



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 26, 2002

Gilbert Aldaz, PE  
Applied Engineering & Surveying, Inc.  
1605 Blair Dr. NE  
Albuquerque, NM 87112

**RE: Castiglione Storage Buildings Grading and Drainage Plan (K-9/D11)  
Engineer's Stamp Dated December 11, 2002**

Dear Mr. Aldaz:

I have reviewed the referenced grading and drainage plan received December 11, 2002 and forward the following comments:

- The Amole-Hubbell Master Plan requires storm drain on 86<sup>th</sup> St. Please provide excerpts and basin map from that plan to determine size and limits.
- Please revise plan to show existing conditions of the storm drain constructed on Bridge Blvd. A retention pond will not be needed.
- Roadway improvements are required on Bridge Blvd., 86<sup>th</sup> St., and the alley. Please show these improvements on the plan and provide design profiles beyond the property limits.
- Offsite grading will require signature of property owner.

If you have any questions please call me at 924-3986

Sincerely,

Bradley L. Bingham, PE  
Sr. Engineer, Planning Dept.  
Development and Building Services

C: file

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV. 1/11/2002)

PROJECT TITLE: Castiglione Storage Bldgs ZONE MAP/DRG. FILE #: K-9/D11  
DRB #: 97-303 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 1-A Block 12, Original Townsite of Westland  
CITY ADDRESS: 86th Street and Bridge Blvd

ENGINEERING FIRM: Applied Engineering & Surveying Inc.  
ADDRESS: 1605 Blair Drive NE  
CITY, STATE: Albuquerque, NM 87112

CONTACT: Gilbert Aldaz  
PHONE: 237-1456  
ZIP CODE: 87112

OWNER: Gary Castiglione  
ADDRESS: 17715 Moreno Avenue  
CITY, STATE: Lakeside, California

CONTACT: Gary Castiglione  
PHONE: 453-2799  
ZIP CODE: 92040-1108

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

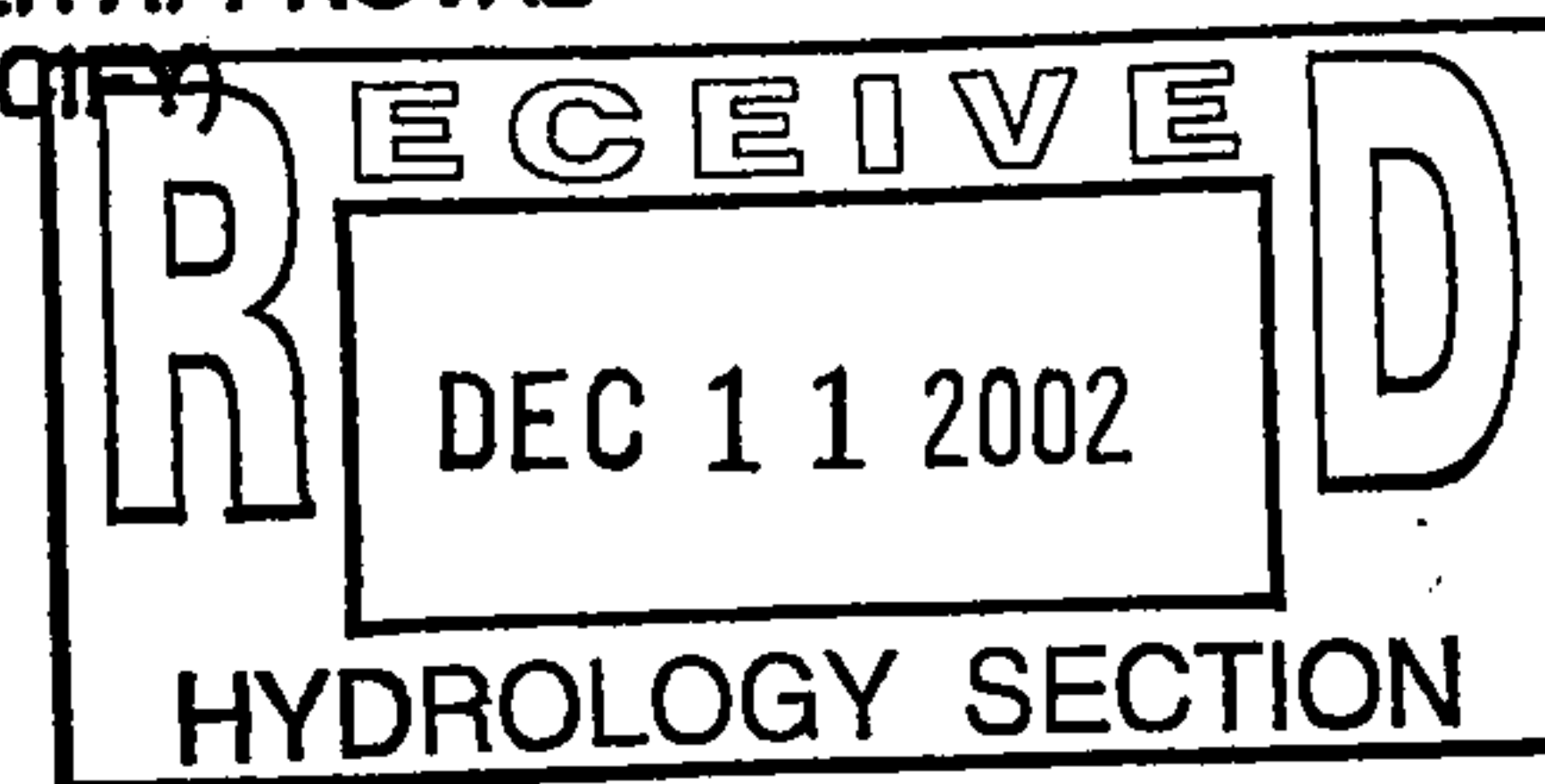
- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMP/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUBD. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☒ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

