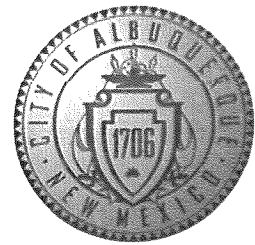


# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

August 19, 2022

Alexander Finale, RA  
Alexander Finale Architect  
1020 123<sup>rd</sup> Ave. NE  
Lake Stevens, WA 98258

**Re: New Construction**  
**9101 Central Ave. NW**  
**Traffic Circulation Layout**  
Architect's Stamp 12-09-21 (K09D002)

Dear Mr. Finale,

Based upon the information provided in your submittal received 07-25-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

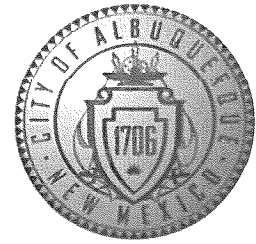
1. Please show a vicinity map showing the location of the development in relation to streets and well known landmarks.
2. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.
3. Identify the right of way width, medians, curb cuts, and street widths on Central Ave NW.
4. Curb Return design is recommended for the driveway access off Central Ave.
5. Sidewalk and curb and gutter need to be build off Central Ave. from property line to property line. Reference COA std dwg 2430 & 2415A. For Sidewalk wavier please contact Ernest Armijo [earmijo@cabq.gov](mailto:earmijo@cabq.gov) at (505)-924-3991
6. What is the name of the proposed building?
7. Please list the width and length for all existing and proposed parking spaces. Some dimensions are not shown.
8. The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
10. A 5 ft. keyway is required for dead-end parking aisles.

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

11. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
12. All bicycle racks shall be designed according to the following guidelines:
  - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
  - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
  - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
  - d. The rack allows varying bicycle frame sizes and styles to be attached.
  - e. The user is not required to lift the bicycle onto the bicycle rack.
  - f. Each bicycle parking space is accessible without moving another bicycle.
13. Bicycle racks shall be sturdy and anchored to a concrete pad.
14. A 1-foot clear zone around the bicycle parking stall shall be provided.
15. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
16. List radii for all curves shown; for passenger vehicles. Radius for delivery trucks, fire trucks, etc. is 25 ft. or larger.
17. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
18. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
19. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
20. Please define the pathway, provide dimensions, show if there are any ramps, and provide ramps details.
21. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
22. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
23. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
24. Provide a copy of Fire Marshal Approval.
25. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
26. Please provide a sight distance exhibit

PO Box 1293

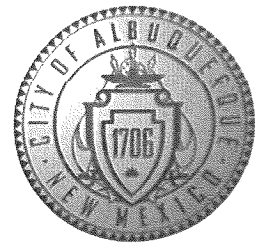
Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

27. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
28. Please specify the City Standard Drawing Number when applicable.
29. Provide notes showing what work is included and on the work order and the private work on site.
30. Work within the public right of way requires a work order with DRC approved plans.
31. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
32. Please provide a letter of response for all comments given.
33. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: [mgrush@cabq.gov](mailto:mgrush@cabq.gov)**).

PO Box 1293

Albuquerque

Once corrections are complete resubmit

1. The Traffic Circulation Layout

2. A Drainage Transportation Information Sheet (DTIS)

NM 87103

3. Send an electronic copy of your submittal to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov).

4. The \$75 re-submittal fee.

[www.cabq.gov](http://www.cabq.gov)

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar  
Associate Engineer, Planning Dept.  
Development Review Services

\ma via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: \_\_\_\_\_ Building Permit #: 22-03953 Hydrology File #: \_\_\_\_\_

DRB#: NA EPC#: NA Work Order#: \_\_\_\_\_

Legal Description: Lot 8A Block 8 Lands of Cosme Y Leticia Jaquez

City Address: 9101 Central Ave NW

Applicant: Cosme Jaquez Contact: \_\_\_\_\_

Address: 2460 Camelia Ct SW, Alb NM 87105

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: Alex Finala Contact: \_\_\_\_\_

Address: 1020 123rd Ave NE, Lake Stevens WA 98258

Phone#: 206 945-2588 Fax#: \_\_\_\_\_ E-mail: alexfinala@msn.com

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 7/23/2022 By: [Signature]

