

PARADISE RV-PARK

Avalon Road / 102nd Street NW

Albuquerque, NM. 87120

Design Review Board (DRB) Submittal Site Development Plan For Building Permit

Project No. 1008830

JUNE, 2012

APPROVED - AEHD	
SIGNATURE	DATE

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PROJECT DATA

LEGAL DESCRIPTION
PRELIMINARY PLAT
TRACT 3E
ROW TWO (2), UNIT A WEST OF WESTLAND
WITHIN THE TOWN OF ATRISCO GRANT SECT. 20, T10N, R2E, NMPM
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

AREA SUMMARY:

GROSS BUILDING AREA: CLUB HOUSE =1500 SF
GROSS DENSITY OF RV IS 15 RV'S PER ACRE

CODE INFORMATION:

INTERNATIONAL BUILDING CODE, IBC-2009
* NFPA 1194:
STANDARD FOR RECREATIONAL VEHICLE PARKS
AND CAMPGROUNDS 2011 EDITION
* THE DEVELOPMENT SHALL COMPLY WITH THE
AREA LIGHTING REGULATIONS, 14-16-3-9 OF
THE ZONING CODE.
EXISTING ZONE: SU-1 C2 INCLUDING CAMP
GROUND
ZONING: SU-1
ZONE ATLAS MAP: K-8-Z

PROPOSED ZONE

SU-1 FOR MIXED USE TO INCLUDE RV- PARK
LODGE & RV STORAGE

PHASE I

1. CLUB HOUSE & POOL
 2. (52'-0") LARGE RV SPACES (L) = 36
 3. (38'-6") MEDIUM RV SPACES (M) = 30
 4. (30'-0") SMALL RV SPACES (S) = 8
- TOTAL = 74

GROSS BUILDING AREA-CLUB HOUSE =1500SF

PARKING TABULATION

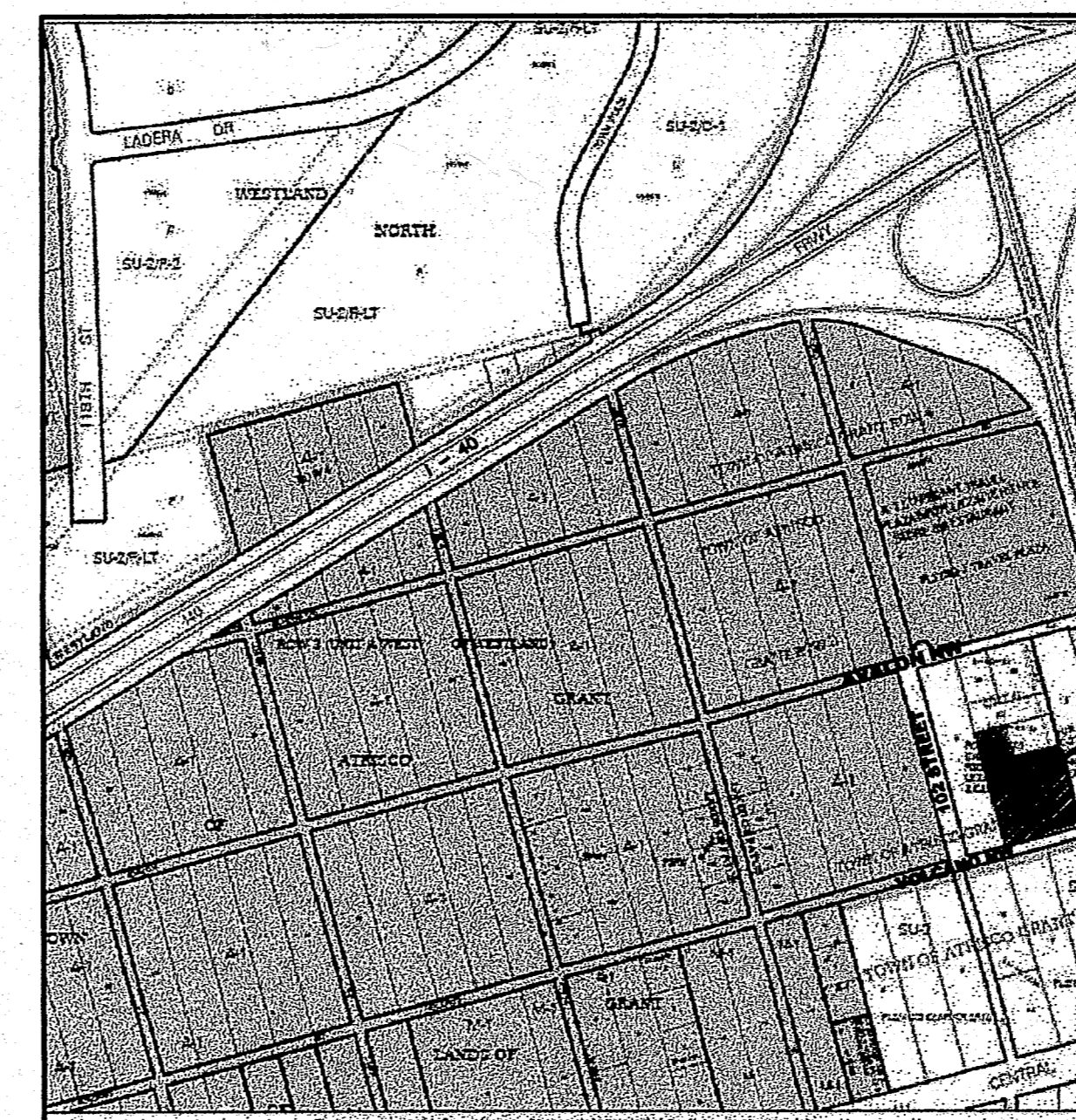
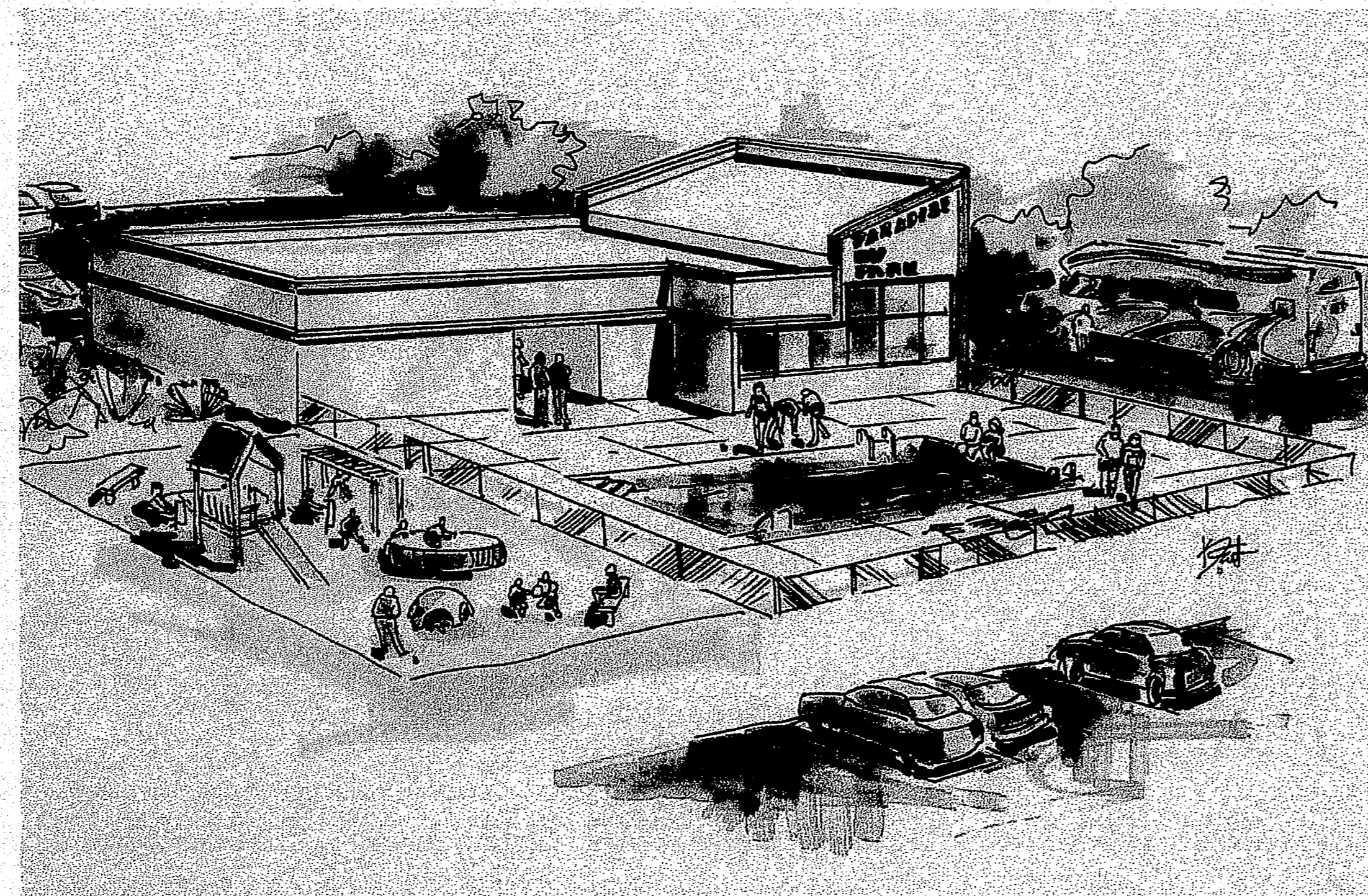
CAR PARKING SPACES =29 TOTAL
ADA PARKING SPACES =4
MOTOR CYCLE SPACES =4
BIKE RACK = 4 BIKES

PROJECT TEAM

ARCHITECT: TAFAZZUL HUSSAIN
AFRA CONSTRUCTION AND DESIGN
2501 YALE BLVD, SUITE 102
ALBUQUERQUE, NEW MEXICO 87106
CELL: (505) 315-1482
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email: thussain@afradesign.com

CIVIL: LARRY READ & ASSOCIATES
2430 MIDTOWN PI NE # C,
ALBUQUERQUE, NM 87107
TEL: (505) 237-8421
FAX: (505) 237-8422
CONTACT: LARRY READ
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LANDSCAPE: HILL TOP
7909 EDITH NE
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FAX: (505) 898-7737
email: cnd@hilltoplandscaping.com



SITE
LOCATION

COVER SHEET

Afra Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242-1737

Paradise RV Park
Avalon Rd/ 102nd Street, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

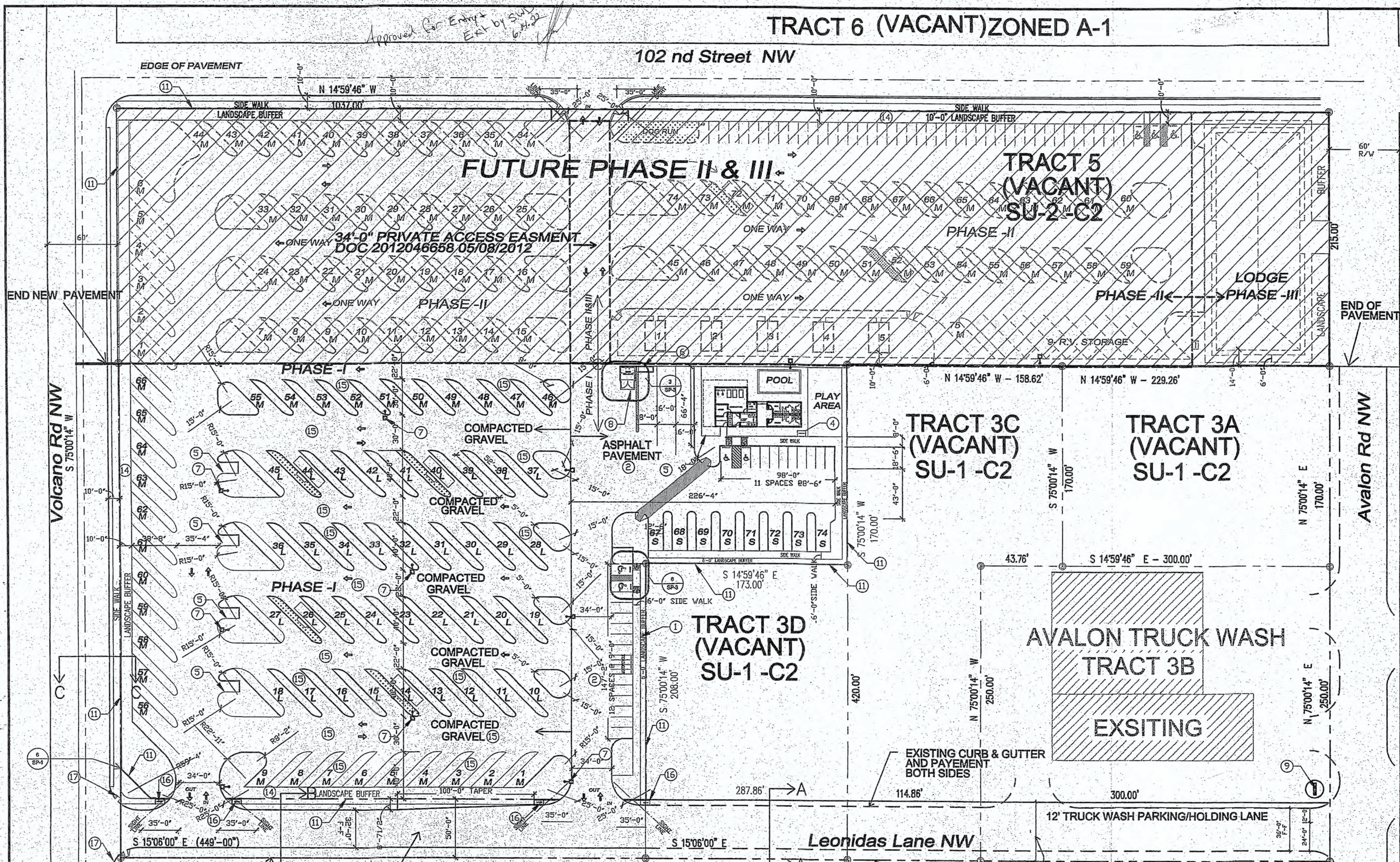
CS-1

06.13.2012

LOCATION MAP
ZONE ATLAS: K-8-Z N.T.S.

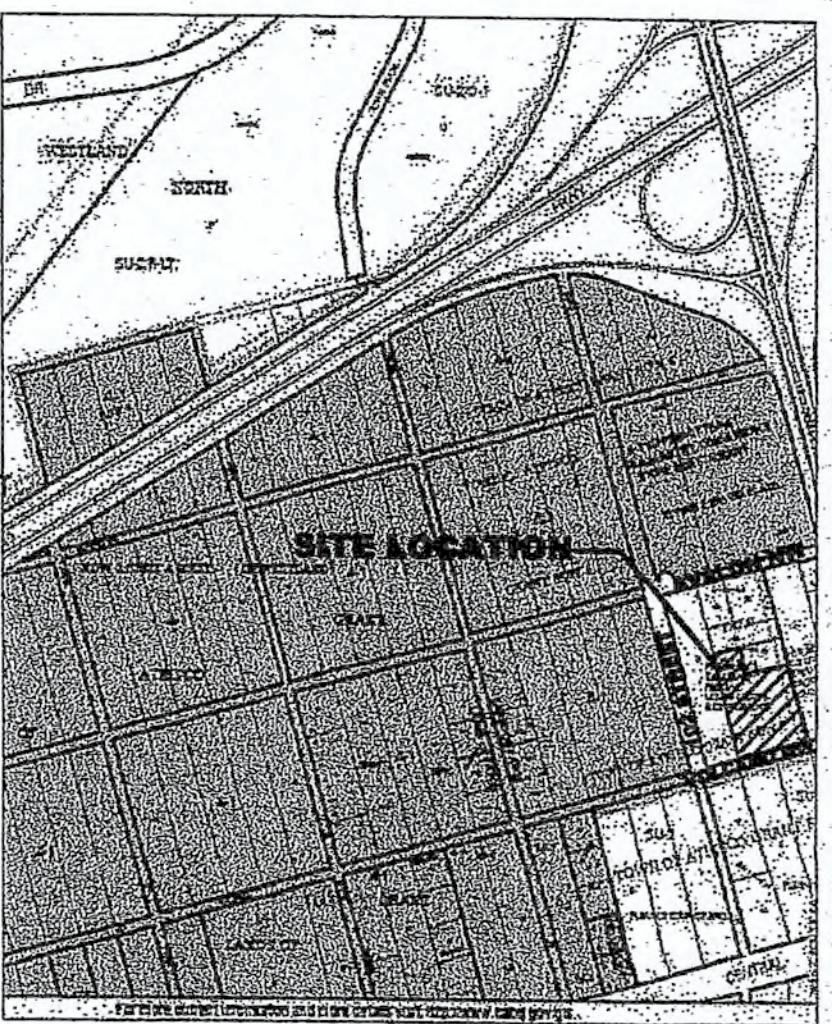


TRACT 6 (VACANT) ZONED A-1



KEYED NOTES

1. CONCRETE CURB - SEE DETAIL 2/SP-02 PART OF PHASE I CONSTRUCTION.
2. ASPHALT PAVING PART OF PHASE I CONSTRUCTION.
3. ADA PARKING SEE 6/A-02 PART OF PHASE I CONSTRUCTION.
4. BIKE RACK FOR 4 BIKES - SEE DETAIL 1/SP-02 PART OF PHASE I CONSTRUCTION.
5. PARKING SPACE.
6. RECYCLE PAD 5'-0"x15'-0", FENCED PART OF PHASE I CONSTRUCTION.
7. PARKING LOT LIGHTING - SEE DETAIL 4/SP-02 PART OF PHASE I CONSTRUCTION.
8. TRASH ENCLOSURE - SEE DETAIL 3/SP-02 PART OF PHASE I CONSTRUCTION.
9. EXISTING PYLON SIGN TO BE MODIFIED - SEE DETAIL 9/SP-02 PART OF PHASE I CONSTRUCTION.
10. PERMANENT FOUNDATION REF. TO 3/SP-01 & 4/A-01 FOR ELEV WITH TRUNCATED DOMES.
11. 12. 8" CMU FENCE WALL 6'-0" TALL SEE DETAIL 12/SP-02
12. NOT USED
13. CONCRETE CURB.
14. 10 FEET LANDSCAPE BUFFER AND PUBLIC UTILITY EASEMENT (PUE)
15. COMPACTED GRAVEL BASE
16. BUILD UNIDIRECTIONAL WHEEL CHAIR RAMPS PER COA DWG 2426 WITH TRUNCATED DOMES.
17. BUILD WHEEL CHAIR RAMPS PER COA DWG (2426, 2440 & 2441 CASE I) OFFSET TYPE WITH TRUNCATED DOMES.



LOCATION MAP
ZONE ATLAS K-8-Z

DEM. STANDARD NOTE:

1. ALL PUBLIC INFRASTRUCTURE CONSTRUCTED WITHIN PUBLIC RIGHT OF WAY OR PUBLIC EASEMENTS SHALL BE TO CITY STANDARDS. THOSE STANDARDS WILL INCLUDE BUT NOT LIMITED TO SIDEWALKS (STD. DWG. 2430), DRIVEWAYS (STD. DWG. 2425), PRIVATE ENTRANCES (STD. DWG. 2426) AND WHEEL CHAIR RAMPS (STD. DWG. 2441).
2. THE EXISTING POND LOCATED ON TRACT 3E SHALL BE VACATED ONLY AFTER THE COMPLETION OF LEONIDAS LANE AND THE STORM DRAIN REQUIRED TO ACCOMMODATE THE FLOWS GENERATED FROM TRACTS 3A, 3B, 3C AND 3D INTO THE EXISTING CITY OF ALBUQUERQUE POND AS SHOWN ON SHEET CO-1 OF THE GRADING & DRAINAGE PLAN.
3. ALL ROADWAY IMPROVEMENTS INCLUDING LEONIDAS LANE, TO BE BUILT WITH WORK ORDER.

PHASE I

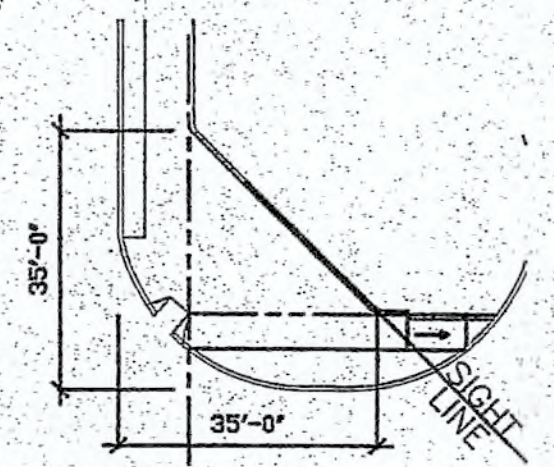
1. CLUB HOUSE & POOL
 2. (52'-0") LARGE RV SPACES (L) = 36
 3. (38'-6") MEDIUM RV SPACES (M) = 30
 4. (30'-0") SMALL RV SPACES (S) = 6
- TOTAL = 74
- GROSS BUILDING AREA: CLUB HOUSE = 1500 SF
- PARKING TABULATION**
- CAR PARKING SPACES = 29 TOTAL
ADA PARKING SPACES = 4
MOTOR CYCLE SPACES = 4
BIKE RACK = 4 BIKES

PROJECT NUMBER: 1008830
APPLICATION NUMBER: 12DRB-70119

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

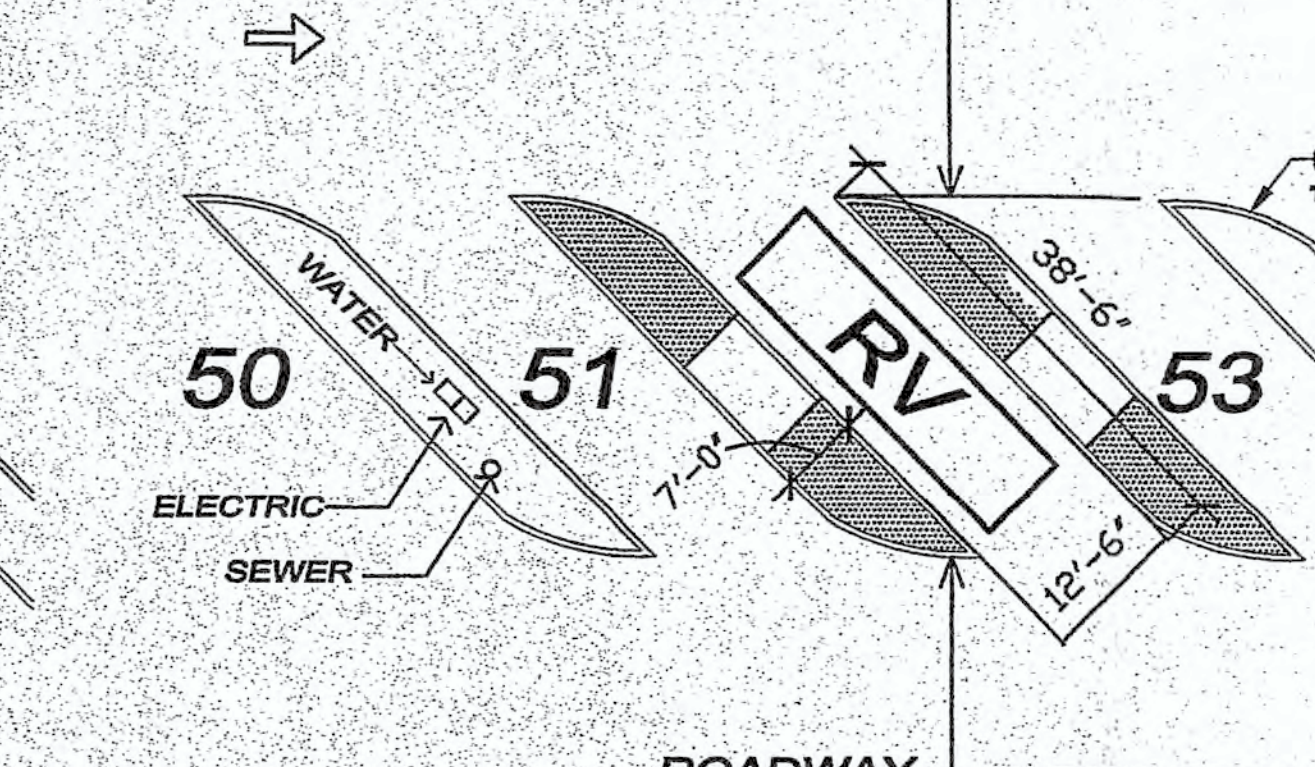
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE
SOLID WASTE MANAGEMENT	DATE
DRG CHAIRPERSON, PLANNING DEPARTMENT	DATE



6 SIGHT TRIANGLE DIAGRAM
SP-1 N.T.S.



ROADWAY WIDTH VARIES FROM 22' TO 30'

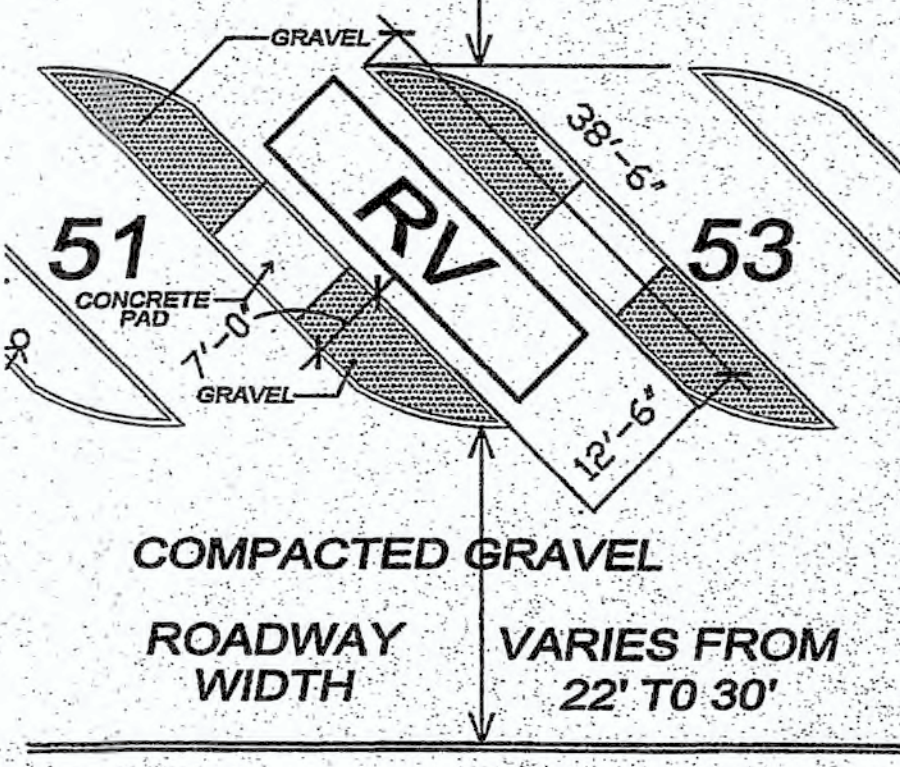


1 LARGE RV SPACE DETAIL TOTAL R.V. AREA = 1144 SF
SCALE: 1/16" = 1'-0"

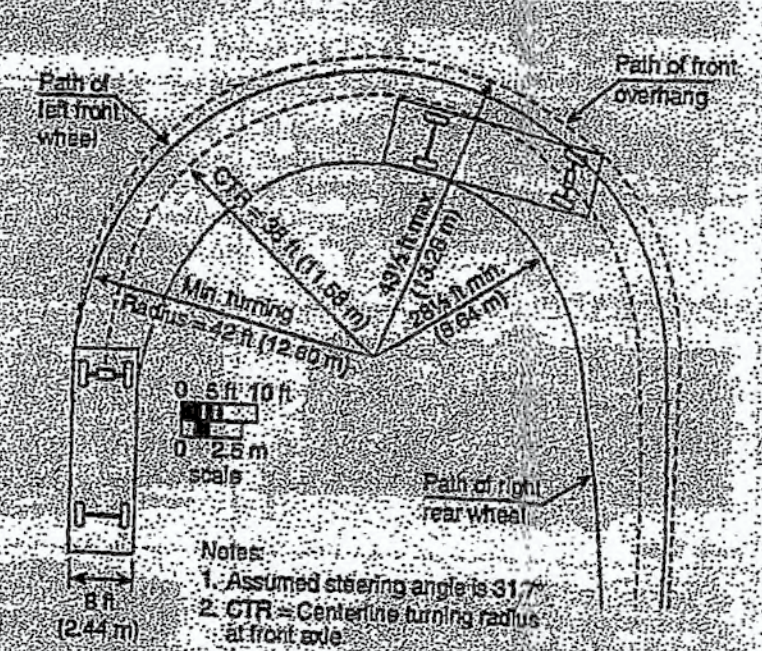
2 MEDIUM RV TOTAL R.V. AREA = 800 SF
SCALE: 1/16" = 1'-0"

3 SMALL RV SPACE DETAIL TOTAL R.V. AREA = 412 SF
SCALE: 1/16" = 1'-0"

ROADWAY WIDTH VARIES FROM 22' TO 30'



4 TYPICAL SURFACE DETAIL
SCALE: 1/16" = 1'-0"



5 RV CENTERLINE TURNING RADIUS
SP-1 N.T.S.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

Afra Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

Paradise RV Park
Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
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4			

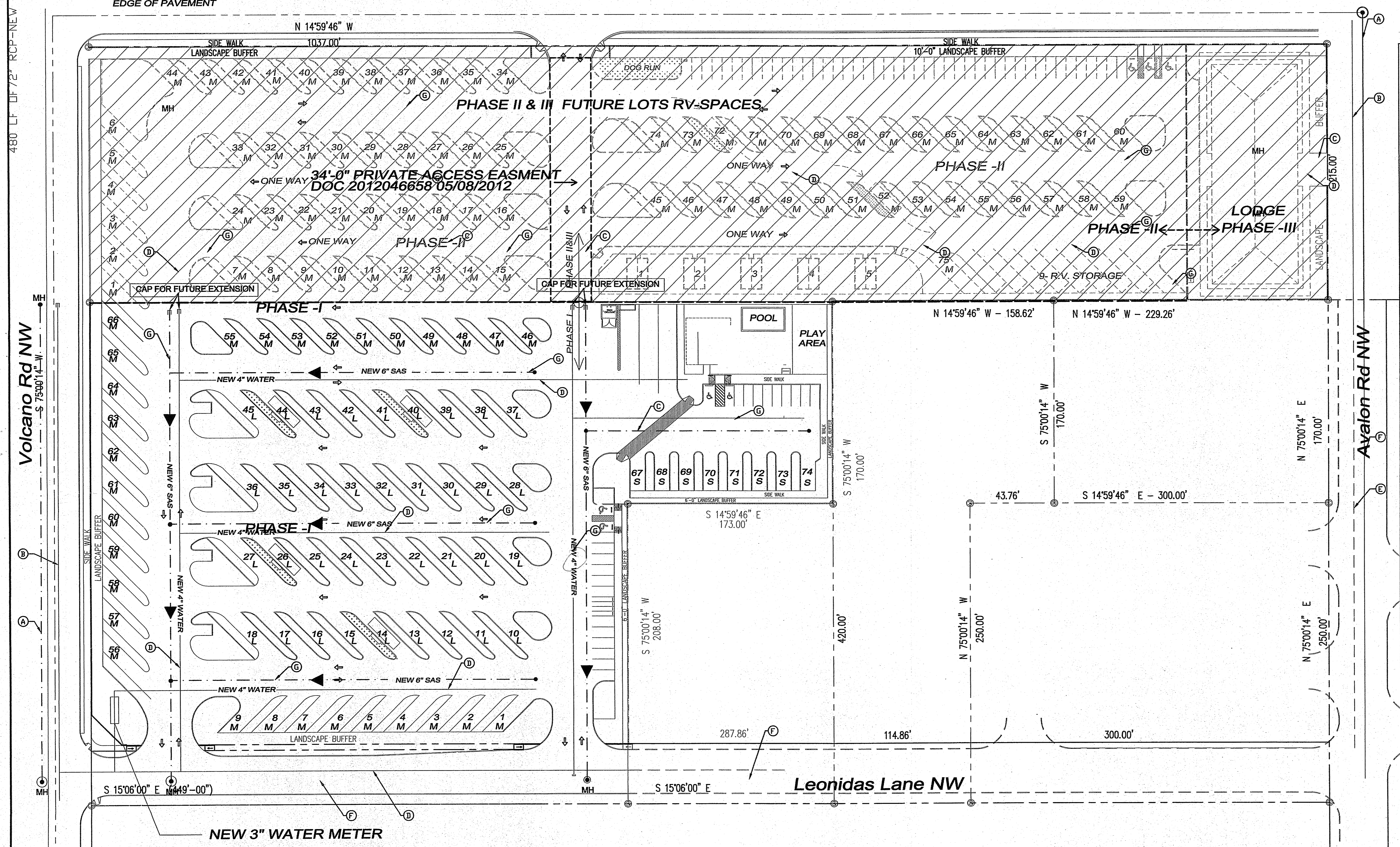
SP-1
06.13.2012

KEY NOTE

- (A) NEW 8" SAS
- (B) NEW 10" WATER LINE
- (C) NEW 6" SAS
- (D) NEW 4"- 6" WATER LINE
- (E) EXISTING 10" WATER LINE
- (F) EXISTING 8" SAS
- (G) NEW 4"-6" SAS

LEGEND

- MANHOLE
- CLEAN OUT



CONCEPTUAL UTILITY PLAN

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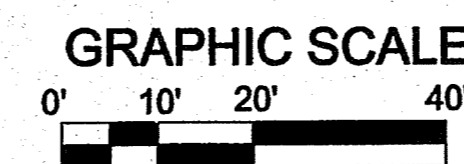
Paradise RV Park
 Avalon Rd/ Leonidas Ln, NW
 Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

C-02

04.12.2012

SITE PLAN
 SCALE: 1"=40'-0"



480 LF OF 72" RCP-NEW

Volcano Rd NW
 S 75°00'14" W - 7500'14" W

Avalon Rd NW

102 nd Street NW

1030 LF OF 42" RCP-NEW

NEW 3" WATER METER

Leonidas Lane NW

PHASE - I

PHASE - II

PHASE - II

PHASE - II

PHASE - III

PHASE II & III FUTURE LOTS RV-SPACES

34'-0" PRIVATE ACCESS EASEMENT
 DOC 2012046658 05/08/2012

POOL

PLAY AREA

9-R.V. STORAGE

CAP FOR FUTURE EXTENSION

CAP FOR FUTURE EXTENSION

NEW 4" WATER

NEW 4" WATER

NEW 4" WATER

S 15°06'00" E 149'-00"

NEW 4" WATER

MH

NEW 6" SAS

MH

287.86'

420.00'

N 75°00'14" W 250.00'

S 75°00'14" W 170.00'

S 14°59'46" E 173.00'

N 14°59'46" W - 158.62'

N 14°59'46" W - 229.26'

S 75°00'14" W 170.00'

N 75°00'14" E 170.00'

N 75°00'14" E 250.00'

S 14°59'46" E - 300.00'

N 75°00'14" E 250.00'

43.76'

114.86'

300.00'

N 14°59'46" W 1037.00'

1037.00'

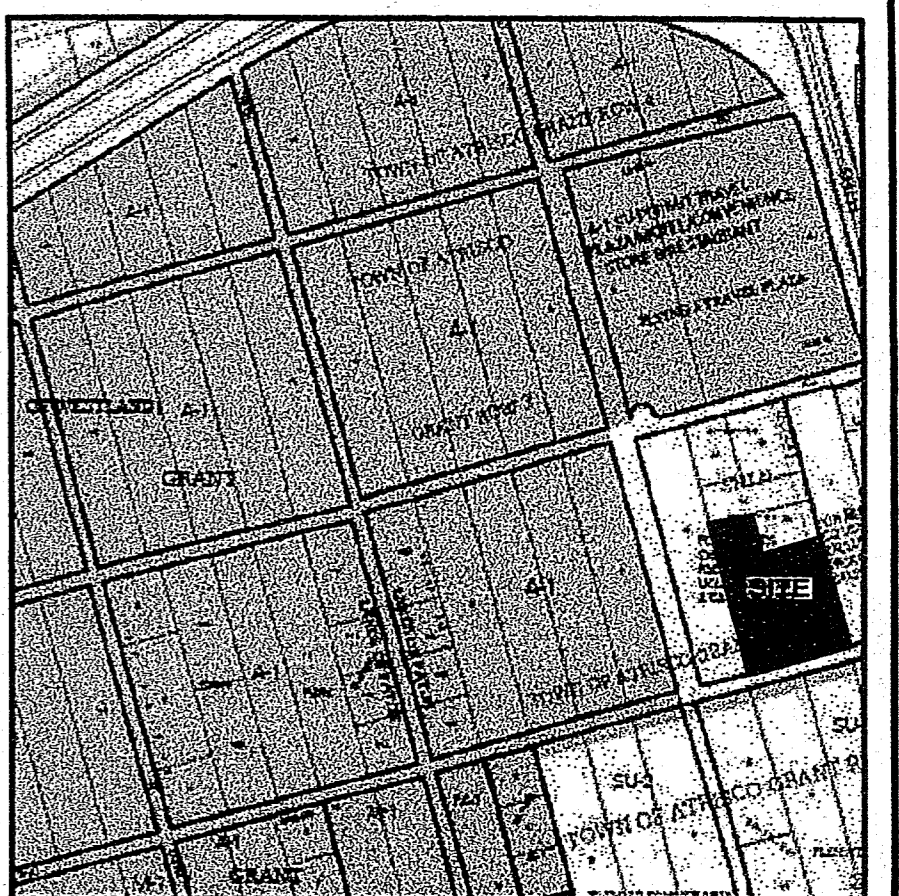
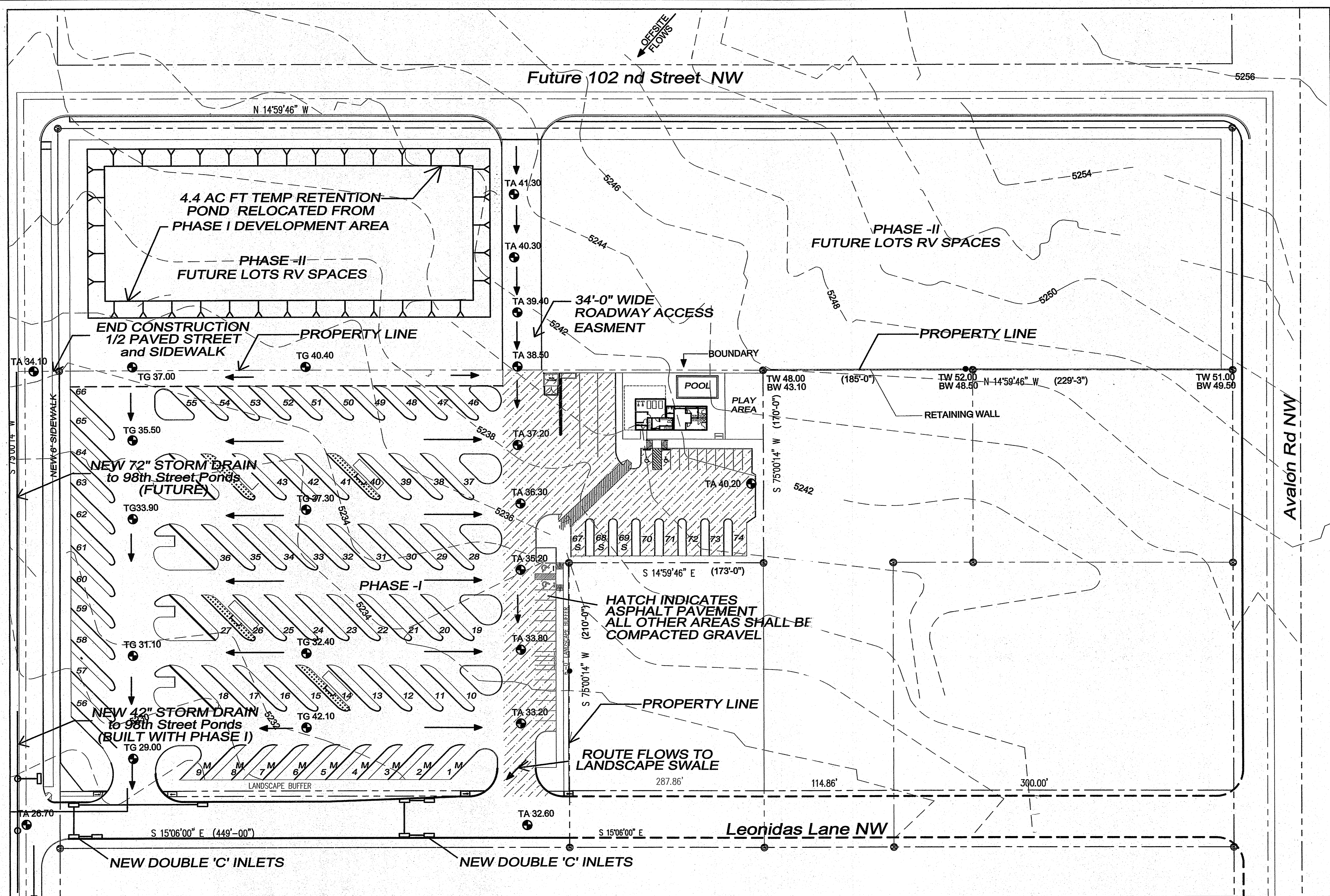
10'-0" LANDSCAPE BUFFER

215.00'

170.00'

250.00'

S 15°06'00" E 149'-00"



VICINITY MAP ZONE ATLAS K-8

NOTES

- LEGEND**
- PROPERTY LINE
 - TW — TOP OF WALL
 - BW — BOTTOM OF WALL
 - PROPOSED DIRECTION OF FLOW
 - SPOT ELEVATION (5245)
 - - - EXISTING CONTOUR LINE
 - ▨ RETAINING WALL
 - ▬ PROPOSED CURB + GUTTER
 - TG TOP OF GRAVEL
 - TA TOP OF ASPHALT

CONCEPTUAL GRADING PLAN

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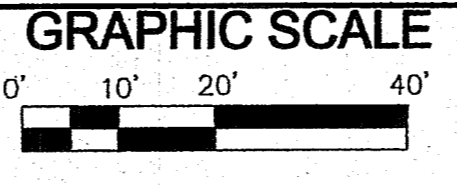
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1			
2			
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4			

C-01

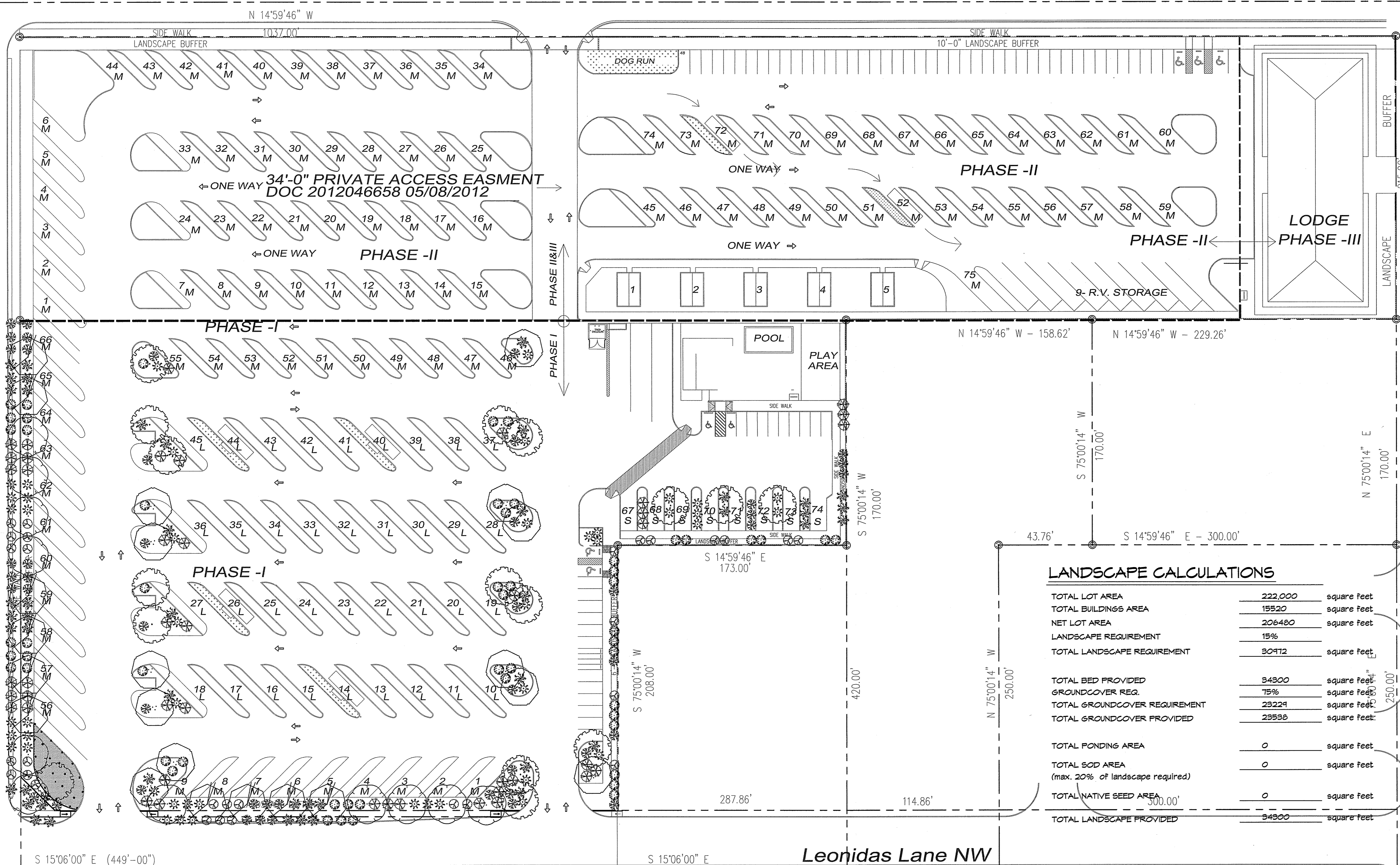
06.13.2012

CONCEPTUAL GRADING PLAN
 SCALE: 1"=40'-0"



102 nd Street NW

EDGE OF PAVEMENT



PLANT LEGEND
 All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- COMMON HACKBERRY
Celtis occidentalis
2" Cal., 12'-14" Inst./40' x 40' maturity
Water (M) Allergy (L) 0sf
- CHITALPA
Chilopsis x Catalpa
2" Cal., 12'-14" Inst./30' x 30' maturity
Water (M) Allergy (L) 0sf
- AUTUMN BLAZE MAPLE
Acer x Freemanii 'Autumn Blaze'
2" Cal., 12'-14" Inst./40' x 50' maturity
Water (M) Allergy (L) 0sf
- SYCAMORE
Platanus sp.
2" Cal., 12'-14" Inst./60' x 70' maturity
Water (M+) Allergy (H) 0sf

- GROUNDCOVERS**
- BUFFALO JUNIPER
Juniperus sabina 'Buffalo'
5 Gal., 24"-4" Inst./2' x 8' maturity
Water (L+) Allergy (L) 64sf
 - WINTER JASMINE
Jasminum nudiflorum
1 Gal., 6"-15" Inst./4' x 12' maturity
Water (L+) Allergy (L) 144sf
 - TRUMPET VINE
Campsis radicans
1 Gal., 6"-15" Inst./climbing to 40'
Water (M) Allergy (L)
Unstaked-Groundcover
 - BLUE CHIP JUNIPER
Juniperus horizontalis 'Blue Chip'
5 Gal., 24"-4" Inst./10' x 8' maturity
Water (L+) Allergy (H) 64sf
 - LADY BANK'S ROSE
Rosa banksiae
5 Gal., 24"-4" Inst./3' x 20' maturity
Water (M) Allergy (L) 400sf
Unstaked Groundcover
 - HONEYSUCKLE
Lonicera japonica 'Halliana'
1 Gal., 6"-15" Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf

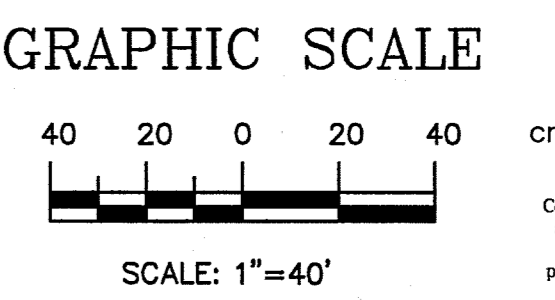
- HARDSCAPES**
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
 - SOD TURF WITH POP-UP HEADS
 - COMMERCIAL GRADE STEEL EDGE

* DENOTES EVERGREEN PLANT MATERIAL



The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS

Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cmj@hilltoplandscaping.com



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	222,000	square feet
TOTAL BUILDINGS AREA	15520	square feet
NET LOT AREA	206480	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	30972	square feet
TOTAL BED PROVIDED	34300	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	23229	square feet
TOTAL GROUNDCOVER PROVIDED	23538	square feet
TOTAL PONDING AREA	0	square feet
TOTAL SOD AREA (max. 20% of landscape required)	0	square feet
TOTAL NATIVE SEED AREA	0	square feet
TOTAL LANDSCAPE PROVIDED	34300	square feet

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

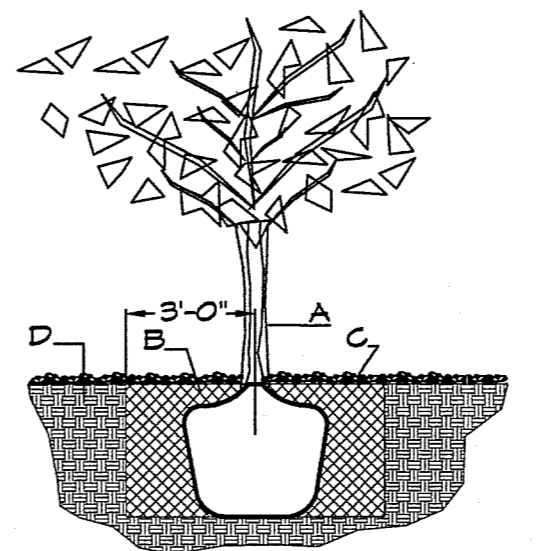
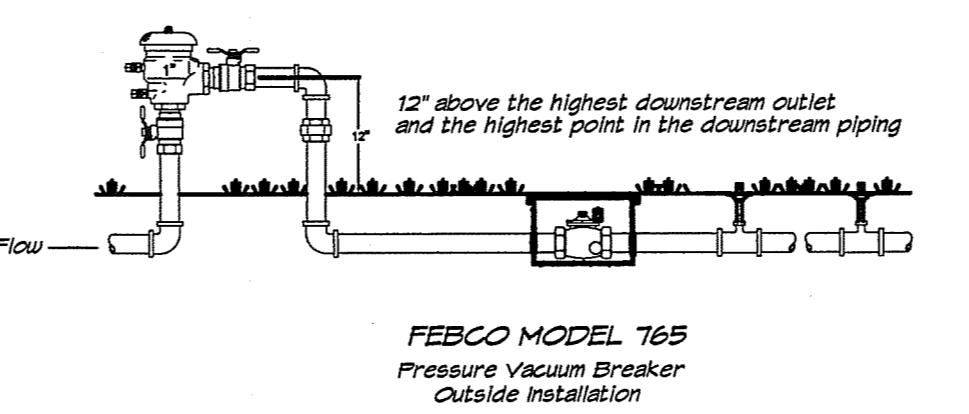
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

STREET TREE REQUIREMENTS - Minimum 2" Caliper
 Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:
 Name of Street: LEONIDAS
 Required 10 Provided 10
 Name of Street: VOLCANO
 Required 20 Provided 20
 Name of Street: 102nd
 Required 32 Provided 32
 Name of Street: AVALON
 Required 4 Provided 4

NOTE TO CLIENT:
 Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



GENERAL NOTES:

- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
- TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
- PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
- PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:**
- TREE
 - BACKFILL WITH EXISTING SOIL.
 - 3" DEPTH OF GRAVEL MULCH.
 - UNDISTURBED SOIL.

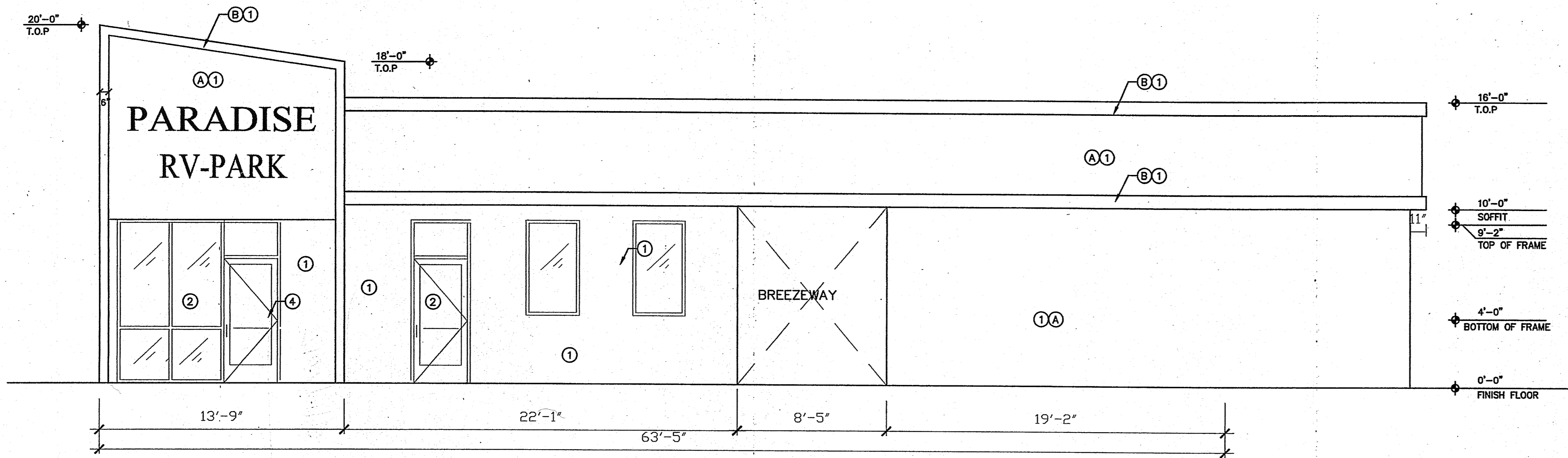
TREE PLANTING DETAIL
 NTS

Afra Construction & Design
 2501 Yale Blvd, Suite 102
 Albuquerque, New Mexico 87106
 Tel 505.242.1745
 Fax 505.242-1737

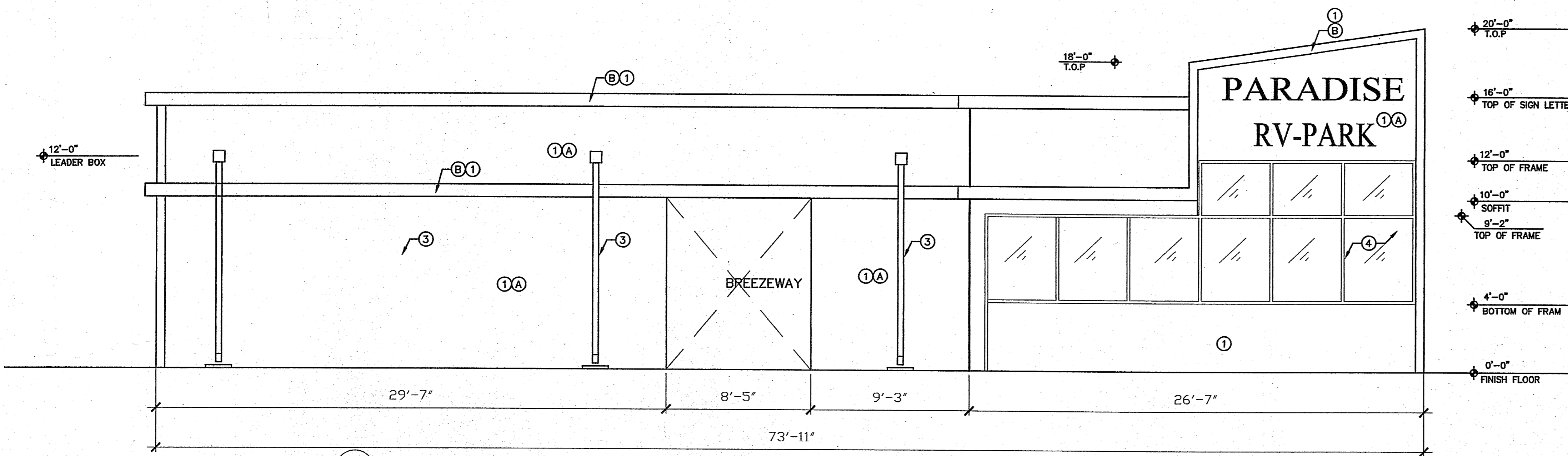
Paradise RV Park
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REV	DATE	DESCRIPTION	APVD
5	6-14-12	revised site & comments	cmj
2	6-17-11	revised site	cmj
3	8-23-11	revised site	cmj
4	5-24-12	revised site	cmj

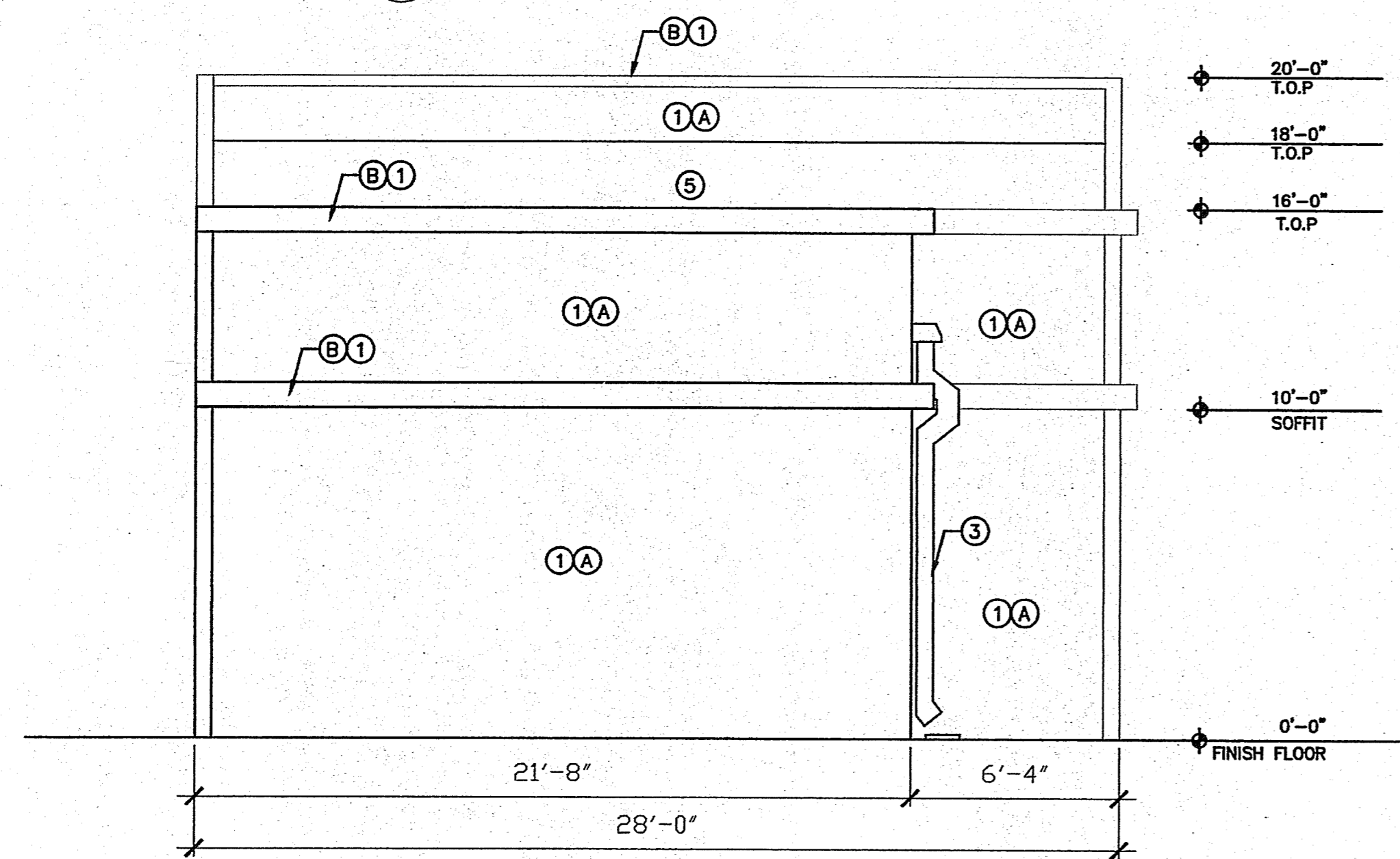
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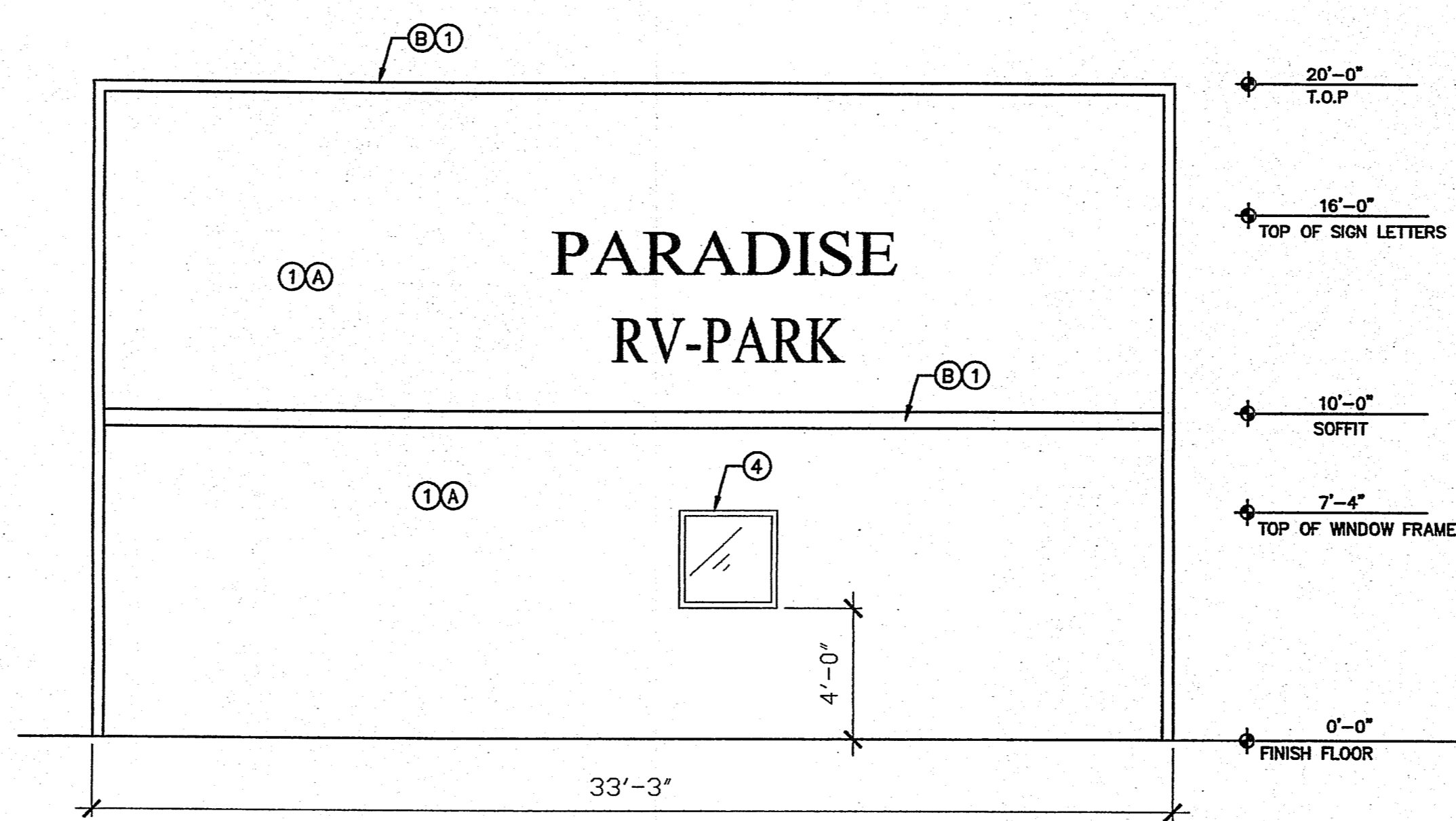
1 BUILDING EAST ELEVATION
A-01 / SCALE: 1/4"=1'-0"



2 BUILDING WEST ELEVATION
A-01 / SCALE: 1/4"=1'-0"



3 BUILDING NORTH ELEVATION
A-01 / SCALE: 1/4"=1'-0"



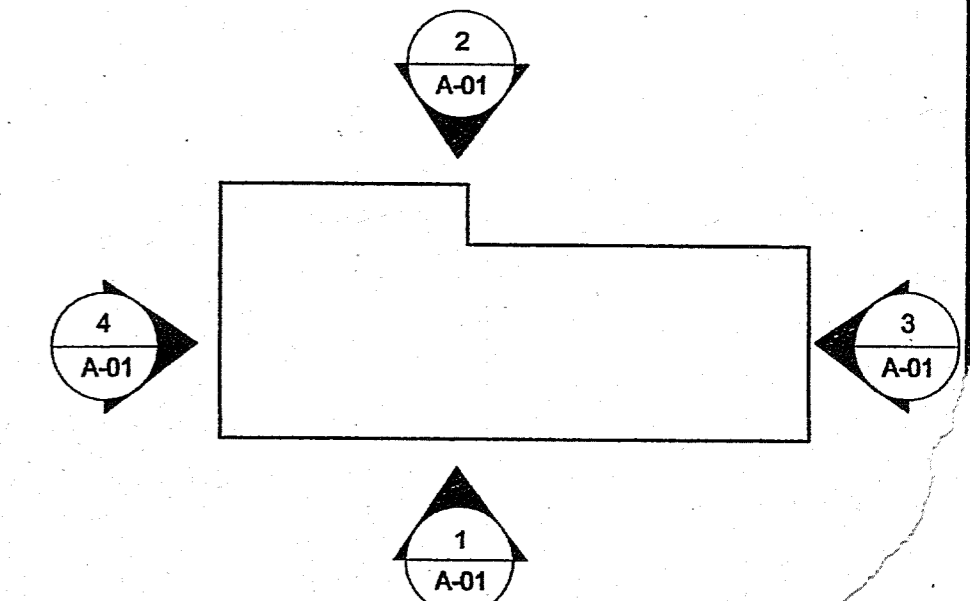
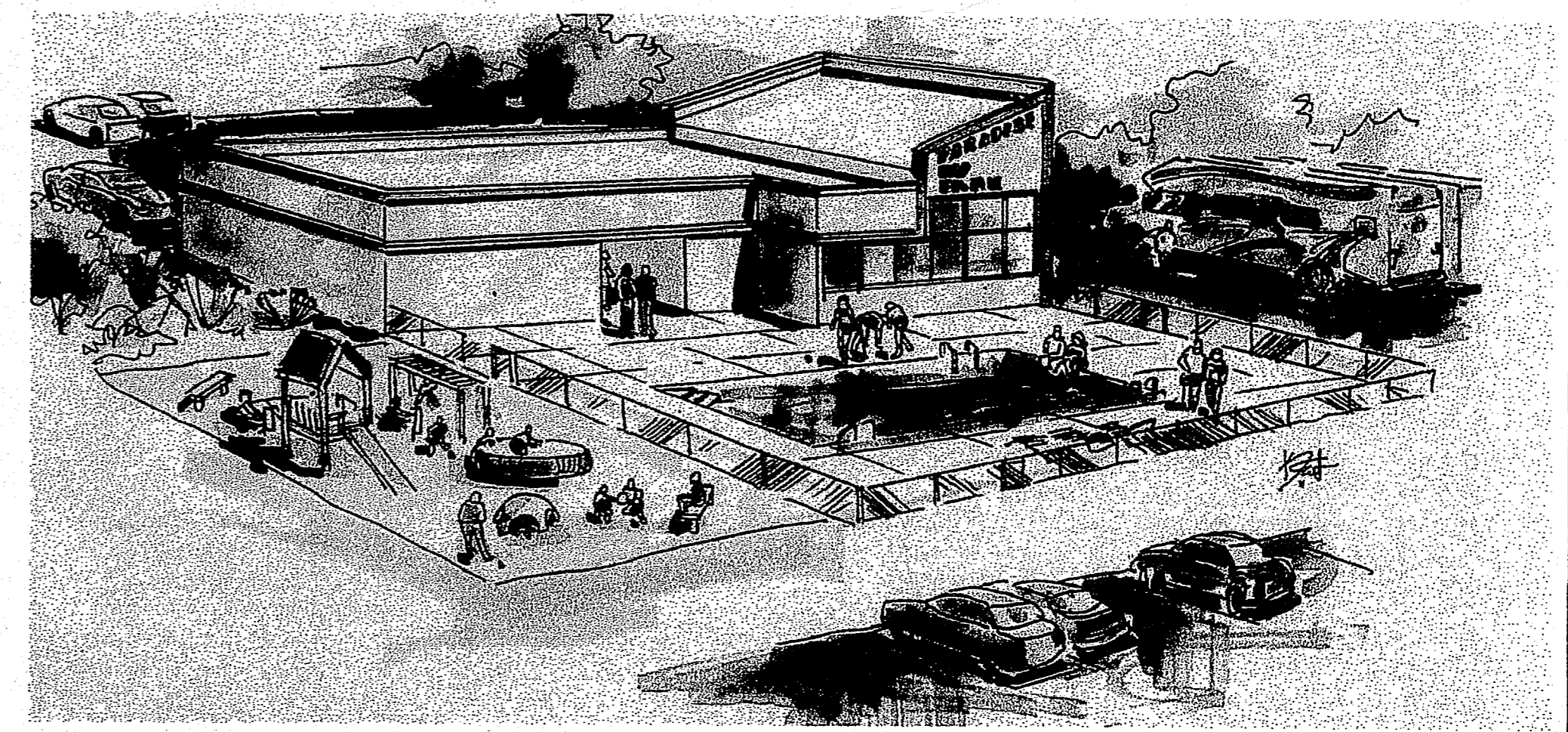
4 BUILDING SOUTH ELEVATION
A-01 / SCALE: 1/4"=1'-0"

KEYED NOTES

1. STUCCO SYSTEM - 3 COAT, 17 GA. STUCCO WIRE, 15# BUILDING PAPER, 7/16" APA RATED SHEATHING.
2. 3'-0"x7'-0" HOLLOW METAL INSULATED DOOR FRAME, PRIME, PAINT TO MATCH STUCCO COLOR, TEMPERED GLAZING.
3. 8"x8" LEADER BOX WITH 2" OVERFLOW, 4"x4" METAL DOWN SPOUT, PAINT TO MATCH STUCCO COLOR/ CONCRETE SPLASH BLOCK
4. ALUMINUM WINDOW FRAME WITH DOUBLE GLAZING, BRUSHED ALUMINUM FRAME

STUCCO COLOR

- A. MEDIUM GREY TAN - STO COLOR # 32222
B. DARK BROWN GREY - STO COLOR # 32332



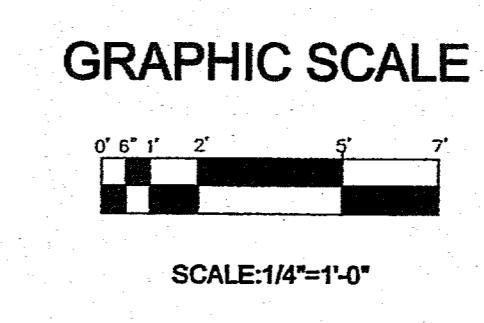
KEY MAP
N.T.S.

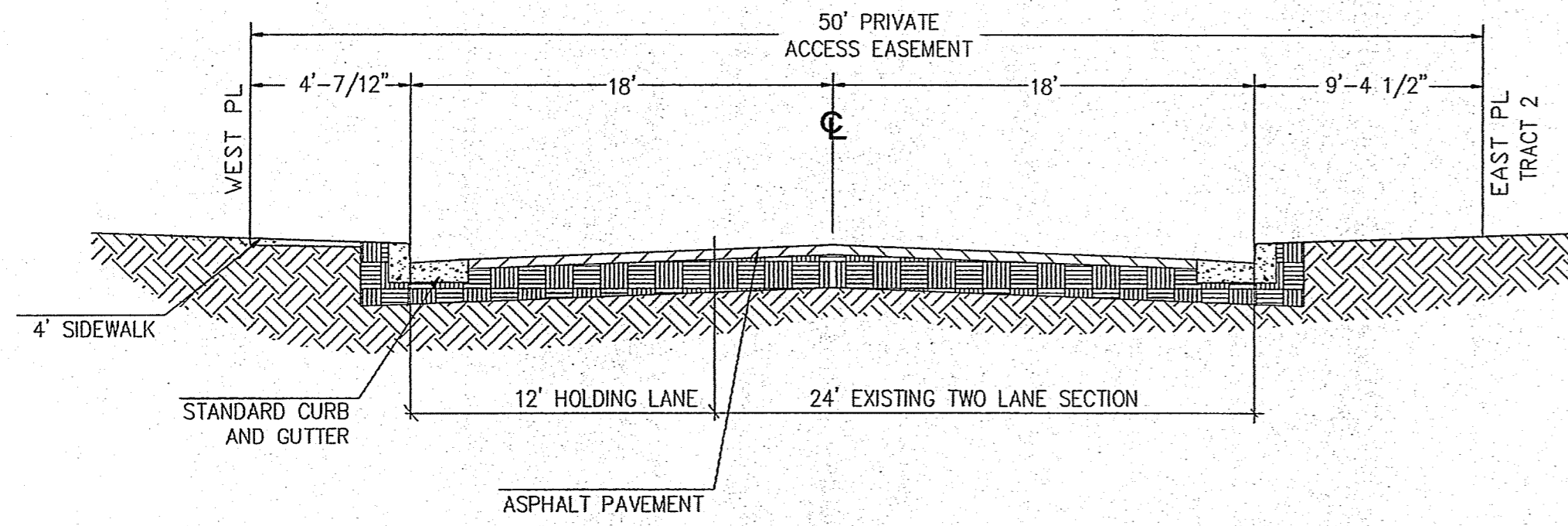
CLUB HOUSE BUILDING ELEVATIONS

Afra Construction &
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87
Tel 505.242.1745
Fax 505.242-1737

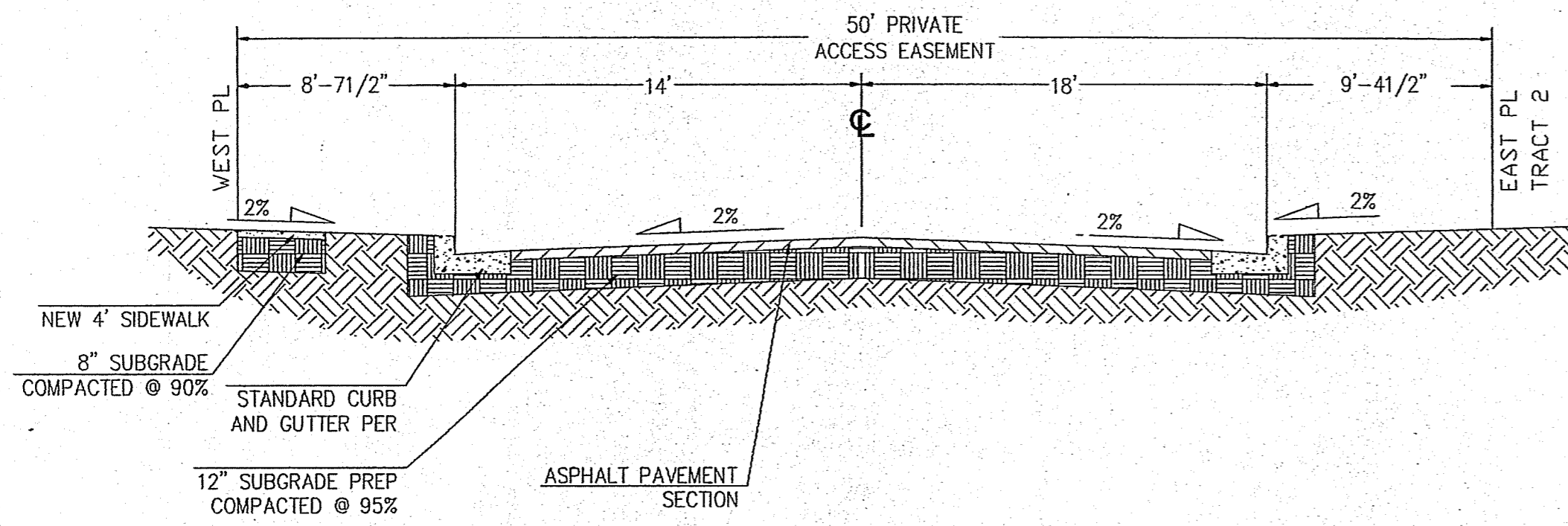
Paradise RV 1
Avalon Rd/ Leonidas 1
Albuquerque, NM 6

REV	DATE	DESCRIPTION
1		
2		
3		
4		

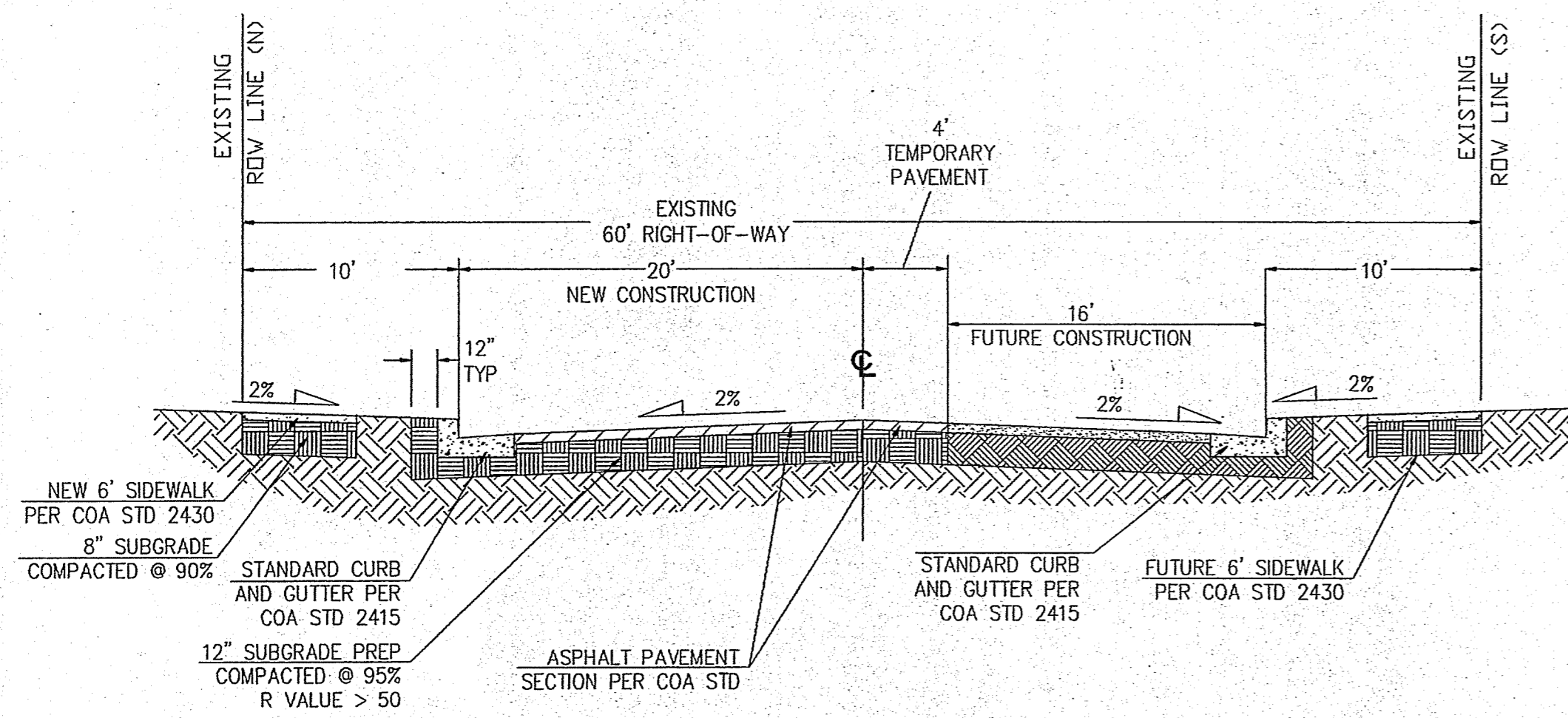




EXISTING LEONIDAS LANE TYPICAL SECTION FROM AVALON RD TO TRACT 3D (SOUTH PL)
N. T. S. SECTION A-A.



PROPOSED LEONIDAS LANE NW FROM NORTH PROPERTY LINE OF TRACT 3E TO VOLCANO ROAD NW
N. T. S. SECTION B-B.



VOLCANO ROAD NW FROM LEONIDAS LANE TO WEST PROPERTY LINE OF TRACT 3E
N. T. S. SECTION C-C.

TYPICAL OFFSITE ROADWAY SECTIONS

Afra Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242.1737

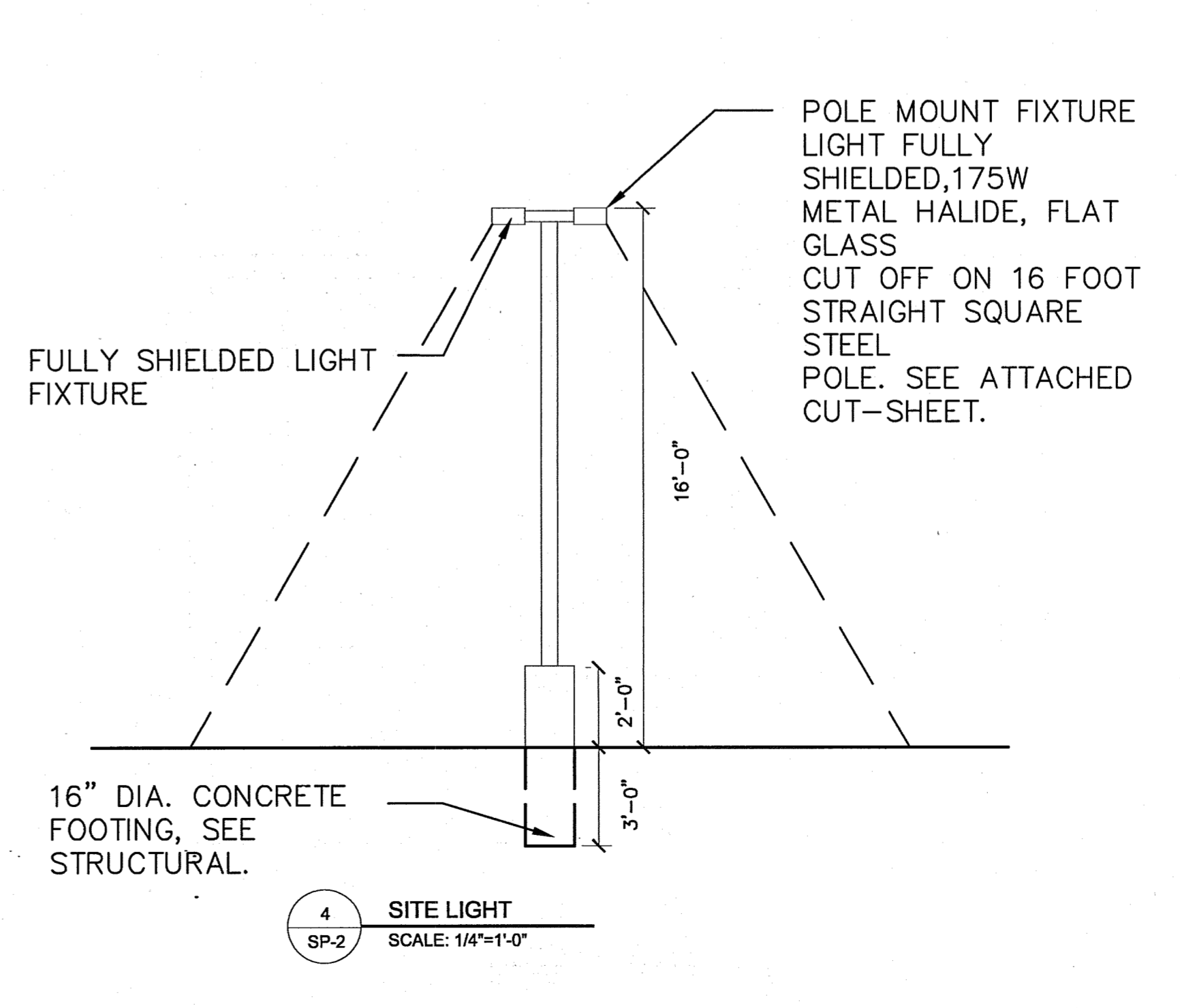
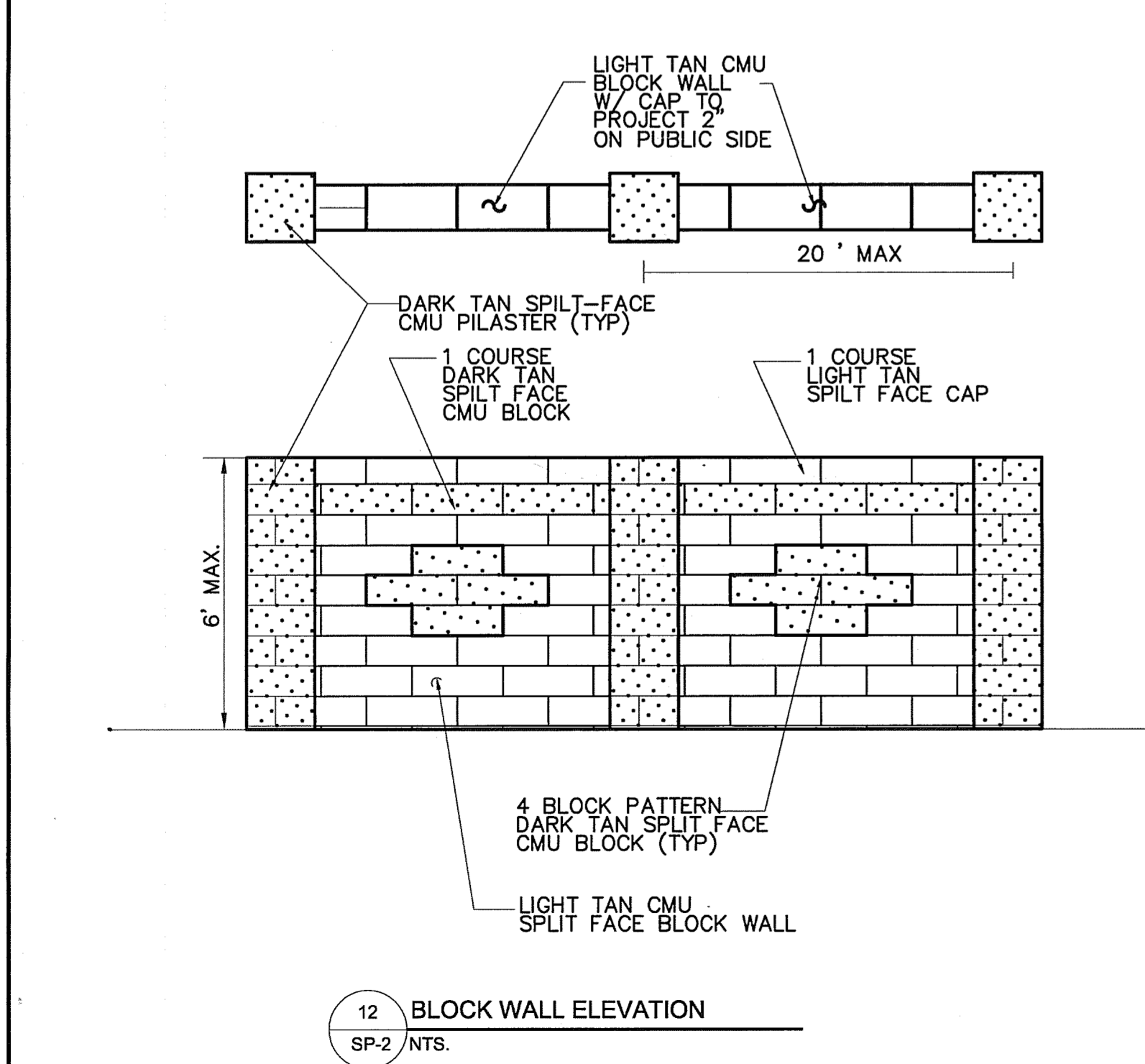
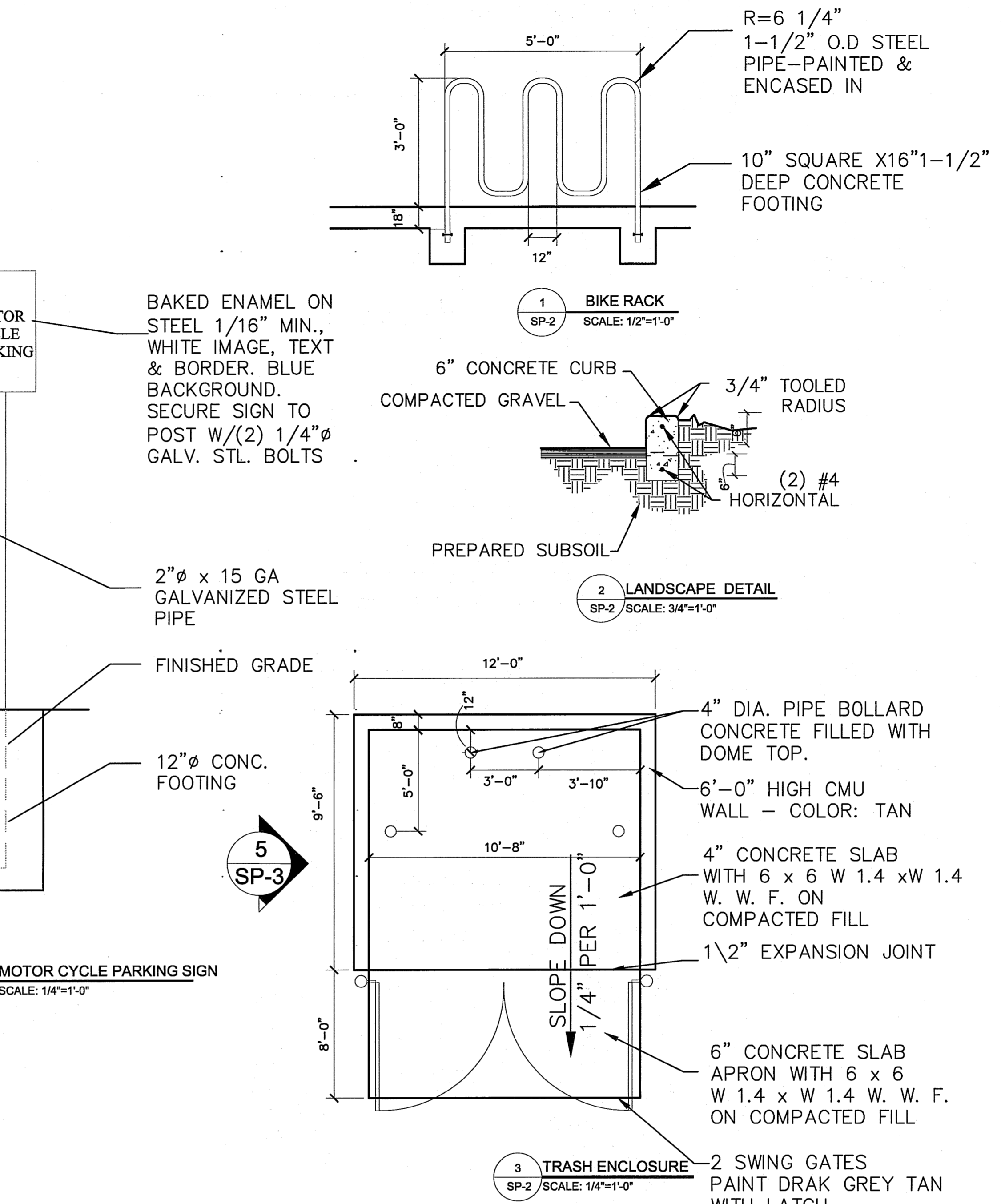
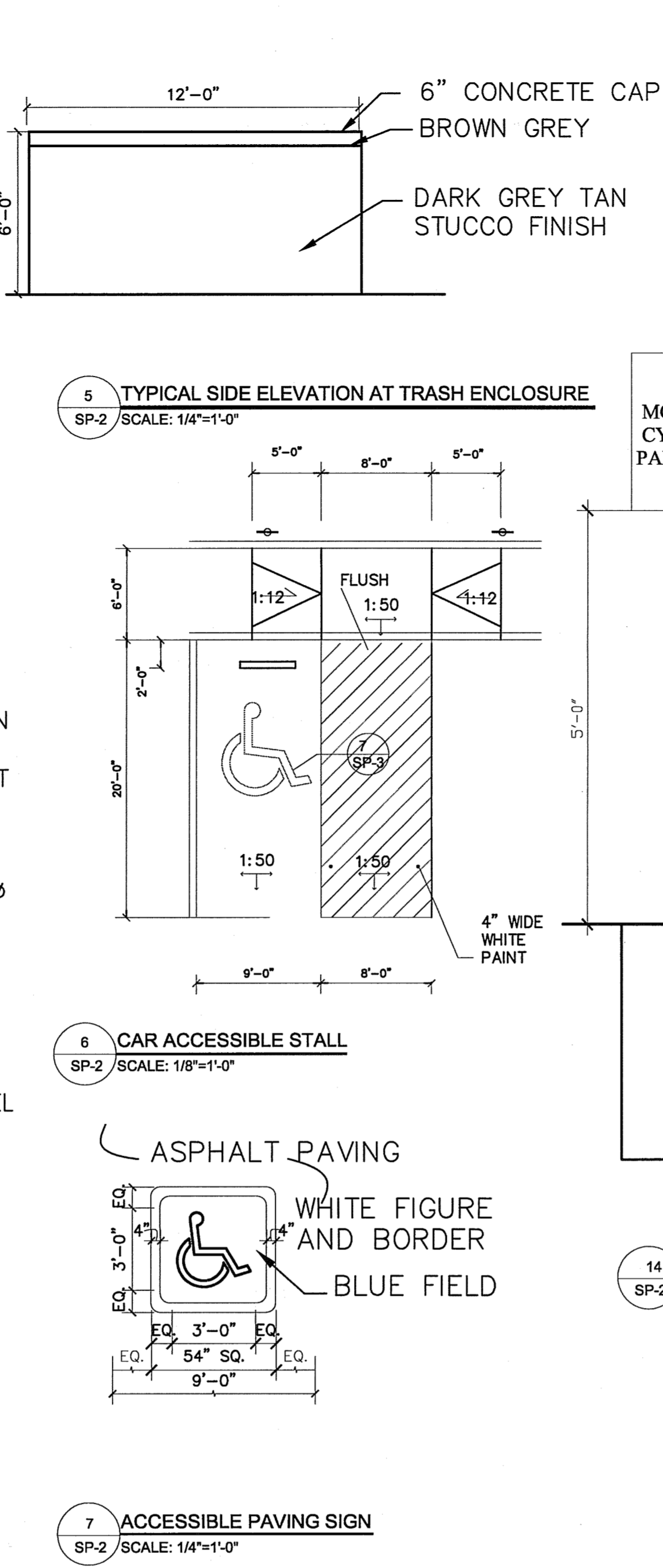
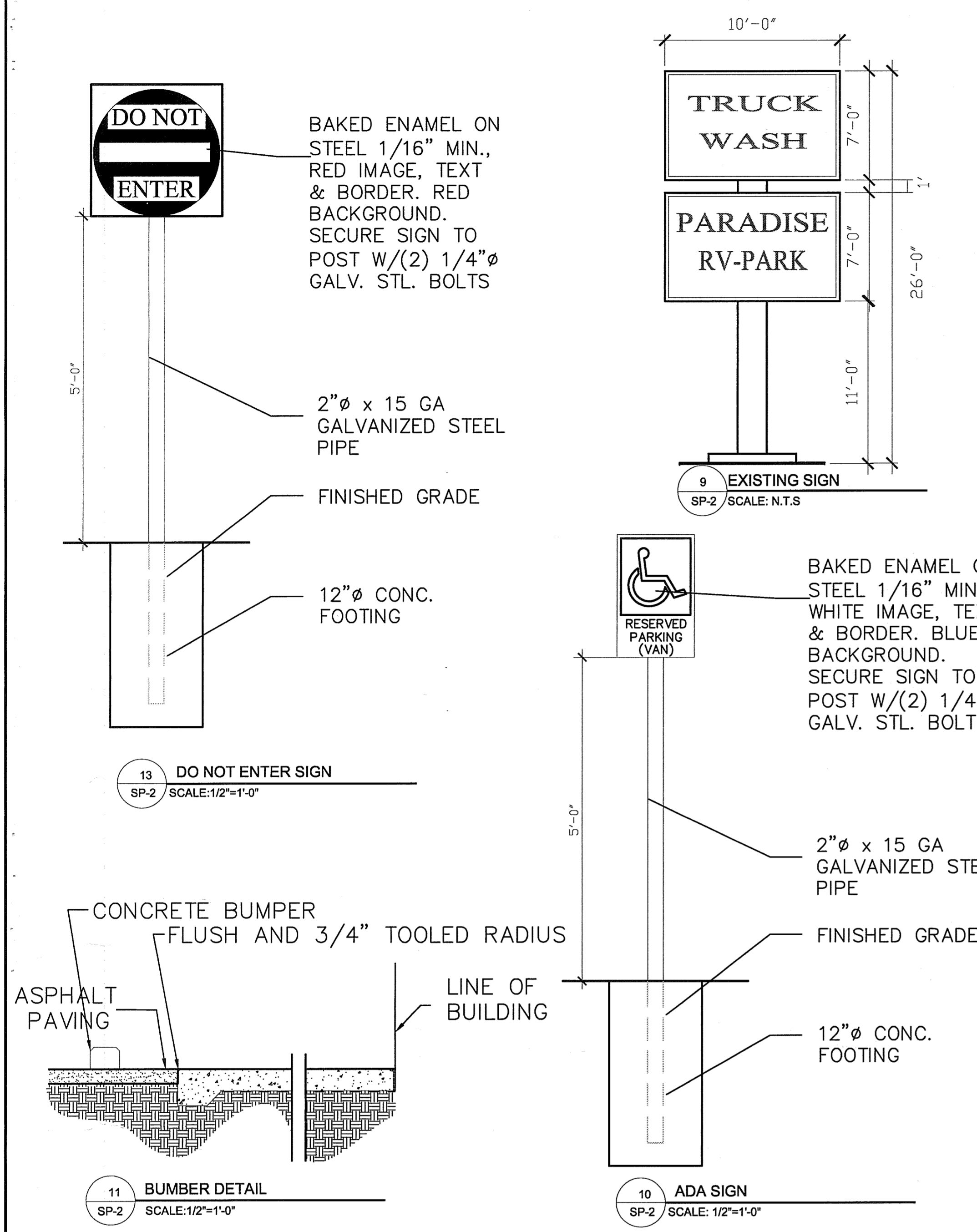
Paradise RV Park
Avalon Rd/ Leonidas Ln, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

C-03

06.13.2012

KEYED NOTES



SITE DEVELOPMENT PLAN FOR BUILDING PERMIT DETAILS

Afra Construction & Design
2501 Yale Blvd, Suite 102
Albuquerque, New Mexico 87106
Tel 505.242.1745
Fax 505.242-1737

Paradise RV Park
Avalon Rd/ 102nd Street, NW
Albuquerque, NM 87120

REV	DATE	DESCRIPTION	APVD
1			
2			
3			
4			

SP-2
04.20.2012










1008830_12DRB-70119_Site_Plan_Approved_6-13-12

Final Audit Report

2022-10-21

Created:	2022-10-20
By:	Jay Rodenbeck (jrodenbeck@cabq.gov)
Status:	Signed
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