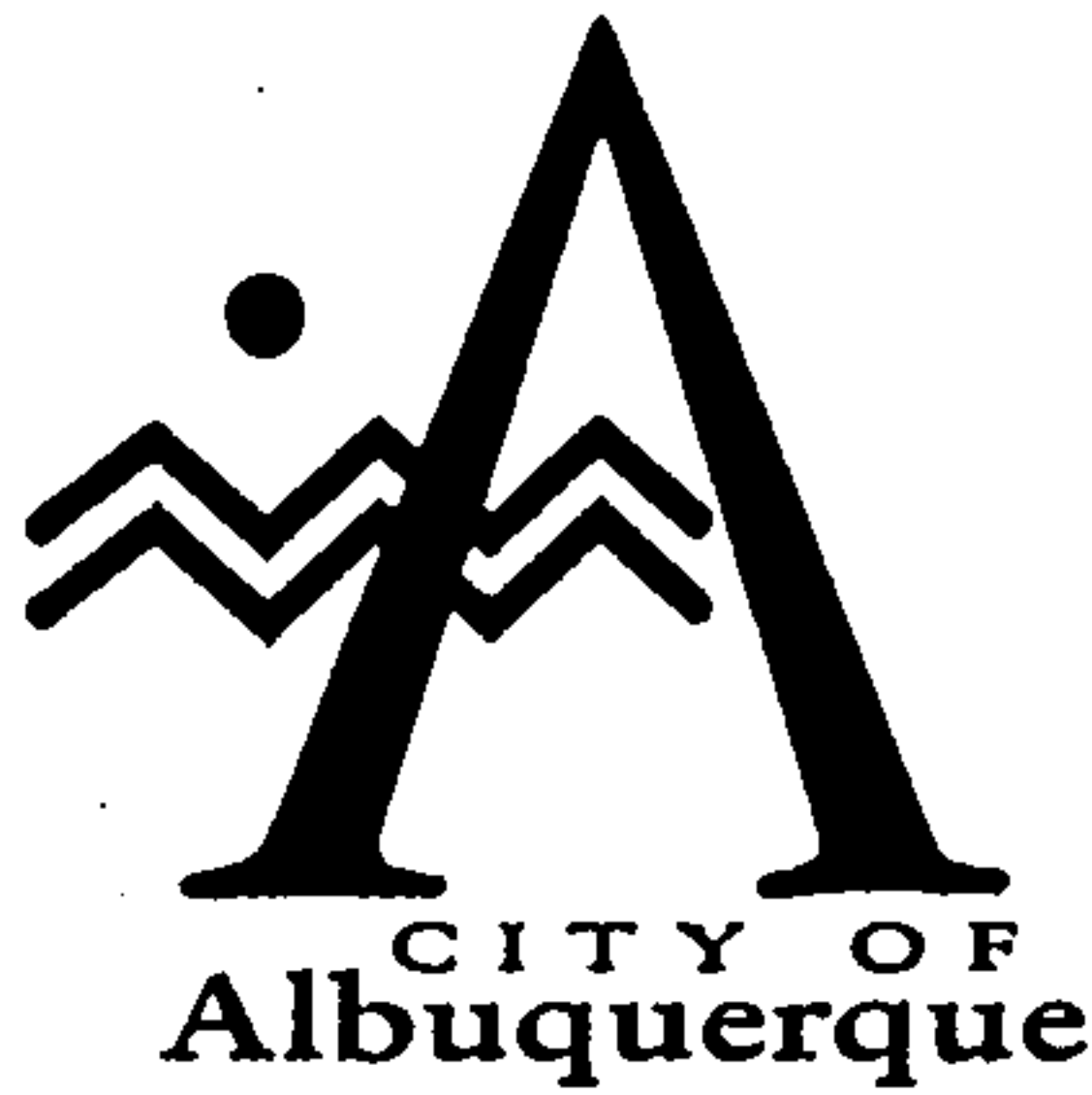


DATE SUBMITTED: 12-11-02

BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or



March 23, 1998

Gilbert Aldaz  
Aldaz Engineering & Surveying  
1605 Blair Dr. NE  
Albuquerque, New Mexico 87112

RE: REVISED DRAINAGE PLAN FOR CASTIGLIONE STORAGE BUILDING (K9-D11)  
REVISION DATED 3/3/98

Dear Mr. Aldaz:

Based on the information provided on your March 2, 1998 resubmittal, the above referenced site is approved for Site Development Plan For Building Permit & Building Permit.

