AND DRAINAGE PLAN		DATE 12-22-98
	TIERRA WEST, LLC 4421 McLEOD ROAD, N.E., SUITE D ALBUQUERQUE, NEW MEXICO 87109 (505)883-7592		9875GR.DWG
			SHEET # 3 OF 8
			JOB # 980075



SECTION A-A NTS