COA STAFF:

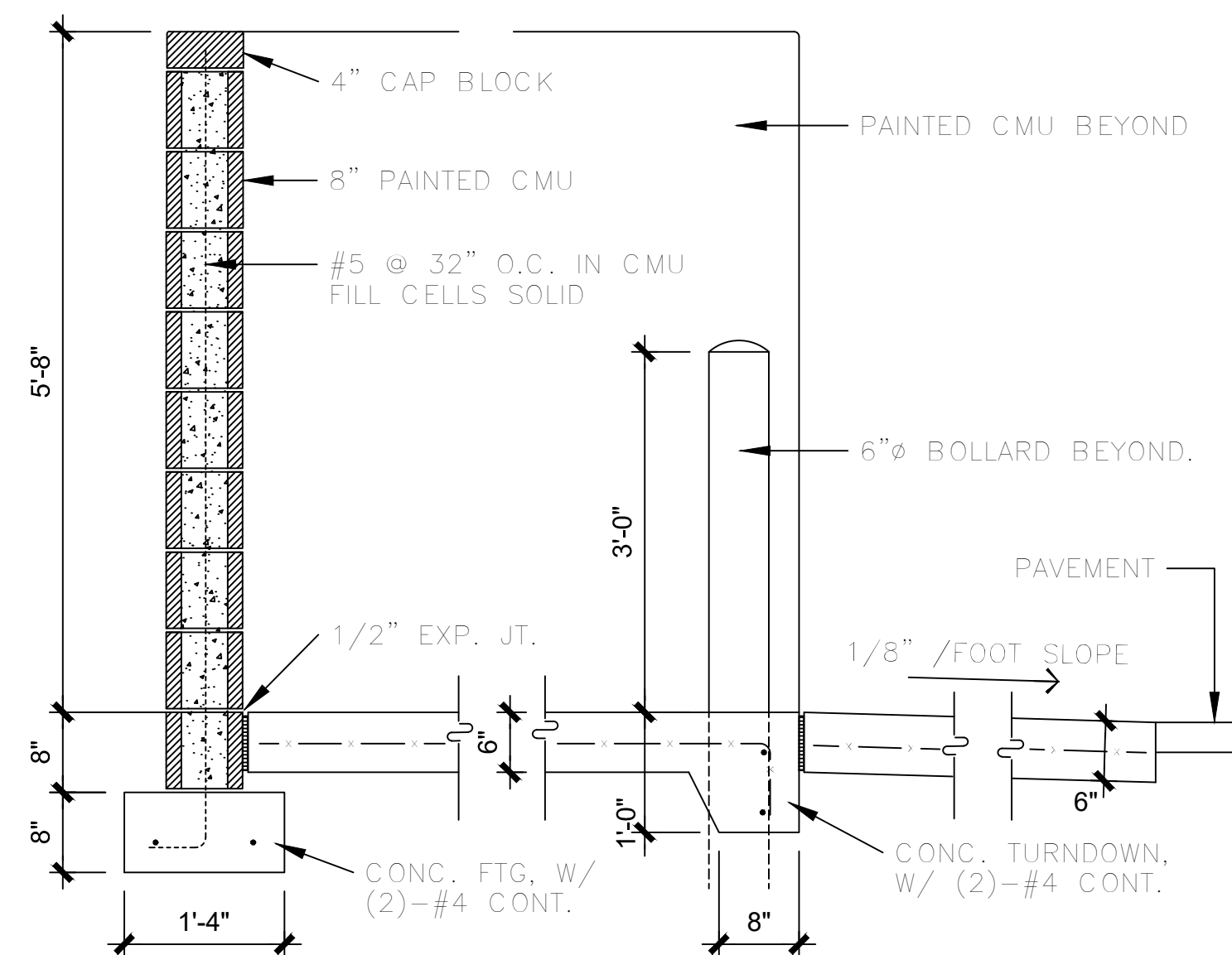
ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

