



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 25, 2003

Gilbert Aldez, P.E.
Applied Engineering
1605 Blair Drive NE
Albuquerque, New Mexico 87112

RE: A.V.E., INC. (K-9/D14A)
(9900 Avalon NW)
ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
ENGINEERS STAMP DATED 8/28/2001 Rev. 9/28/2001
ENGINEERS CERTIFICATION DATED 6/13/2003

Dear Gilbert:

Based upon the information provided in your Engineers Certification submittal dated 6/16/2003, the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, please contact me at 924-3981.

Sincerely,

Teresa A. Martin
Hydrology Plan Checker
Development & Bldg. Ser. Division
SAB

C: Certificate of Occupancy Clerk, COA
~~drainage file~~
approval file

DRAINAGE INFORMATION SHEET

1/28/03rd Jan

PROJECT TITLE: A. V. E. Inc. ZONE MAP/DRG. FILE #: K-9/D14A
 DRB #: 1000870 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 1A Row 2, Unit A, Town of Atrisco Grant
 CITY ADDRESS: Avalon Road & 98th Street

ENGINEERING FIRM: Applied Engr. Inc.
 ADDRESS: 1605 Blair Drive NE
 CITY, STATE: Albuquerque

CONTACT: Gilbert Aldaz
 PHONE: 237-1456
 ZIP CODE: 87112

OWNER: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: Isaac Benton
 ADDRESS: 624 Tijeras Av NW
 CITY, STATE: Albuquerque, NM 87102

CONTACT: Isaac Benton
 PHONE: 243-3499
 ZIP CODE: _____

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

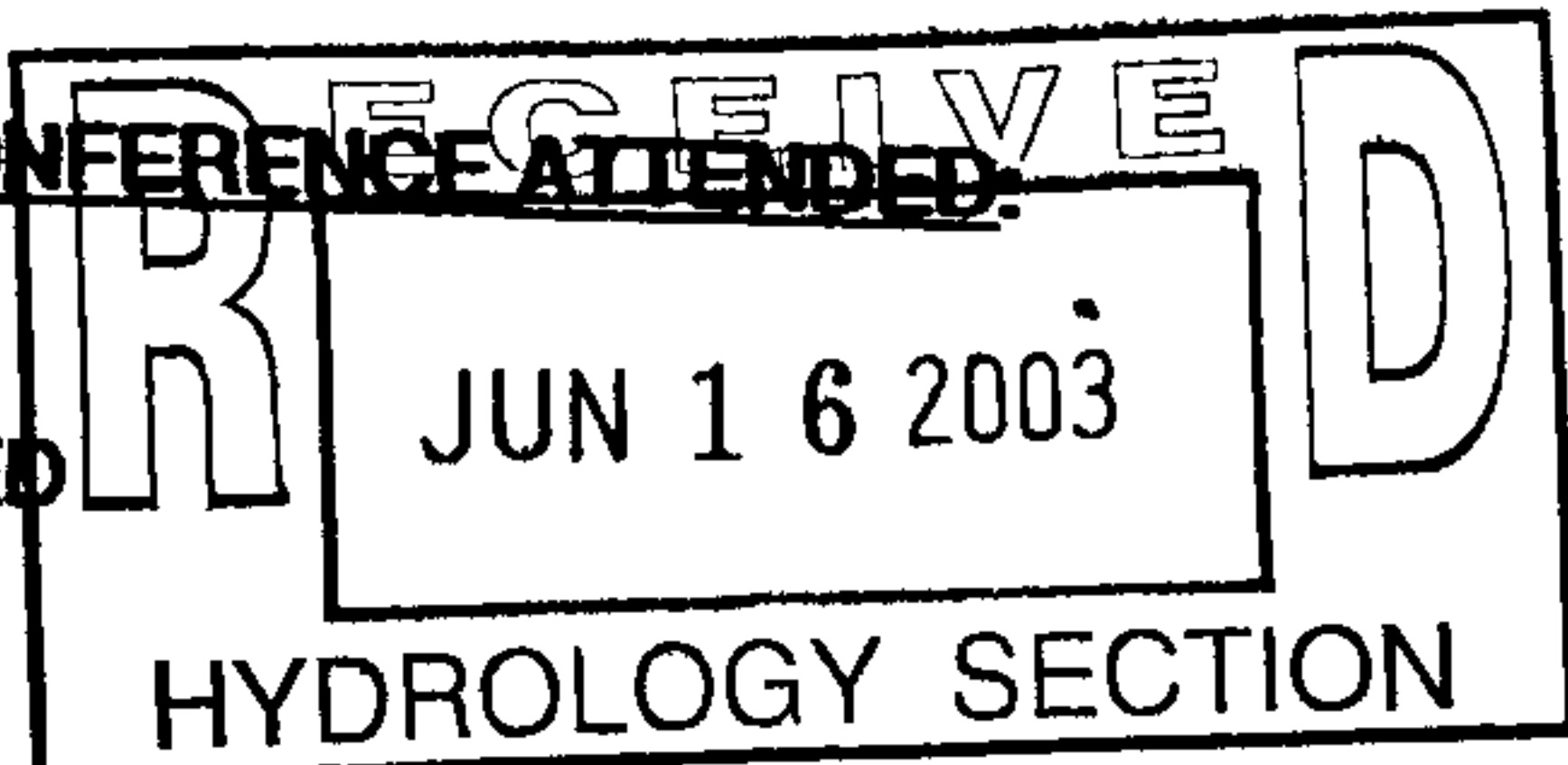
CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMR
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL (Perm)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 06-13-03 BY: Gilbert Aldaz