The above referenced site is also approved for Final Plat. Please be advised that Engineer Certification per the DPM checklist will be required prior to release of the Certificate of Occupancy.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia

File

Sincerely

*Bernie J. Montoya*  
Bernie J. Montoya CE  
Associate Engineer

Good for You, Albuquerque!





March 1, 1998

Mr. Bernie J. Montoya, CE  
Hydrology Department  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, New Mexico 87103

RE: COMMENTS TO CITY LETTER DATED JANUARY 8, 1998 FOR DRAINAGE  
PLAN FOR CASTIGLIONE STORAGE BUILDING (K9/D11)

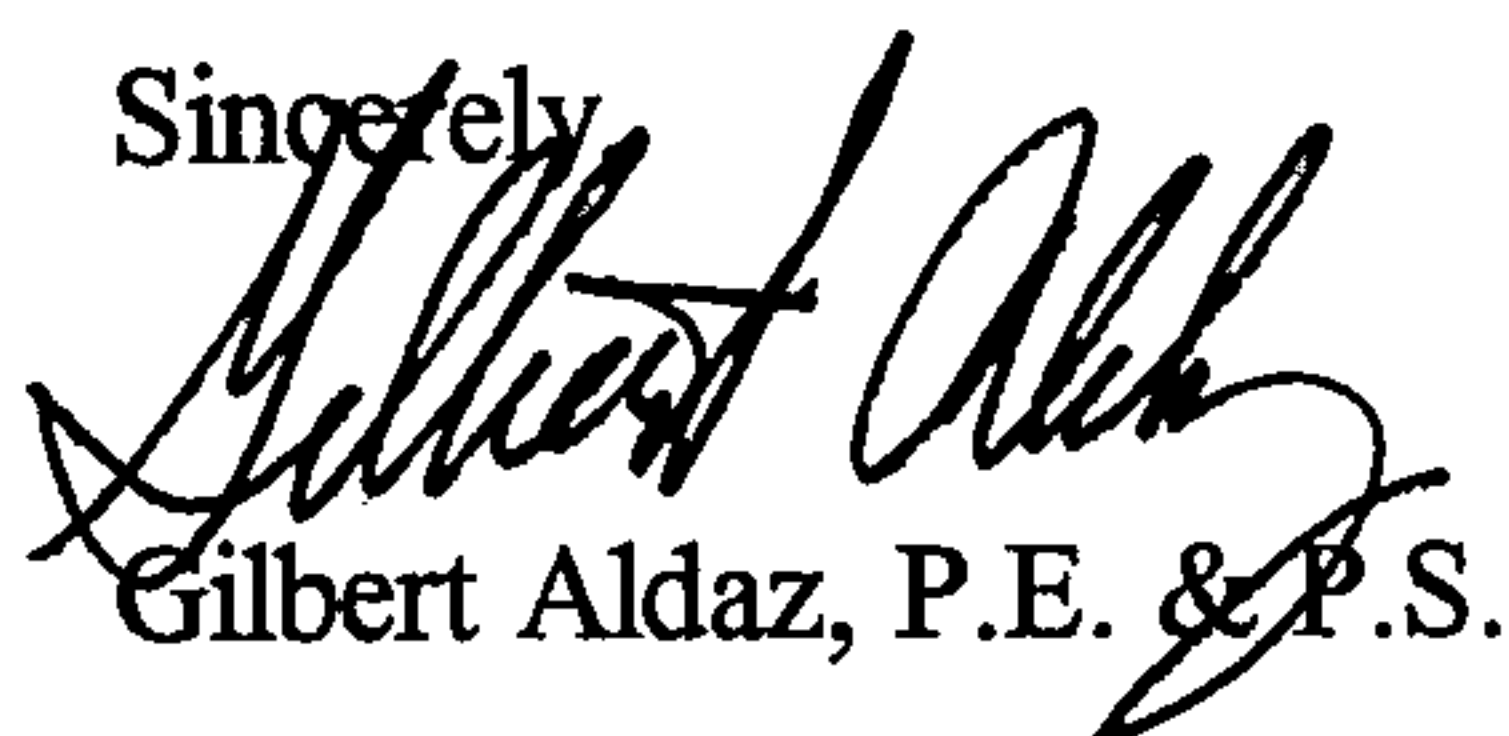
Dear Mr. Montoya:

Attached is an updated plan that should address the City's concerns per the above referenced letter, they are addressed in chronological order as follows:

1. Attached is a E-mail by Dan Hogan that requires this owner to place a \$5000 financial guarantee with the City to meet his storm drain obligations.
2. Owner is planning to resubmit the re-plat to DRB, this issue is being worked on by Southwest Surveying.
3. The retention pond requirement has been waived with the financial guarantee.
4. No rundown or spillway requirement since financial guarantee required.
5. We are proposing a 10Year retention pond on the west side of the property to collect offsite sediment before allowing it to enter the storage building site. If this offsite pond should overflow, the inlet and stormdrain onsite has been sized to accept these flows.
6. A detail has now been included that addresses the swale proposed between the storage buildings.
7. Slopes have been added on each swale, to include significant spot elevations have been added to this plan.
8. A roof canale for the north half of the roof has been added to include a downspout at the northwest corner of the site flows will than surface drain over the curb to the asphalt swale and than to the inlet proposed.
9. A permanent pond is no longer required due to the financial guarantee requirements.

If you should have any questions, please do not hesitate to call me at 237-1456.

Sincerely,

  
Gilbert Aldaz, P.E. & P.S.

Author: Dan W. Hogan at CABQ-PUBWORKS  
Date: 1/16/98 4:19 PM  
Priority: Normal  
TO: Fred J. Aguirre  
TO: Steve A. Boberg  
Subject: Castiglione Storage Buildings, DRB #97-303

----- Message Contents -----

Fred,

This is to document the discussion Steve Boberg and I had with Gilbert Aldaz and Gary Castiglione on Friday January 16, 1998. This proposed development is located on the Southwest corner of Bridge and 86th Streets and has a legal description of Lot 1-A Block 12 Original Townsite of Westland. The DRB number is 97-303.

This meeting was held to discuss what an equitable contribution to the City's Amole Del Norte (Bridge Street) Storm Sewer Project (City project number 4076.93) would be in lieu of construction of a temporary pond on the Castiglione site. As you are aware the City expects to bid Project 4076.93 this spring. This Project will construct a large diameter storm drain in Bridge from the existing channel at Unser to 86th.

After discussion both parties agreed that a contribution of \$5,000.00 to the City would be equitable. This was based on three different approaches:

1. The cost of the temporary pond which would no longer be required of this development.
2. The discharge (cfs) from this development prorated against the flow in the Bridge Street storm drain.
3. The cost per acre contributed by the Bridge Point Apartments compared to the size (in acres) of this development.

