



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 31, 1992

W. Reed Edgel
Rodriguez & Associates
12800 San Juan Road, NE
Albuquerque, New Mexico 87123

RE: DRAINAGE PLAN FOR 1717 VALDEZ DRIVE, NE
REBONITO SUBDIVISION BLOCK 2, LOT 5 (J-23/D20)
ENGINEER'S STAMP DATED JULY 22, 1992

Dear Mr. Edgel:

Based on the information provided on your submittal of July 23, 1992, the above referenced plan is approved for Building Permit.

Please be advised that a separate permit is required for construction within City right-of-way. A copy of this approval letter must be on hand when applying for the excavation permit.

Also, please be advised that no developed runoff is allowed to be routed to rear of the sides of the dwelling. All developed runoff must be routed to an approved drive pad.

If I can be of further assistance, please feel free to call me at 768-2650.

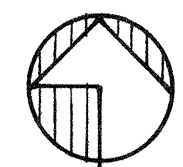
Cordially,


Bernie J. Montoya, C.E.
Engineering Assistant

xc: Alan Martinez
Darlene Saavedra
Hennings Homes

BJM/bjf
(WP+3505)

PUBLIC WORKS DEPARTMENT



0 5 10

LEGEND:

- 70.0' 71.10' = TOP OF CURB ELEVATION
R = 70.56' = CURB RUN LINE ELEVATION
--- G7 --- = EXISTING OR PREPARED CONCRETE
--- G7 --- = EXISTING CONTOUR (ORIGINAL)
--- G7 --- = PREPARED CONTOUR
X = EXISTING FENCE
78.90' = EXISTING SPOT ELEVATION
78.1' = EXISTING SPOT ELEVATION

NOTE:

- (A) LANDMARKED AREA
(B) RETAINING WALL TO BE DESIGNED BY OTHERS

NOTICE TO CONTRACTOR:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (765-1234) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		

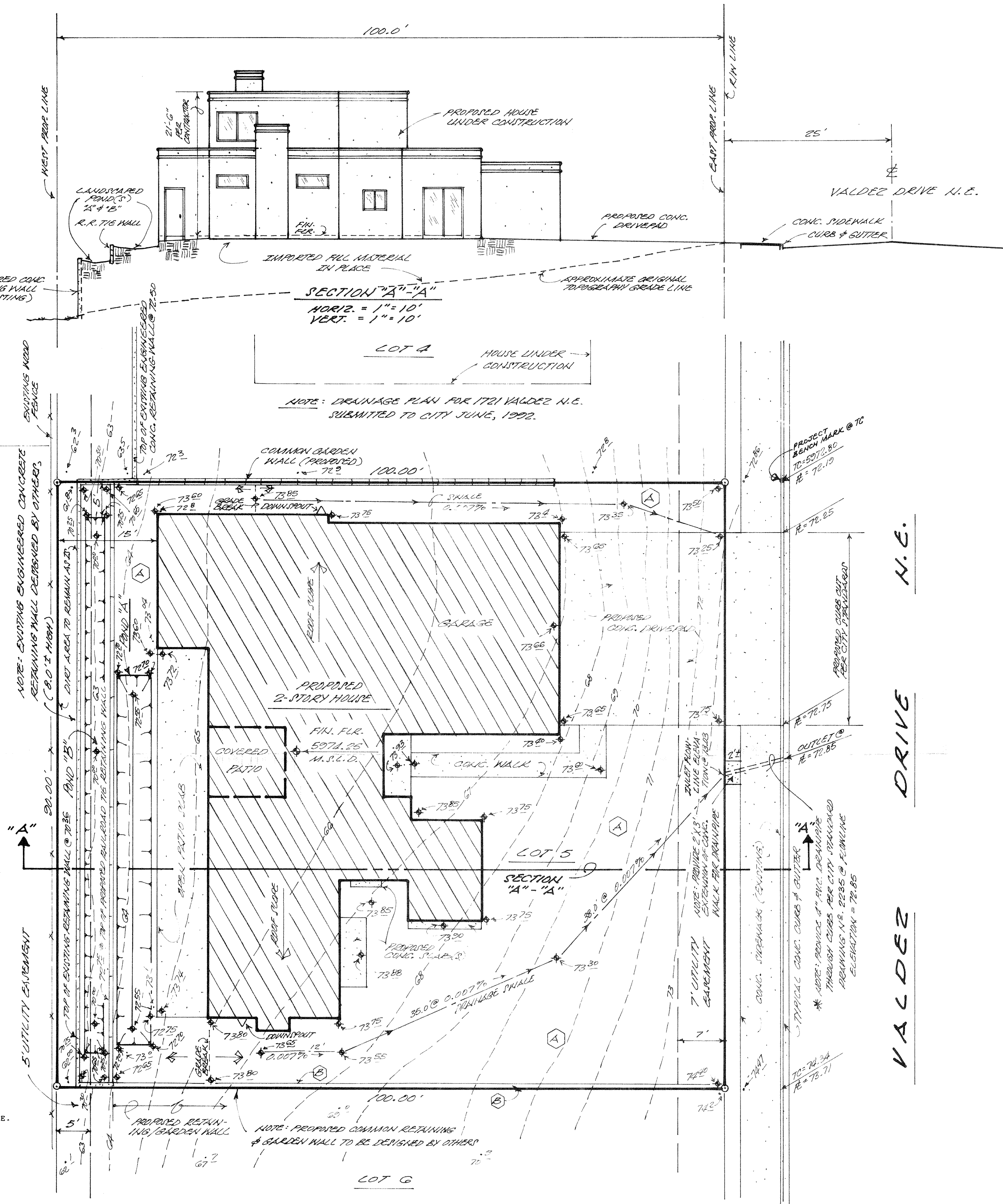
NOTICE TO CONTRACTOR:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED UPON BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT(S).
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH "CONTRACT DOCUMENTS FOR CITY WIDE UTILITIES AND CASH PAVING NO. 31".
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY FOR THE PROJECT.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE (260-1990) FOR THE LOCATION OF THE EXISTING SURFACE AND SUB-SURFACE UTILITIES.