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 2, 2001

Gilbert Aldaz
Applied Engineering, Inc.
1605 Blair Drive NE
Albuquerque, New Mexico 87112

RE: Grading and Drainage Plan for A.V.E. Inc. (K9-D14A) Dated September 28, 2001

Dear Mr. Aldaz:

The above referenced drainage plan submitted October 1, 2001 is approved for Site Development for Subdivision and for Site Development for Building Permit action at DRB. Prior to release of the future Site Plan for the adjoining tract 1-B an inlet on 98th Street will need to be reviewed. Building Permit will be released for the site when I review the Work Order drawings for the work in 98th Street. The Work Order drawings should show some erosion control as the runoff from your site enters the 98th Street shoulder swale.

If you have any questions please call me at 924-3982.

*Forgot in insert Building Permit Approval
CAM 5-22-02*

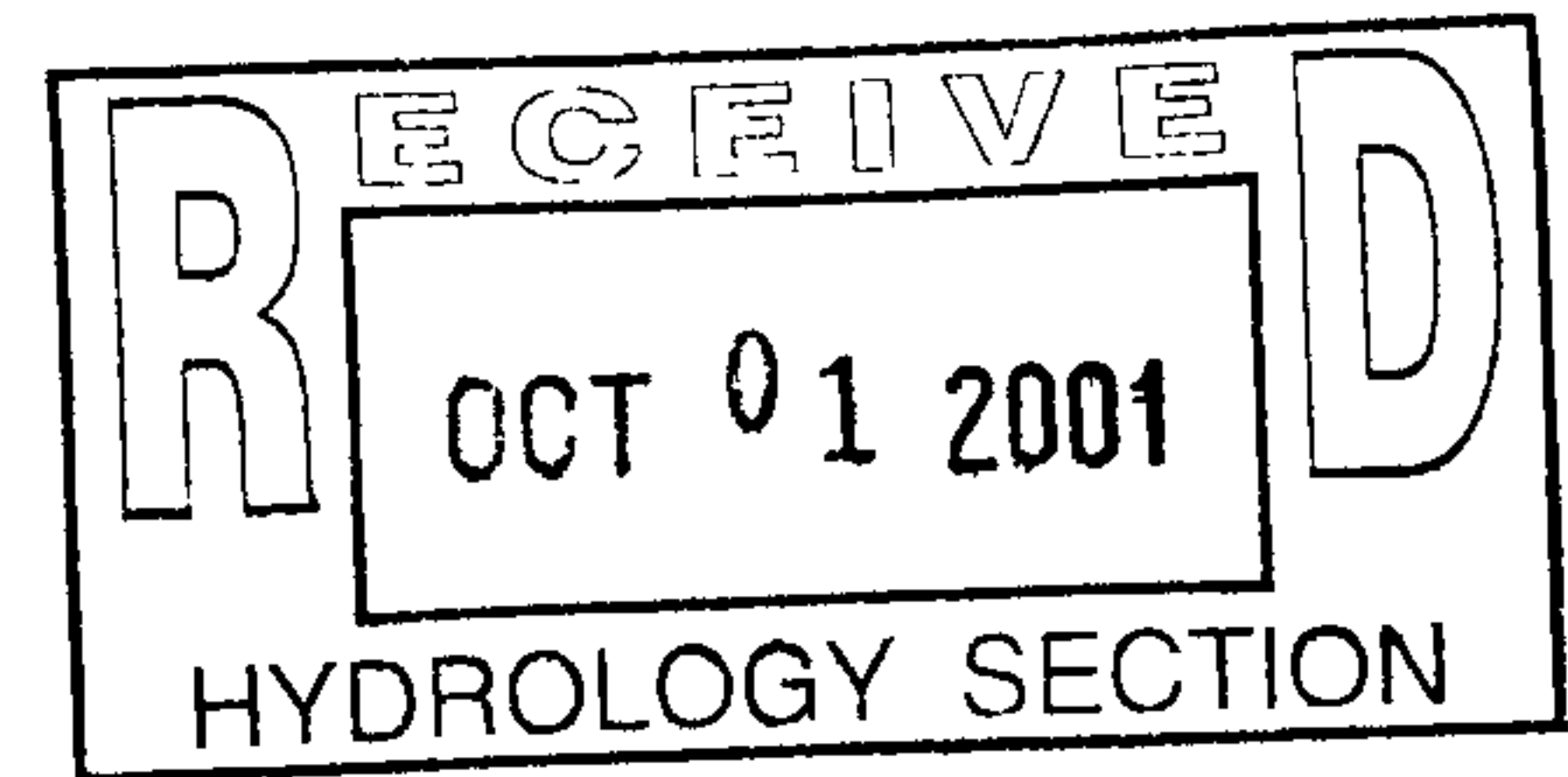
Sincerely,

Carlos A. Montoya
Carlos A. Montoya
City Floodplain Administrator



September 28, 2001

Mr. Carlos Montoya
City Floodplain Administrator
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103



RE: RESPONSES TO YOUR COMMENTS DATED SEPTEMBER 7, 2001
FOR THE GRADING AND DRAINAGE PLAN FOR A.V.E. INC. (K9-
D14A)

Dear Mr. Montoya:

Please consider the following responses to address your comments:

