



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT

PERMIT NUMBER: FP-22-010969

APPROVED DATE: 10/12/22

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 12238sqft, V-B, Sprinklered, 1500gpm, 1 Hydrant

No. Date Issue / Description

No.	Date	Issue / Description

IT IS THE CLIENT'S RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PROPOSED CHANGES OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR'S PROPOSAL, NOTWITHSTANDING THE BUILDING CODE AND HEIGHT OF CONSTRUCTION SHOULD BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PROPOSED CHANGES OR OMISSIONS SHALL BE OBTAINED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENT'S SUBCONTRACTORS PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY ISSUES IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.



EXISTING
FIRE
HYDRANT

NEW FIRE
HYDRANT

- FIRE DEPT. HYDRANT & ACCESS PERMIT REVIEW CHECKLIST
1. HARD COPY PROVIDED
 2. FLOW REQUIREMENTS:
CONSTRUCTION TYPE V-B-1S; 6,175 SF (LARGEST FIRE AREA); FIRE FLOW = 2,000 GPM FOR 2 HOURS.
SPRINKLER REDUCTION PER TABLE B105.2: 2,000 GPM X 25% = 500 GMP
 3. PER TABLE C102.1: FIRE FLOW 500 GPM = 1 HYDRANT
 4. 1 NEW FIRE HYDRANT
 5. EXISTING HYDRANTS & PROPOSED HYDRANTS IDENTIFIED
 6. WATER SUPPLY LINES IDENTIFIED ON THE PLAN
 7. PUBLIC WATER MAIN IDENTIFIED ON THE PLAN
 8. NO PARKING 15FT FROM THE HYDRANT
 9. ACCESS PROVIDED TO 150FT
 10. BUILDING HT LESS THAN 30FT, 1 MEANS OF ACCESS PROVIDED
 11. TOTAL BUILDING AREA LESS THAN 62,000 SF, 1 MEANS OF ACCESS PROVIDED.
 12. THIS IS NOT A RESIDENTIAL PROJECT
 13. THIS IS NOT A RESIDENTIAL PROJECT
 14. N/A, 1 MEANS OF ACCESS REQUIRED
 15. BUILDING LESS THAN 30 FT IN HT, ROAD WIDTH PROVIDED
 16. ACCESS ROAD 24 FT
 17. N/A
 18. ACCESS ROAD MARKED 2 SIDES
 19. TURNING RADIUS < 28 FT
 20. DEAD END IS < 150 FT
 21. ACCESS ROAD IS ASPHALT CAPABLE OF SUPPORTING 75,000LBS
 22. EXISTING ASPHALT PAVING TO REMAIN
 23. ACCESS ROAD GRADE < 10%
 24. ALL GATES SHALL HAVE KNOX BOX
 25. REFER TO G SHEETS FOR FIRE RATINGS
 26. SPRINKLER SYSTEM PROVIDED, SHOP DRAWINGS SHALL BE SUBMITTED FOR FIRE MARSHAL'S REVIEW.
 27. FDC PROVIDED
 28. FDC 3FT CLEAR RADIUS PROVIDED
 29. PIV PROVIDED
 30. STANDPIPE NOT REQUIRED
 31. STANDPIPE NOT REQUIRED
 32. PREMISE ID SHALL BE 12" BRONZE LETTERS MOUNTED TO SOUTH FACADE (CENTRAL AVE)
 33. SINGLE BUILDING WITH SINGLE ADDRESS
 34. KNOX BOX PROVIDED AT MAIN ENTRANCE TO THE BUILDING

Project :
**NEW
CONSTRUCTION
FOR**
**9101 CENTRAL
AVENUE NW**
**ALBUQUERQUE
NEW MEXICO**

**ALEXANDER
FINALE
ARCHITECT**
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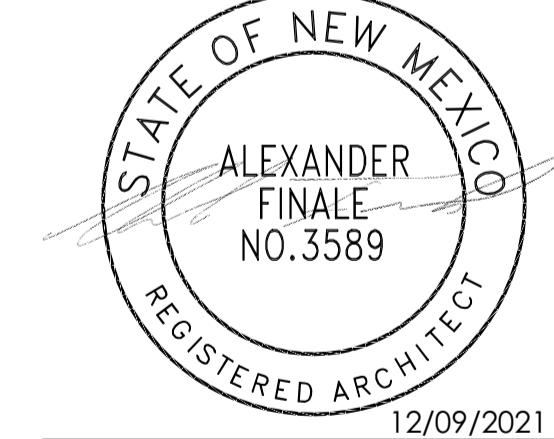
FIRE CALCULATIONS

BUILDING HEIGHT = 28'-1", 1 STORY
TYPE V-B-S1 (SPRINKLERED) CONSTRUCTION
HYDRANTS REQUIRED PER IFC TABLE C105.1 = 2 HYDRANT @ 450FT MAX
CONCRETE PAVING SHALL SUPPORT 75,000 LBS.

FIRE FLOW CALCULATION IFC 2015 APPENDIX B TABLE B105.1:
IFC B105.1 CONSTRUCTION TYPE V-B 12,238 SF = FLOW @ 3,000 GPM FOR 3 HOURS
IFC B105.2 SPRINKLER SYSTEM PROVIDED: 3,000 GPM X 0.25 = 2,250 GPM 2 HOURS

UIC: 100905728907530617
LEGAL: LOT 8A, BLOCK 9, LANDS OF COSME Y LETICIA JAQUEZ
ZONING: MX-M
ZONE ATLAS PAGE: K-9

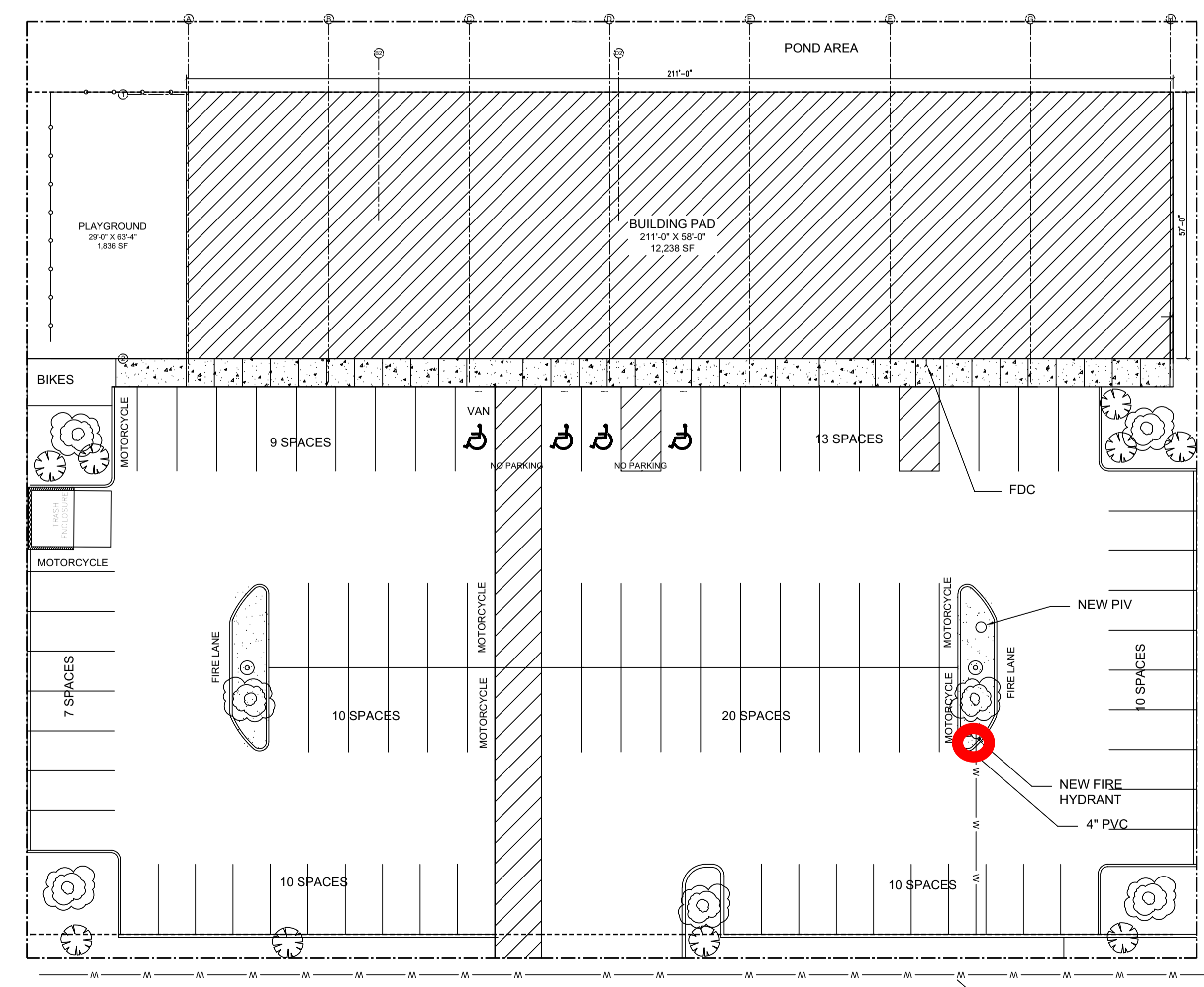
License Stamp :



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Sheet Title :
FIRE 1 PLAN

Sheet No. :
FIRE 1



1 FIRE 1 PLAN
SCALE: 1" = 20'-0"



EXISTING 8"
PVC WATER
LINE