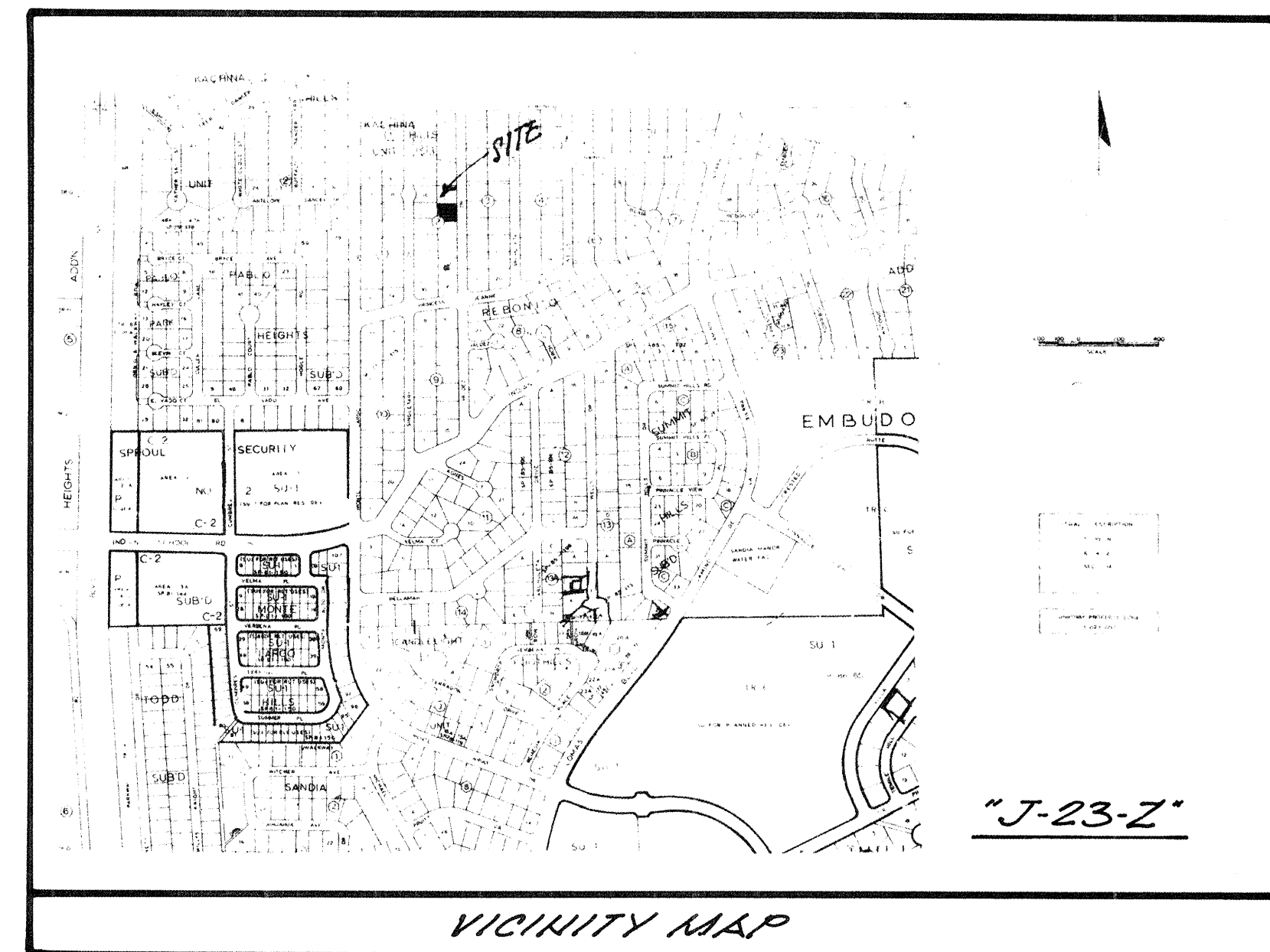
GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNER HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD WITHIN THE SUBJECT SITE OTHER THAN THOSE SHOWN ON THE PLAT OF RECORD.
- REFER TO "ARCHITECTURAL SITE PLAN" FOR FIELD LAYOUT OF PROPOSED IMPROVEMENTS.
- SPOT SHOT ELEVATIONS OF THE EXISTING IMPORTED FILL MATERIAL AND THE CONCRETE FLOOR SLAB OF THE HOUSE UNDER CONSTRUCTION ARE SHOWN ON THE PLAN HEREON.

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER PERMITS PERMIT.



NOTE: ORIGINAL CONTOURS ARE APPROXIMATE, BASED ON BEST AVAILABLE INFORMATION OBTAINED.



DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT PROPERTY IS LOCATED ON VALDEZ DRIVE N.E., APPROXIMATELY TWO (2) BLOCKS NORTH OF INDIAN SCHOOL ROAD N.E., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO; BASED ON A SITE INVESTIGATION AND A TOPOGRAPHY FIELD SURVEY CHECK OF THE SUBJECT SITE, IT HAS BEEN DETERMINED THAT THE DEVELOPED RUN-OFF OF THE PROPOSED IMPROVEMENTS ARE TO BE DIRECTED EASTERLY TOWARDS AND INTO VALDEZ DRIVE N.E. (A PUBLIC STREET); THE REMAINING RUN-OFF OF THE WESTERLY LANDSCAPED AREA IS TO BE DIRECTED INTO THE PROPOSED RETENTION POND AS SHOWN ON THE PLAN HEREON. THE PROPOSED DEVELOPED RUN-OFF IS TO BE DIRECTED TOWARDS AND INTO VALDEZ DRIVE N.E. VIA ROOF SCUPPERS OR DOWNSPOUTS AND DRAINAGE SWALES AS SHOWN HEREON.

DRAINAGE CALCULATIONS:

RATIONAL METHOD: $Q_{100} = CIA$
6 HR. - 100 YR. RAINFALL = 2.55 IN.
 $T_c =$ TEN (10) MINUTES MINIMUM
 $"I" = (2.55) (6.84) (10)^{-0.51} = 5.39$ IN.
DEVELOPED CONDITIONS:
TOTAL AREA = 90.0' X 100' = 9,000.0 SQ. FT. = 0.21 AC.
HARD SURFACE (ASPHALT/CONC.) = 882.0 SQ. FT. = 0.02 AC.
BUILDING ROOF AREA = 4,182.0 SQ. FT. = 0.10 AC.
LANDSCAPED AREA (RUNOFF TO STREET) = 2,086.0 SQ. FT. = 0.05 AC.
LANDSCAPED AREA TO POND = 1,850.0 SQ. FT. = 0.04 AC.
RUNOFF TO STREET:
HARD SURFACE (ASPHALT/CONCRETE) = 0.02 AC. = 12% X (C=0.95) = 0.11
BUILDING ROOF AREA = 0.10 AC. = 59% X (C=0.90) = 0.53
LANDSCAPE AREA = 0.05 AC. = 29% X (C=0.25) = 0.07
"C" FACTOR = 0.71
 $Q_{100} = CIA = 0.71 \times 5.39 \times 0.17 = 0.65$ CFS (DEVELOPED RUNOFF TO STREET)

POND CALCULATIONS:

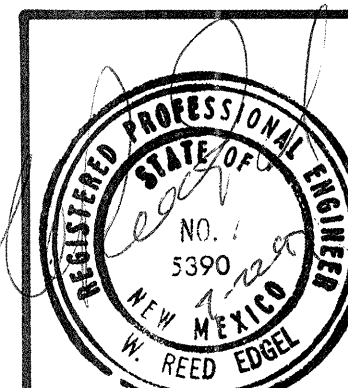
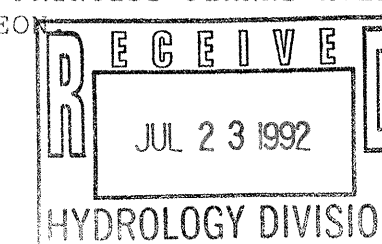
TOTAL AREA TO POND = 1,850.0 SQ. FT. = 0.04 AC.
 $V_{100} = 0.25 \times (2.55/12) \times 1,850.0 = 98.3$ CU. FT. (REQUIRED)
POND SIZE:
POND "A" = 0.15' X 5.0' X 55.0' = 41.3 CU. FT.
POND "B" = 0.25' X 3.0' X 80.0' = 60.0 CU. FT.
TOTAL = 101.3 CU. FT. (PROVIDED) > 98.3 CU. FT.

LEGAL DESCRIPTION:

LOT FIVE (5), BLOCK TWO (2), OF THE REBONITO SUBDIVISION, TO THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCH MARK REFERENCE:

ACS BRASS CAP STATION "16-J23", M.S.L.D. ELEVATION = 5933.885; LOCATED AT THE SOUTHEAST CORNER OF MONTE LARGO DRIVE N.E. AND PRINCESS JEANNE AVENUE N.E.; (PROJECT BENCH MARK AS SHOWN ON THE PLAN HEREON)



DRAINAGE PLAN
FOR HOUSE LOCATED AT
1717 VALDEZ DRIVE N.E.
ALBUQUERQUE, NEW MEXICO
JULY, 1992