1. There is an existing storm drain that runs along the west side of 98th Street that runs from Avalon Road to Volcano Road where it discharges into a City detention pond. The flow from the proposed 18-inch concrete rundown will discharge into future new curb and gutter to be built along frontage of 98th Street, at the terminus of this site the flow will discharge from curb and gutter into an existing "V" swale that runs south paralleling 98th Street. At approximately 600 feet south of this site, 120' north of Volcano Road, the flow from the "V" swale enters into the existing storm drain through a 5' round concrete inlet, which has 3 - 1' high by 4' wide openings. This large inlet is at a low point on 98th Street, and picks up a large undeveloped drainage basin west of 98th Street in order to keep the flows from overtopping the street.
2. Please see the attached overall topographic survey with the proposed site for the existing typical "V" swale cross-section with attached calculations. The capacity of the swale is about 15cfs before the velocity begins to exceed 3fps. Since there is an existing inlet at the northeast corner of this site which picks up the majority of the develop flows it is anticipated that the "V" swale will not exceed 15cfs in the interim, the "V" swale can be easily graded and maintained as part of the roadway. As development takes place to the south of this site, new curb and gutter will be required for their frontage, this will eventually eliminate the need for this interim swale.
3. According to the as-built drawings the lateral lines were constructed with PVC, when this project was constructed this site was under Bernalillo County jurisdiction. The invert has been re-verified and should read 29.24.