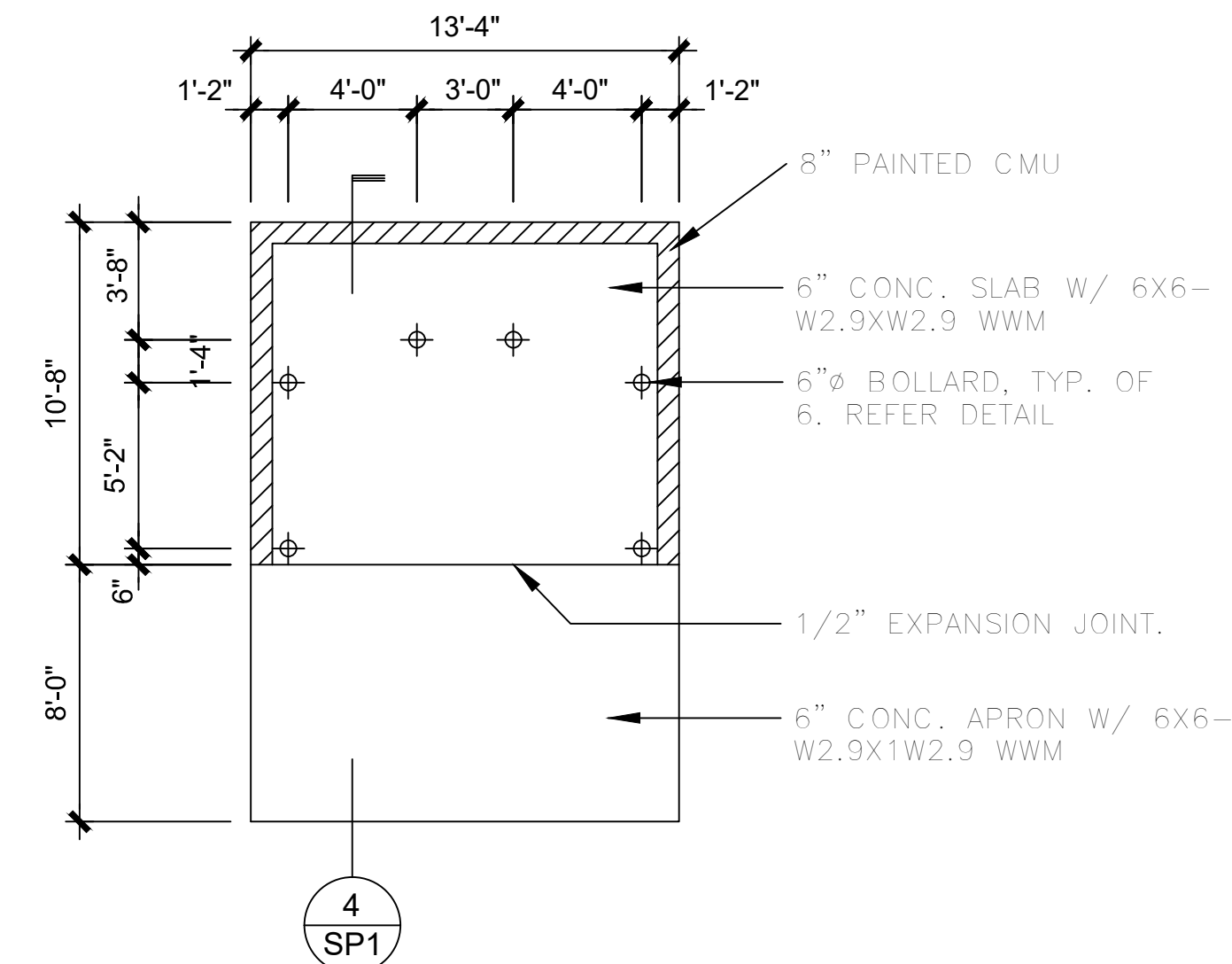
OFFICE: 3,048 SF X 0.0035 = 10.7 SPACES

REAR SETBACK: 0'

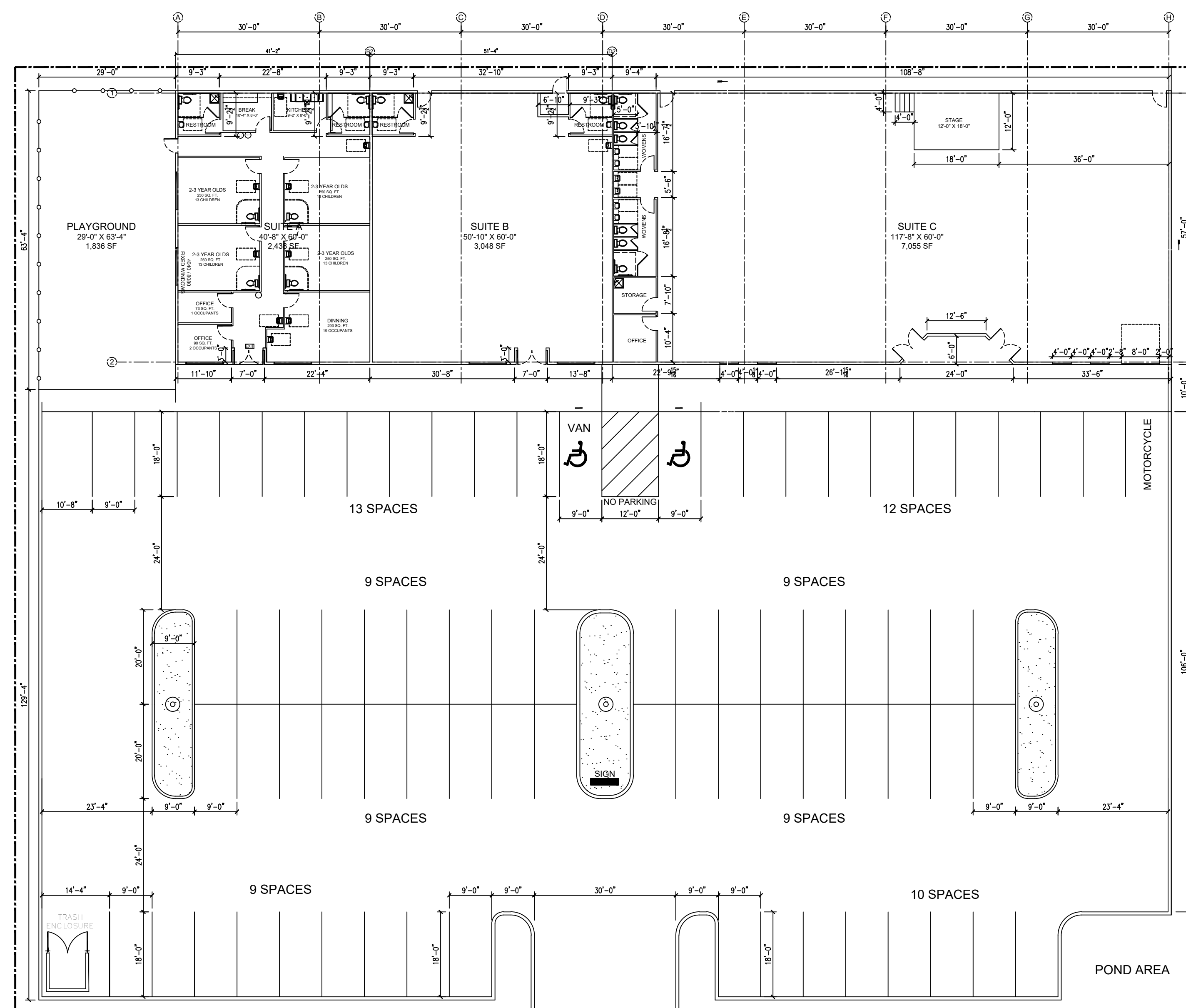
RECESS ALL WINDOWS 2"



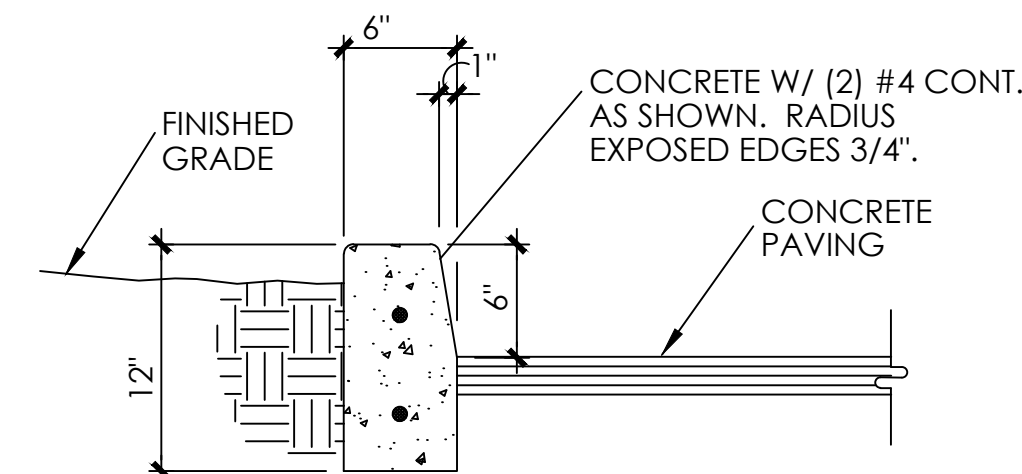
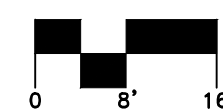
6 TRASH ENCLOSURE SECTION  
N.T.S.



7 TRASH ENCLOSURE PLAN  
N.T.S.



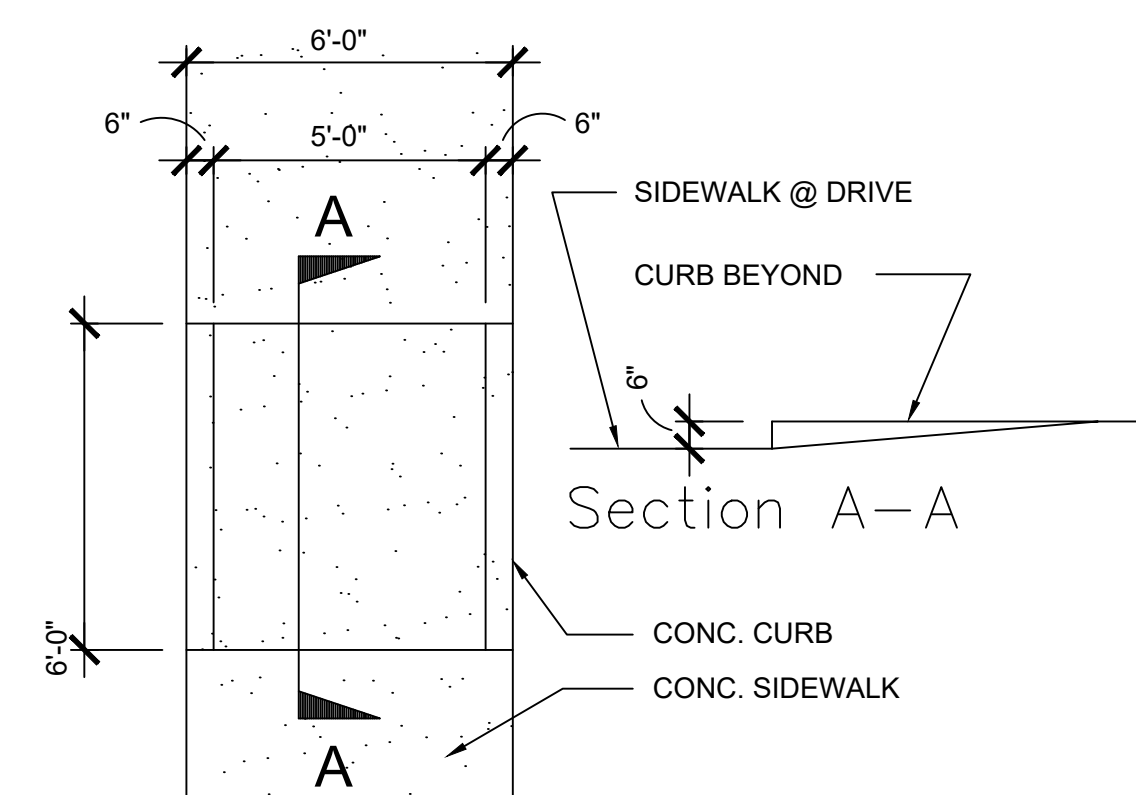
**1 SITE DIMENSIONS PLAN**  
SCALE: 1/16" = 1'-0"



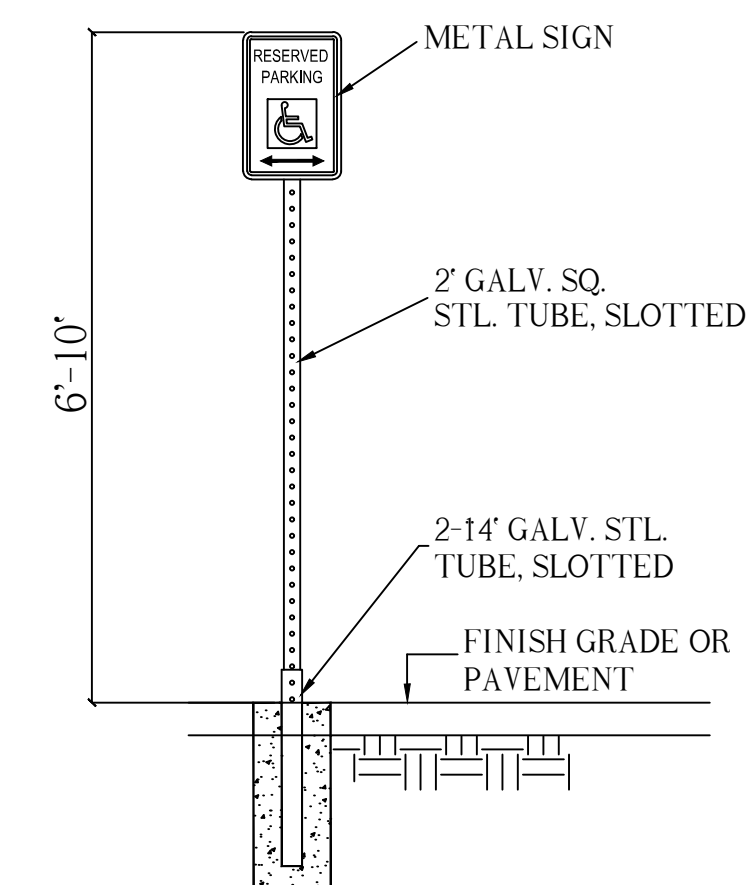
4 CONC. CURB DETAIL



2 PAVEMENT MARKING  
N.T.S.



5 SIDEWALK RAMP DETAIL  
N.T.S.



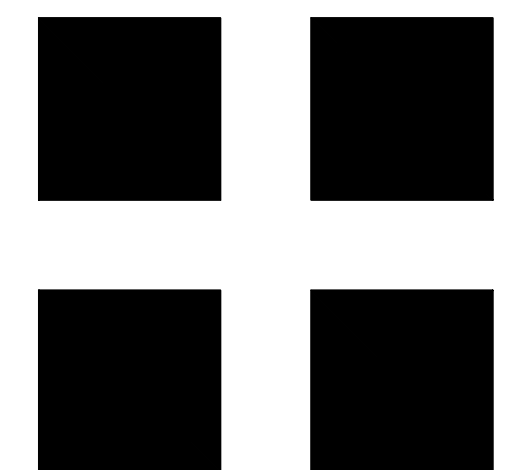
3 SIGN DETAIL  
N.T.S.

[illegible]

IT IS THE CLIENTS RESPONSIBILITY PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE BUILDING CODES AND METHODS OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE CLIENT OR CLIENTS SUBCONTRACTORS PROCEEDING WITH THE WORK. THE CLIENT WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

NEW  
CONSTRUCTION  
FOR

9101 CENTRAL  
AVENUE NW

ALBUQUERQUE  
NEW MEXICO

ALEXANDER  
FINALE  
ARCHITECT

1020 123rd Avenue NE  
Lake Stevens, WA 98258  
(206) 945-2588  
alexfinale@msn.com

12/09/2021

NY License No. : 037793

## Site Plan & Details

SP-102