

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 26, 2024

Ron Hensley, PE
THE Group
300 Branding Iron Rd SE
Rio Rancho, NM 87124

Re: Paradise RV Park
Volcano Rd NW- UPC 101106424915240520
Request for Certificate of Occupancy
Transportation Development Final Inspection
Plan Approval Date 10-21-22 (K08D003)
Certification dated 12-28-23

Dear Mr. Hensley;

Based upon the information provided in your submittal received 12-28-23 and completion of the punchlist 1-26-24, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Sincerely,

NM 87103

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

C: Laurie Elliot, Yvette Lucero, Desiree Gonzales, Wendi Alcala, James Broomfield,
Karanveer.raai@gmail.com

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 29, 2023

Ron Hensley, PE
THE Group
300 Branding Iron Rd SE
Rio Rancho, NM 87124

Re: Paradise RV Park
Volcano Rd NW- UPC 101106424915240520
Request for Certificate of Occupancy- 30 Day Temp
Transportation Development Final Inspection
Plan Approval Date 10-21-22 (K08D003)
Certification dated 12-28-23

Dear Mr. Hensley;

Based upon the information provided in your submittal received 12-28-23, Transportation Development has no objection to a 30-Day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-Day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to issuance of a Permanent Certificate of Occupancy, the following items are to be addressed:

1. Replace the Accessible parking signs with signs that include the language: "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
2. Add the pavement marking "NO PARKING" at the rear of the accessible Aisle.
3. Have a sign for each motorcycle parking space.
4. Two of the ramps were not flush with the adjoining parking surface.
5. The ramp west of the accessible parking and at the corner (in area of 6/SP-3 Detail on Sheet SP-1 and discussed on-site) had a slope of approximately 12.5%, whereas, the max allowable slope is 8.3%. Replace the ramp with a ramp with an acceptable slope.

If you have any questions, please contact me at ccherne@cabq.gov or (505) 924-3986.

Sincerely,

Curtis Cherne, P.E.
Senior Engineer, Planning Dept.
Development Review Services

C: Laurie Elliot, Yvette Lucero, Desiree Gonzales, Wendi Alcala, James Broomfield,
Karanveer.raai@gmail.com



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Volcano Rd. NW Hydrology File # K08D003

Legal Description: TRACT 3E, ROW A, UNIT A WEST OF WESTLAND, TOWN OF ATRISCO GRANT

City Address, UPC, OR Parcel: 101106424915240520

Applicant/Agent: THE Group Contact: Ron E. Hensley

Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124 Phone: 505-410-1622

Email: ron@thegroup.cc

Applicant/Owner: West Mesa RV Park LLC Contact: Karan Singh Rai

Address: 3009 San Joaquin Ave Se Albuquerque, NM 87106 Phone: 760-783-6599

Email: karanveer.ra@gmail.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☒ DFT SITE ☐ RESIDENCE ☐ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

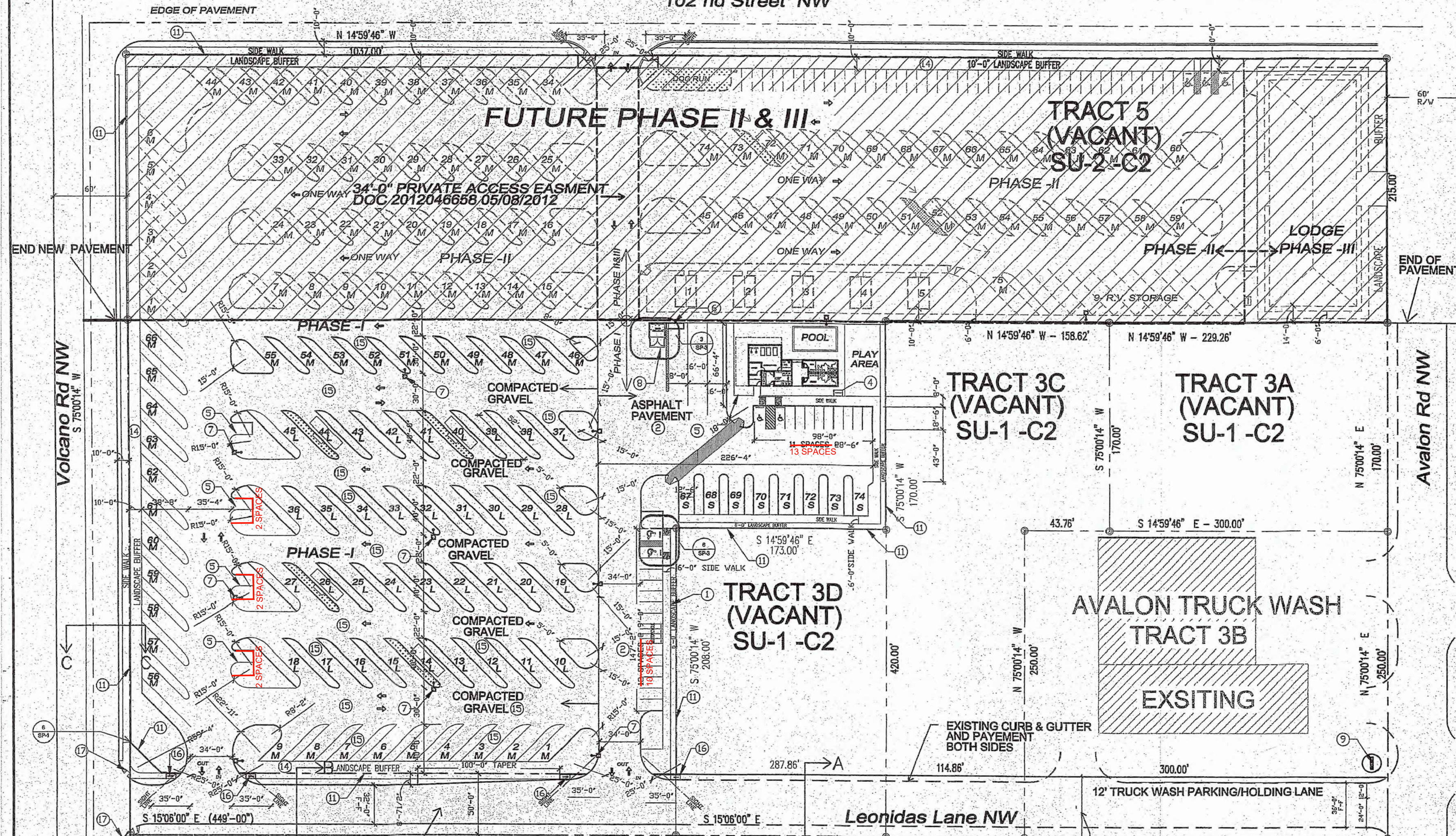
TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/28/23

TRACT 6 (VACANT) ZONED A-1

102 nd Street NW



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

SCALE: 1"=50'-0"

GRAPHIC SCALE

SCALE: 1"=50'

KEYED NOTES

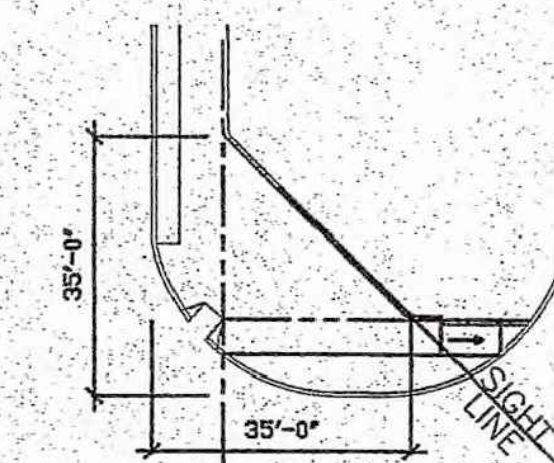
1. CONCRETE CURB- SEE DETAIL 2/SP-02 PART OF PHASE I CONSTRUCTION.
2. ASPHALT PAVING PART OF PHASE I CONSTRUCTION.
3. ADA PARKING SEE 6/A-02 PART OF PHASE I CONSTRUCTION.
4. BIKE RACK FOR 4 BIKES - SEE DETAIL 1/SP-02 PART OF PHASE I CONSTRUCTION.
5. PARKING SPACE.
6. RECYCLE PAD 5'-0"x15'-0", FENCED PART OF PHASE I CONSTRUCTION.
7. PARKING LOT LIGHTING - SEE DETAIL 4/SP-02 PART OF PHASE I CONSTRUCTION.
8. TRASH ENCLOSURE - SEE DETAIL 3/SP-02 PART OF PHASE I CONSTRUCTION.
9. EXISTING PYLON SIGN TO BE MODIFIED - SEE DETAIL 9/SP-02 PART OF PHASE I CONSTRUCTION.
10. PERMANENT FOUNDATION REF. TO 3/SP-01 & 4/A-01 FOR ELEV.
11. 12. 8" CMU FENCE WALL 6'-0" TALL SEE DETAIL 12/SP-02
12. NOT USED
13. CONCRETE CURB.
14. 10 FEET LANDSCAPE BUFFER AND PUBLIC UTILITY EASEMENT (PUE)
15. COMPACTED GRAVEL BASE
16. BUILD UNIDIRECTIONAL WHEEL CHAIR RAMPS PER COA DWG 2426 WITH TRUNCATED DOMES.
17. BUILD WHEEL CHAIR RAMPS PER COA DWG (2426, 2440 & 2441 CASE II) OFFSET TYPE WITH TRUNCATED DOMES.

DEVELOPMENT NOTE:

1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).
2. THE EXISTING POND LOCATED ON TRACT 3E SHALL BE VACATED ONLY AFTER THE COMPLETION OF LEONIDAS LANE AND THE STORM DRAIN REQUIRED TO ACCOMMODATE THE FLOWS GENERATED FROM TRACTS 3A, 3B, 3C AND 3D INTO THE EXISTING CITY OF ALBUQUERQUE POND AS SHOWN ON SHEET CO-1 OF THE GRADING & DRAINAGE PLAN.
3. ALL ROADWAY IMPROVEMENTS INCLUDING LEONIDAS LANE, TO BE BUILT WITH WORK ORDER.

PHASE I

1. CLUB HOUSE & POOL
 2. (52'-0") LARGE RV SPACES (L) = 36
 3. (38'-6") MEDIUM RV SPACES (M) = 30
 4. (30'-0") SMALL RV SPACES (S) = 8
- TOTAL = 74
- GROSS BUILDING AREA-CLUB HOUSE = 5000 SF
- PARKING TABULATION**
- CAR PARKING SPACES = 20 TOTAL 30 TOTAL
- ADA PARKING SPACES = 4
- MOTOR CYCLE SPACES = 4
- BIKE RACK = 4 BIKES



SIGHT TRIANGLE DAIGRAM

SP-1 NTS.

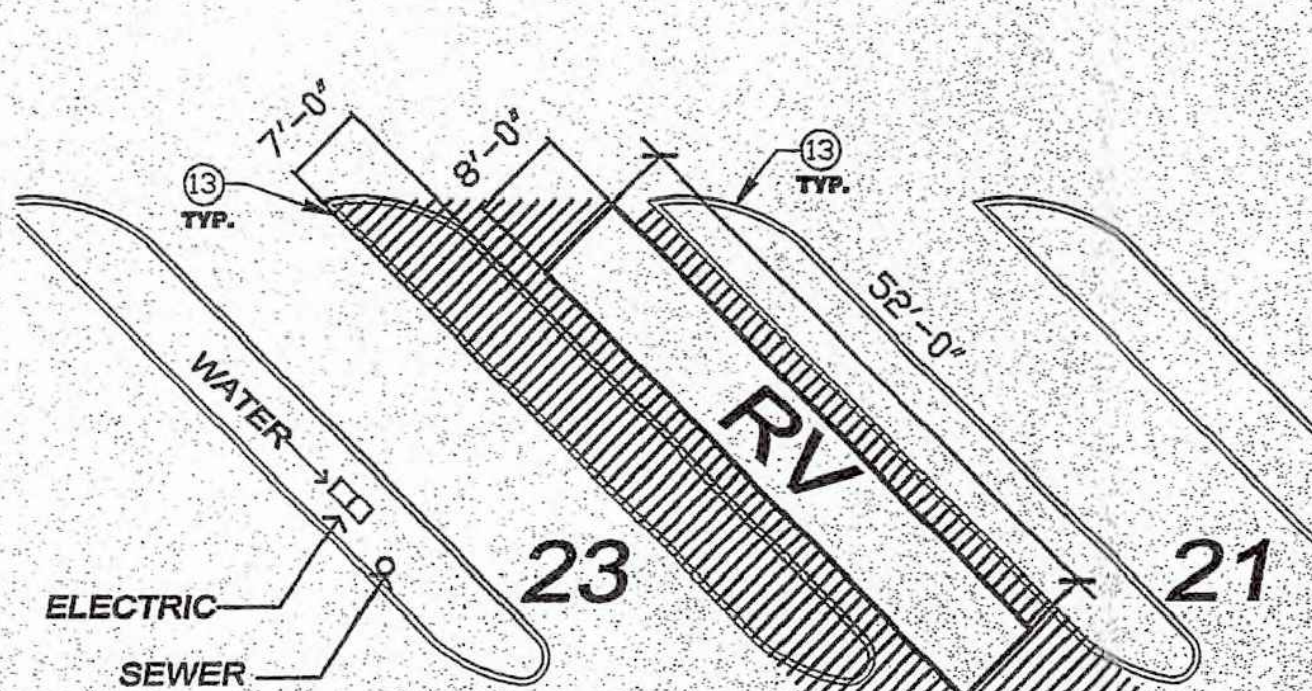
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Afra Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

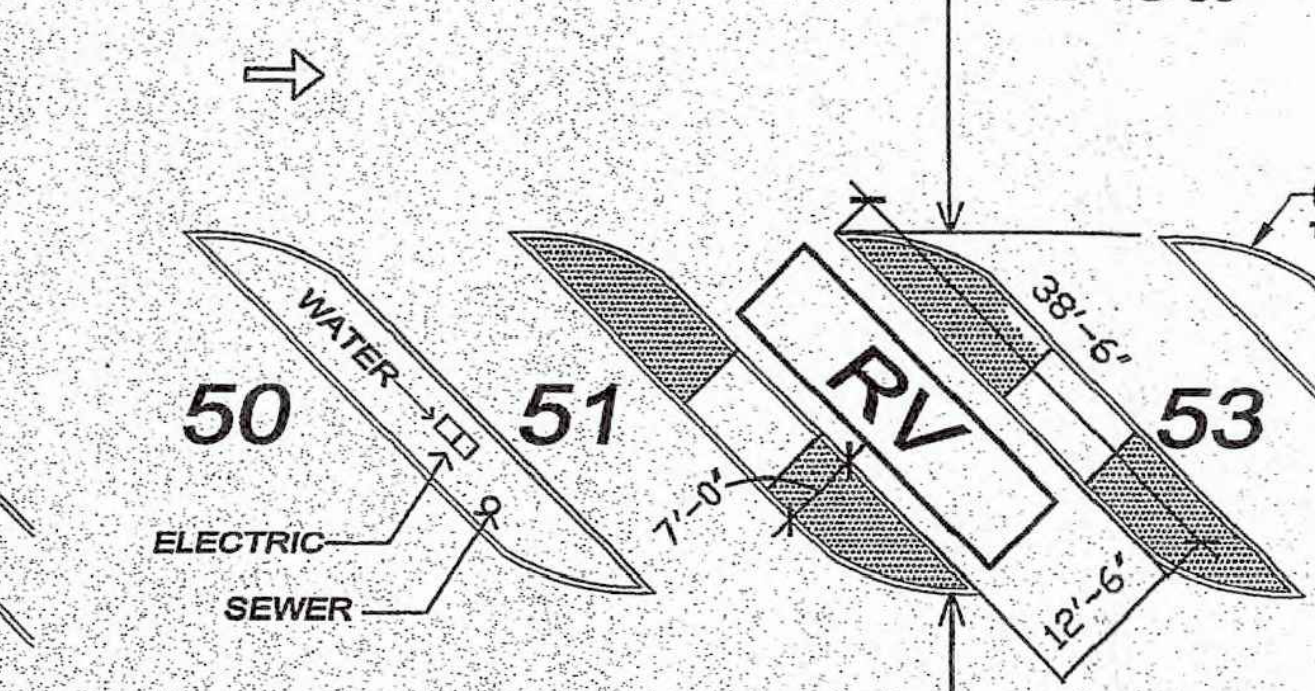
Paradise RV Park
Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

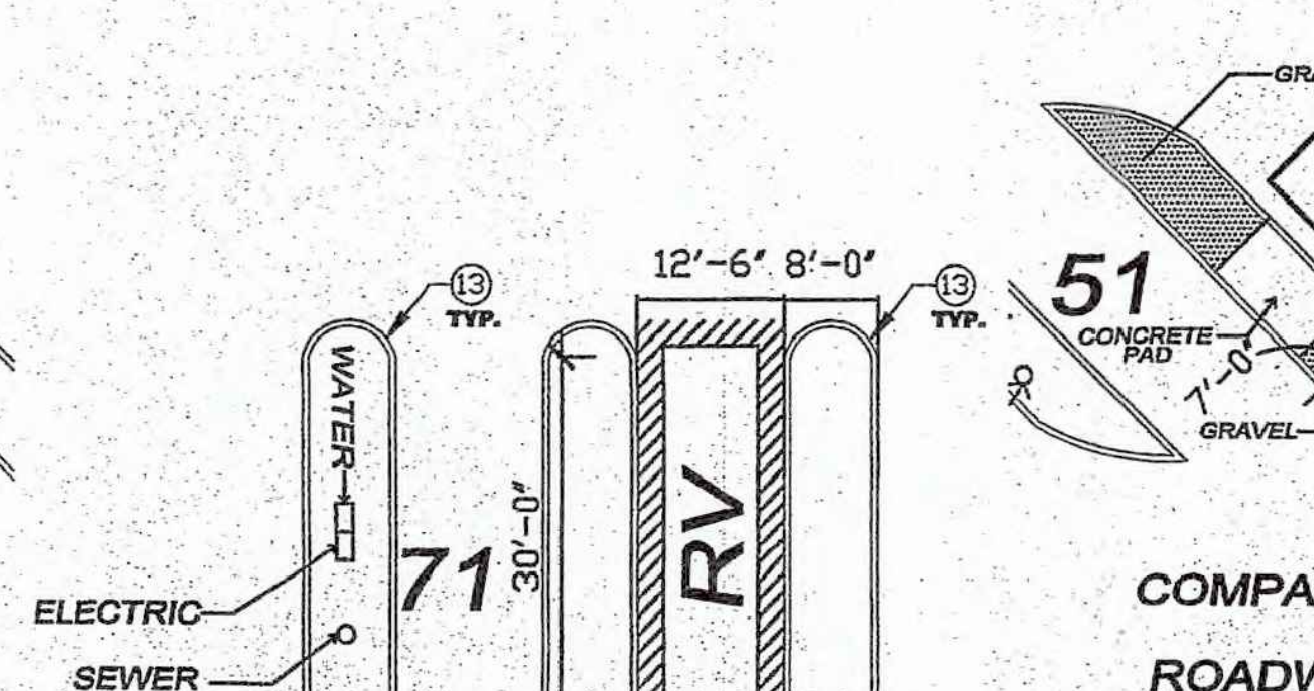
SP-1
06.13.2012



(L) LARGE RV SPACE DETAIL
TOTAL R.V AREA = 1144 SF
SCALE: 1/16"=1'-0"



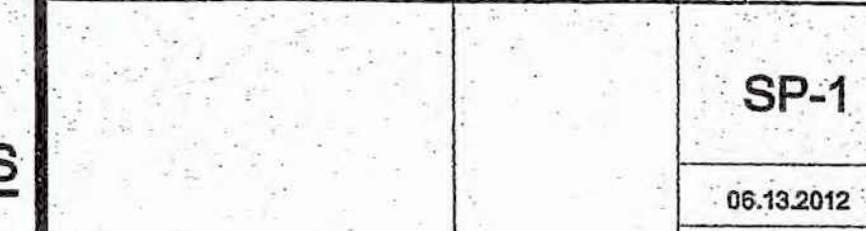
(M) MEDIUM RV
TOTAL R.V AREA = 800 SF
SCALE: 1/16"=1'-0"



(S) SMALL RV SPACE DETAIL
TOTAL R.V AREA = 412 SF
SCALE: 1/16"=1'-0"



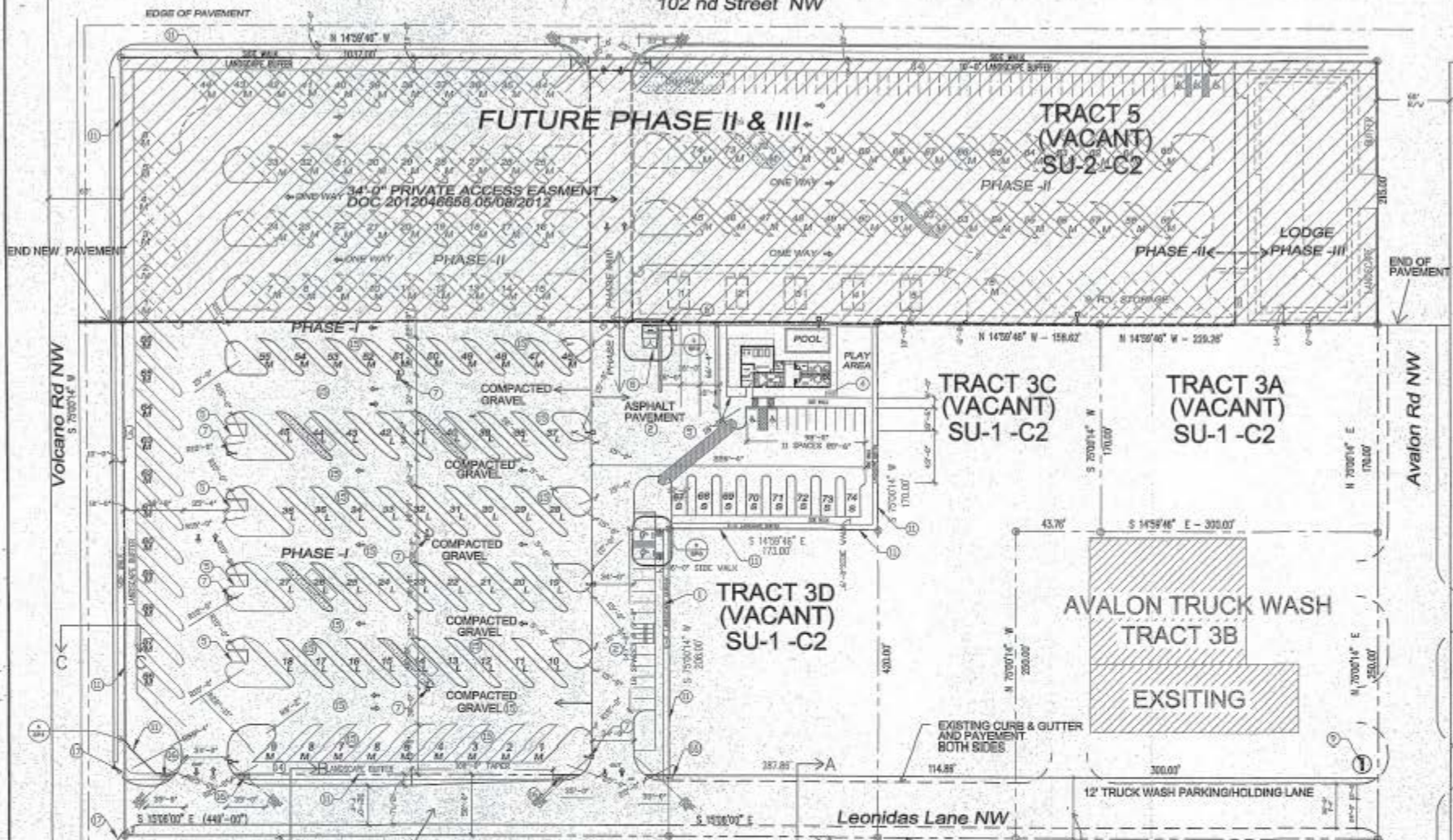
TYPICAL SURFACE DETAIL
SCALE: 1/16"=1'-0"



RV CENTERLINE TURNING RADIUS
NTS.

TRACT 6 (VACANT) ZONED A-1

102 nd Street NW



KEYED NOTES

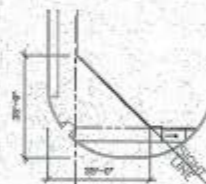
1. CONCRETE CURB - SEE DETAIL 2/SP-02 PART OF PHASE I CONSTRUCTION.
2. ASPHALT PAVING PART OF PHASE I CONSTRUCTION.
3. ADA PARKING - SEE 6/A-02 PART OF PHASE I CONSTRUCTION.
4. ONE RACK FOR 4 BIKES - SEE DETAIL 1/SP-02 PART OF PHASE I CONSTRUCTION.
5. PARKING SPACE.
6. RECYCLE PAD 5'-0"x15'-0", FENCED PART OF PHASE I CONSTRUCTION.
7. PARKING LOT LIGHTING - SEE DETAIL 4/SP-02 PART OF PHASE I CONSTRUCTION.
8. TRASH ENCLOSURE - SEE DETAIL 3/SP-02 PART OF PHASE I CONSTRUCTION.
9. EXISTING Pylon SIGN TO BE MODIFIED - SEE DETAIL 9/SP-02 PART OF PHASE I CONSTRUCTION.
10. PERMANENT FOUNDATION REF. TO 3/SP-01 & 4/A-01 FOR ELEV.
11. 12' 8" CMU FENCE WALL 6'-0" TALL SEE DETAIL 12/SP-02.
12. NOT USED.
13. CONCRETE CURB.
14. 10' FEET LANDSCAPE BUFFER AND PUBLIC UTILITY EASEMENT (PUE).
15. COMPACTED GRAVEL BASE.
16. BUILD UNIDIRECTIONAL WHEEL CHAIR RAMPS PER COA DWG 2420 WITH TRUNCATED CONES.
17. BUILD WHEEL CHAIR RAMPS PER COA DWG 2428, 2440 & 2441 CASE 1) OFFSET TYPE WITH TRUNCATED CONES.

DEM STANDARD NOTE:

1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2420), PRIVATE ENTRANCES (STD. DWG. 2428) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).
2. THE EXISTING POND LOCATED ON TRACT 3E SHALL BE VACATED ONLY AFTER THE COMPLETION OF LEONIDAS LANE AND THE STORM DRAIN REQUIRED TO ACCOMMODATE THE FLOOD GENERATED FROM TRACTS 3A, 3B, 3C AND 3D INTO THE EXISTING CITY OF ALBUQUERQUE POND AS SHOWN ON SHEET CO-1 OF THE GRADING & DRAINAGE PLAN.
3. ALL ROADWAY IMPROVEMENTS INCLUDING LEONIDAS LANE, TO BE BUILT WITH WORK ORDER.

PHASE I

1. CLUB HOUSE & POOL
 2. (12'-0") LARGE RV SPACES (L) = 50
 3. (36'-0") MEDIUM RV SPACES (M) = 30
 4. (30'-0") SMALL RV SPACES (S) = 8
- TOTAL = 88
- GROSS BUILDING AREA/ACRES: 110000/1.0000
- PARKING TABULATION**
- CAR PARKING SPACES = 20 TOTAL
- ADA PARKING SPACES = 4
- MOTOR CYCLE SPACES = 4
- BIKE RACK = 4 BIKES



SIGHT TRIANGLE DIAGRAM

NTS.



LOCATION MAP

ZONE ATLAS K-8-Z

PROJECT NUMBER: 1008830

APPLICATION NUMBER: 120RB-70119

THIS PLAN IS CONSIDERED THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) OF THE CITY OF ALBUQUERQUE, NEW MEXICO, AND THE PROJECTS AND CONDITIONS IN THE OFFICIAL JUDICIAL RECORD ARE DERIVED FROM THE EPC RECORD.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, WITH A SET OF APPROVED 20% PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC INFRASTRUCTURE.

DATE: 06-13-12

DATE: 06-15-12

DATE: 6-13-12

DATE: Oct 20, 2022

DATE: 6-14-22

DATE: Oct 21, 2022

DATE:

NOTE: MAINTENANCE OF PUBLIC OPEN SPACE ADJACENT SHALL BE THE RESPONSIBILITY OF THE OWNER.

NOTE: SITE LIGHTING TO COMPLY WITH AREA LIGHTING REGULATIONS 14-16-3-8 OF THE ZONING CODE.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Afra Construction & Design

3001 1st St. Suite 100
Albuquerque, NM 87106
Tel: 505.241.0746
Fax: 505.241.1707

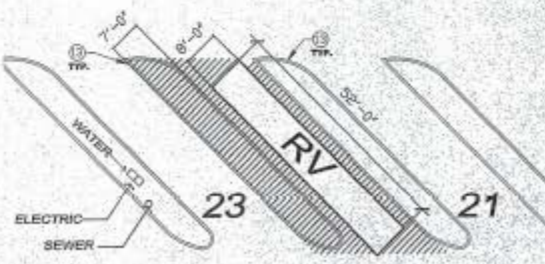
Paradise RV Park

Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87131

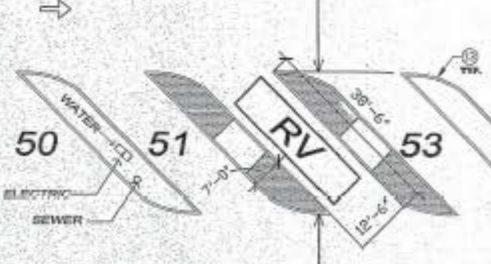
REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-1

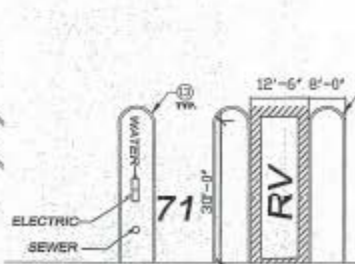
04.13.2022



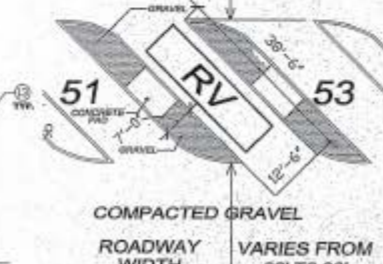
(L) LARGE RV SPACE DETAIL
TOTAL R.V. AREA = 1144 SF
SCALE: 1/16"=1'-0"



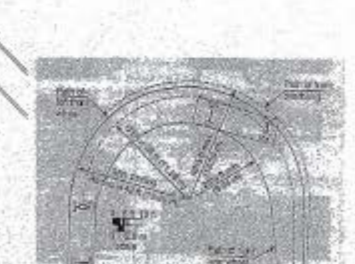
(M) MEDIUM RV SPACE DETAIL
TOTAL R.V. AREA = 800 SF
SCALE: 1/16"=1'-0"



(S) SMALL RV SPACE DETAIL
TOTAL R.V. AREA = 412 SF
SCALE: 1/16"=1'-0"



(SP-1) TYPICAL SURFACE DETAIL
SCALE: 1/16"=1'-0"



(SP-1) RV CENTERLINE TURNING RADIUS
NTS.










1008830_12DRB-70119_Site_Plan_Approved_6-13-12

Final Audit Report

2022-10-21

Created:	2022-10-20
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABAA2f19DP8jKbG3eG4WogmNdUN3nSV36F8w

"1008830_12DRB-70119_Site_Plan_Approved_6-13-12" History

-  Document created by Jay Rodenbeck (jrodenbeck@cabq.gov)
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-  Document emailed to Shahab Biazar (sbiazar@cabq.gov) for signature
2022-10-20 - 5:52:19 PM GMT
-  Document emailed to jwolfley@cabq.gov for signature
2022-10-20 - 5:52:19 PM GMT
-  Email viewed by Shahab Biazar (sbiazar@cabq.gov)
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-  Document e-signed by Shahab Biazar (sbiazar@cabq.gov)
Signature Date: 2022-10-20 - 7:56:59 PM GMT - Time Source: server- IP address: 198.175.173.4
-  Email viewed by jwolfley@cabq.gov
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-  Signer jwolfley@cabq.gov entered name at signing as Jolene Wolfley, CABQ Planning
2022-10-21 - 7:54:54 PM GMT - IP address: 143.120.133.169
-  Document e-signed by Jolene Wolfley, CABQ Planning (jwolfley@cabq.gov)
Signature Date: 2022-10-21 - 7:54:55 PM GMT - Time Source: server- IP address: 143.120.133.169
-  Agreement completed.
2022-10-21 - 7:54:55 PM GMT