Based on the size of the large 5' diameter inlet per item 1 of this letter, it appears this inlet was sized to accommodate a large drainage basin of existing undeveloped flows west of 98th Street; it appears the sizing was based on keeping major flows from overtopping 98th Street. Based on a field visit, at the southwest corner of 100th Street and Avalon, west of the proposed A.V.E. site, a new development has been constructed with a truck/car wash; this site constructed street improvements and a temporary pond to the south and west of 100th Street. Review of the drainage plan for this development indicates that storm drain improvements will be required on 100th Street as this development moves south and will eventually connect into the city detention pond. Based on the way the development is

TRAPEZOIDAL CHANNEL ANALYSIS
RATING CURVE COMPUTATION

September 29, 2001
"V" SWALE ALONG 98TH STREET
A.V.E. Inc. SITE
September 29, 2001

PROGRAM INPUT DATA:

DESCRIPTION	VALUE
Channel Bottom Slope (feet per foot).....	0.0230
Manning's Roughness Coefficient (n-value).....	0.0250
Channel Side Slope - Left Side (horizontal/vertical)....	25.00
Channel Side Slope - Right Side (horizontal/vertical)...	20.00
Channel Bottom Width (feet).....	0.5

PROGRAM RESULTS:

Depth (ft)	Flow Rate (cfs)	Velocity (fps)	Froude Number	Velocity Head(ft)	Energy Head(ft)	Flow Area (sq ft)	Top Width (ft)
0.1	0.4	1.30	0.979	0.026	0.126	0.3	5.0
0.2	2.0	2.01	1.091	0.063	0.263	1.0	9.5
0.3	5.7	2.60	1.164	0.105	0.405	2.2	14.0
0.4	11.9	3.14	1.219	0.153	0.553	3.8	18.5
0.5	21.3	3.63	1.265	0.204	0.704	5.9	23.0
0.6	34.3	4.09	1.303	0.259	0.859	8.4	27.5
0.7	51.4	4.52	1.336	0.317	1.017	11.4	32.0
0.8	73.0	4.94	1.366	0.378	1.178	14.8	36.5