Based on these scenarios both parties agreed that \$5,000 would be an equitable contribution for this development. As part of this agreement the development would be required to introduce all site flows directly into the Bridge storm drain by means of an inlet and connector pipe. No flow would be allowed to leave the site on the surface. As part of the City Project a stubout would be placed at the Southwest corner of Bridge and 86th for this development to tie to.

The same approach to financial guarantees would be used as was used on the Bridge Point Apartments (modified procedure "C"). The developers contribution should be deposited in CIP activity number 7218110 (1997, G.O. Bond, Amole Del Norte Storm Drain).

Should you have any questions or need more information please feel free to call me at 768-2778.

Thanks, Dan

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: CASTIGLIONE STORAGE Bldg ZONE ATLAS/DRNG. FILE #: K-9/D11  
 DRB #: 97-303 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_  
 LEGAL DESCRIPTION: Lot 1-A, Block 12, Original Townsite of Westland  
 CITY ADDRESS: 86th Street & Bridge Blvd  
 ENGINEERING FIRM: Aldaz Engineering & Survey CONTACT: Gilbert Aldaz  
 ADDRESS: 1605 Blair Dr NE PHONE: 237-1456  
 OWNER: Gary CASTIGLIONE CONTACT: GARY Castiglione  
 ADDRESS: 9201 Central NW PHONE: 352-2058  
 ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

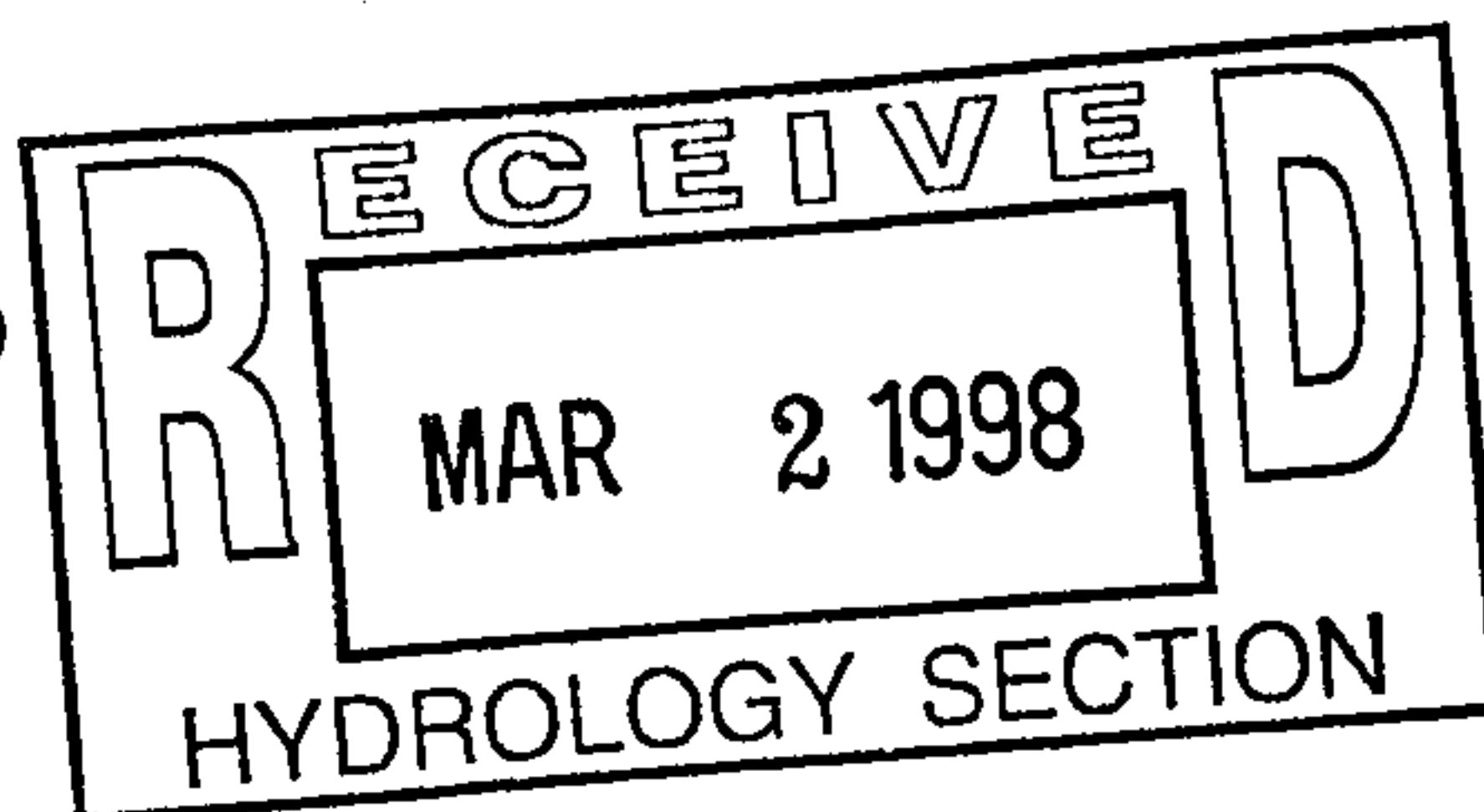
- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (SPECIFY)

## PRE-DESIGN MEETING:

- ☒ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 03-03-98  
 BY: Gilbert Aldaz



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 8, 1997

Gilbert Aldaz  
Aldaz Engineering & Surveying  
1605 Blair Dr. NE  
Albuquerque, New Mexico 87112

RE: DRAINAGE PLAN FOR CASTIGLIONE STORAGE BUILDING (K9-D11)  
ENGINEER'S STAMP DATED 12/10/97

Dear Mr. Aldaz:

Based on the information provided on your December 12, 1997 submittal, listed are some concerns that will need to be addressed prior to final approval:

- ✓ 1. Street and storm sewer requirements on 86th St. and Bridge Blvd. ( must be financially guaranteed ). Recommend that you meet with the CIP Hydrology engineers to address this issue.
- ✓ 2. Status of the replat.
- ✓ 3. Argument that could be used for a variance from having to create a retention pond on site.
- ✓ 4. Detail of the proposed rundown and spillway if no variance is going to be requested.
- ✓ 5. Erosion and sediment control for the off-site flows.
- ✓ 6. Detail of the proposed swales between the storage buildings.
- ✓ 7. Indicate the slopes on each swale.
- ✓ 8. Curb cut on the north side of building to allow for the roof runoff to exit on the asphalt area.
- ✓ 9. Your calculations must be shown for the ultimate conditions with a backup as to why the city should allow a variance from the required (twice the 100-yr. 6 hr. storm or the 10 day

volume).

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia  
Gary Castiglione  
File

Sincerely

*Bernie J. Montoya*  
Bernie J. Montoya CE  
Associate Engineer

## DRAINAGE INFORMATION SHEET

PROJECT TITLE: CASTIGLIONE STORAGE BUESZONE ATLAS/DRNG. FILE #: New K-9 011

DRB #: 97-303 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 1-A, Block 12, Original Townsite of Westland

CITY ADDRESS: 86th Street & Bridge Blvd

ENGINEERING FIRM: Aldaz Engineering & Survey CONTACT: Gilbert Aldaz

ADDRESS: 1605 Blair Dr NE PHONE: 237-1456

OWNER: GARY CASTIGLIONE CONTACT: GARY Castiglione

ADDRESS: 9201 Central NW PHONE: 352-2058

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

- \_\_\_ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- \_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN
- \_\_\_ GRADING PLAN
- \_\_\_ EROSION CONTROL PLAN
- \_\_\_ ENGINEER'S CERTIFICATION
- \_\_\_ OTHER \_\_\_\_\_

## PRE-DESIGN MEETING:

- \_\_\_ YES
- ☒ NO
- \_\_\_ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- \_\_\_ SKETCH PLAT APPROVAL
- \_\_\_ PRELIMINARY PLAT APPROVAL
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- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_ SECTOR PLAN APPROVAL
- \_\_\_ FINAL PLAT APPROVAL
- \_\_\_ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- \_\_\_ CERTIFICATE OF OCCUPANCY APPROVAL
- \_\_\_ GRADING PERMIT APPROVAL
- \_\_\_ PAVING PERMIT APPROVAL
- \_\_\_ S.A.D. DRAINAGE REPORT
- \_\_\_ DRAINAGE REQUIREMENTS
- \_\_\_ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 12-11-97

BY: Gilbert Aldaz