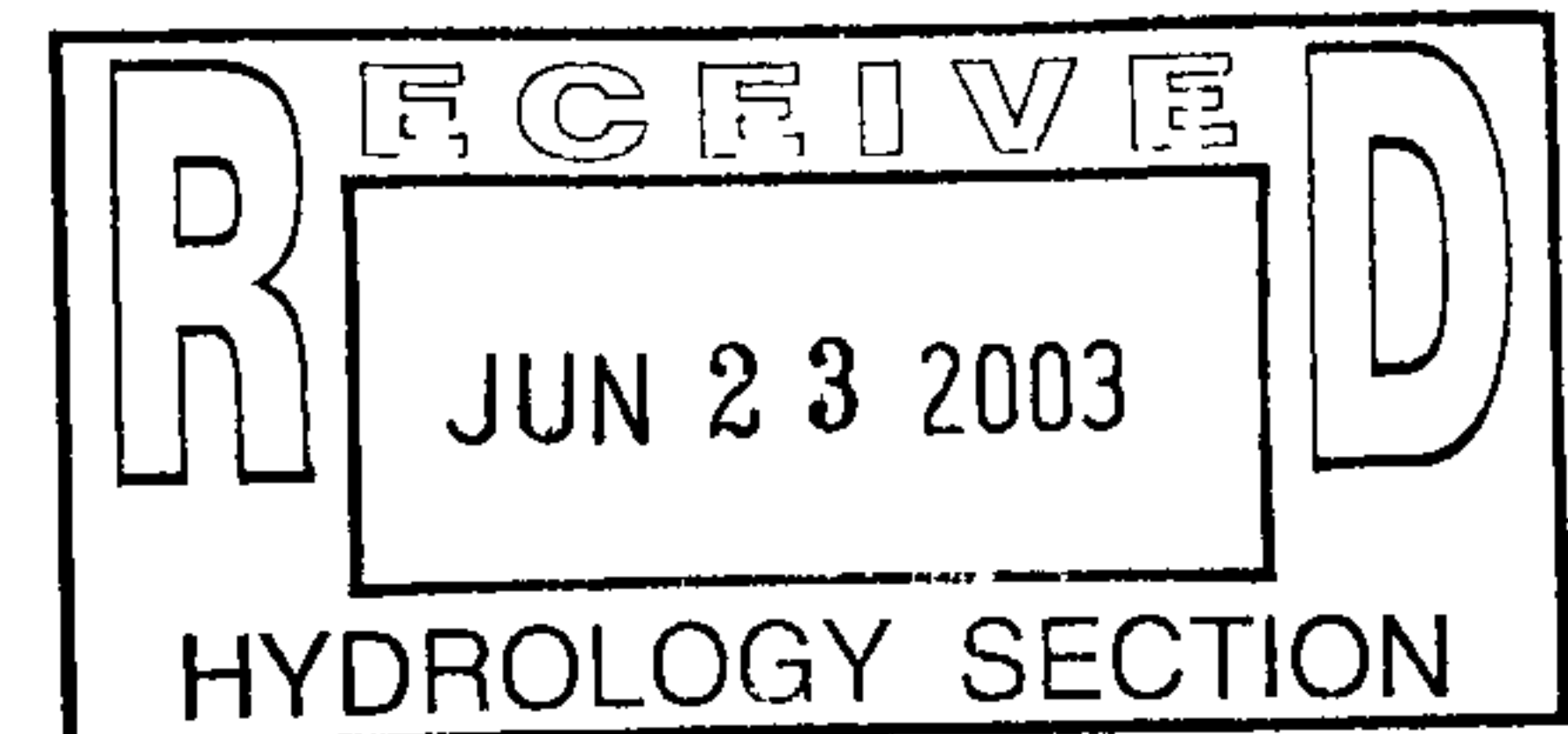
TRAPEZOIDAL CHANNEL ANALYSIS COMPUTER PROGRAM, Version 1.3 (c) 1986
Dodson & Associates, Inc., 7015 W. Tidwell, #107, Houston, TX 77092
(713) 895-8322. A manual with equations & flow chart is available.

ISAAC
BENTON &
ASSOCIATES AIA

June 23, 2003

City of Albuquerque
Development & Building Services
Transportation Development Section
Plaza Del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

RE: TCL Letter of Certification
AVE Inc., New Retail Store
9900 Avalon Rd. NW



The purpose of this letter is to certify that, from visual observations, the site for AVE Inc. New Retail Store 9900 Avalon Rd. NW was constructed in "substantial completion" according to the approved site plan. The only (3) exceptions are as follows,

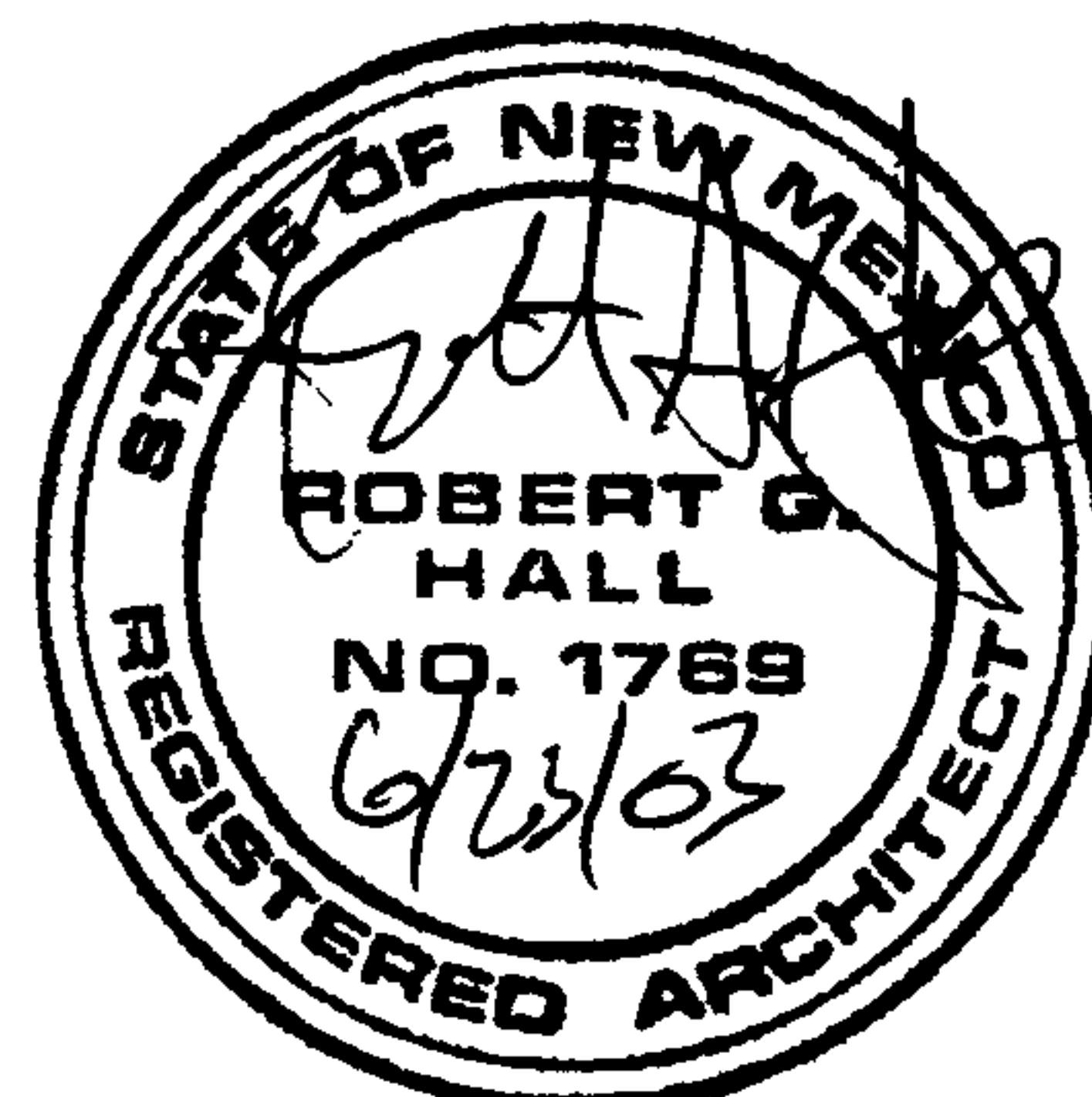
- (1) The fire hydrant that was to be at the northwest corner of the lot was moved to the northeast corner of the lot and the City approved this move.
- (2) The parking lot curbing at the southwest corner of the lot was modified and one parking space was eliminated, This deviation is acceptable to us and should not affect the approval of the TCL or Certificate of Occupancy, as it is a small modification and the number of parking spaces provided is still higher than required.
- (3) The emergency exit sidewalk at the northeast corner of the building is taken to the sidewalk at Avalon Rd. and not to the bike path at 98th street; this deviation is acceptable to us and should not affect the approval of the TCL or Certificate of Occupancy.

Please note that this certification is not based on a survey and only represents our best estimation based on visual inspection and information provided by the contractor. Please call me (243-3499) if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be "Bob Hall".

Bob Hall AIA





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

June 26, 2003

Robert G. Hall, Registered Architect
624 Tijeras Ave NW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
AVE Inc. (98th & Avalon Rd.), [K-9 / D14A]
9900 Avalon Rd NW
Architect's Stamp Dated 06/23/03

Dear Mr. Hall:

The TCL / Letter of Certification submitted on June 23, 2003 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk