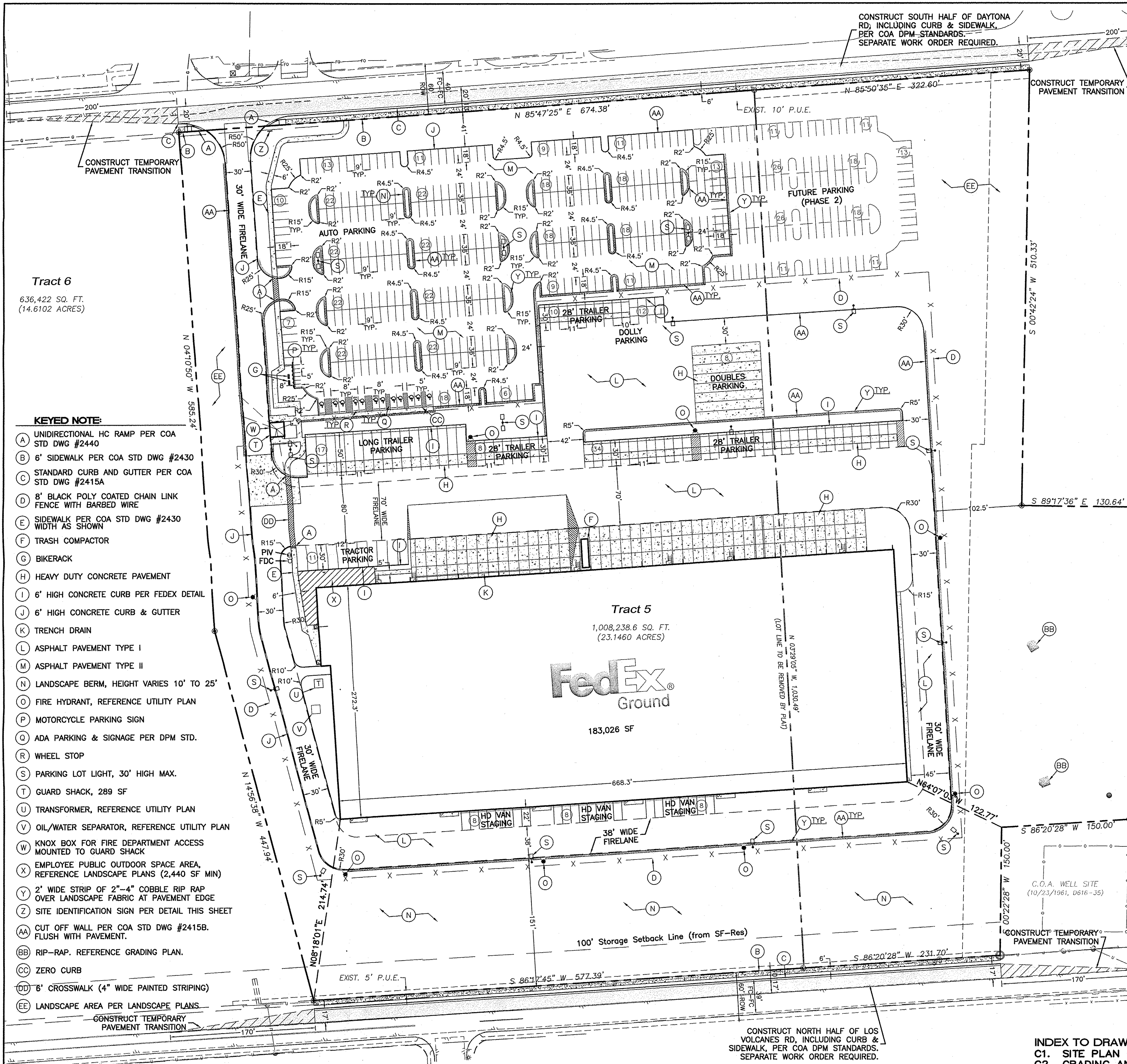
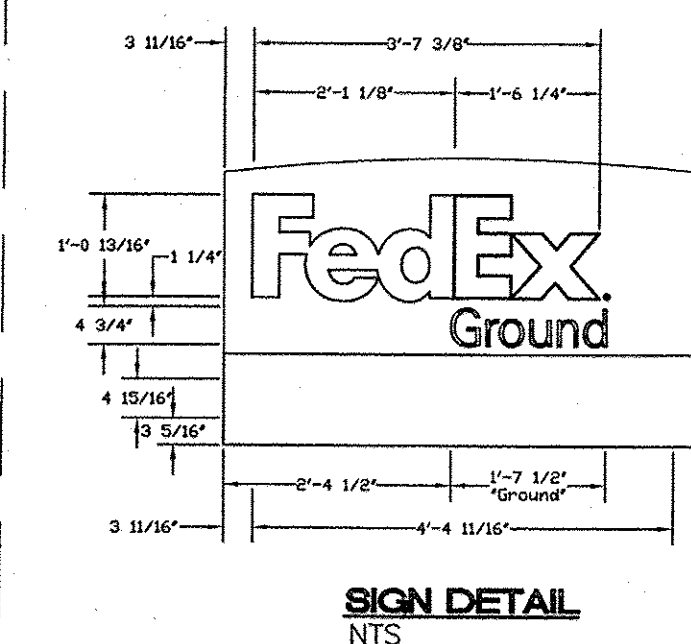




Tract 6
636,422 SQ. FT.
(14.6102 ACRES)

- KEYED NOTE:**
- (A) UNIDIRECTIONAL HC RAMP PER COA STD DWG #2440
 - (B) 6" SIDEWALK PER COA STD DWG #2430
 - (C) STANDARD CURB AND GUTTER PER COA STD DWG #2415A
 - (D) 8" BLACK POLY COATED CHAIN LINK FENCE WITH BARBED WIRE
 - (E) SIDEWALK PER COA STD DWG #2430 WIDTH AS SHOWN
 - (F) TRASH COMPACTOR
 - (G) BIKERACK
 - (H) HEAVY DUTY CONCRETE PAVEMENT
 - (I) 6" HIGH CONCRETE CURB PER FEDEX DETAIL
 - (J) 6" HIGH CONCRETE CURB & GUTTER
 - (K) TRENCH DRAIN
 - (L) ASPHALT PAVEMENT TYPE I
 - (M) ASPHALT PAVEMENT TYPE II
 - (N) LANDSCAPE BERM, HEIGHT VARIES 10' TO 25'
 - (O) FIRE HYDRANT, REFERENCE UTILITY PLAN
 - (P) MOTORCYCLE PARKING SIGN
 - (Q) ADA PARKING & SIGNAGE PER DPM STD.
 - (R) WHEEL STOP
 - (S) PARKING LOT LIGHT, 30" HIGH MAX.
 - (T) GUARD SHACK, 289 SF
 - (U) TRANSFORMER, REFERENCE UTILITY PLAN
 - (V) OIL/WATER SEPARATOR, REFERENCE UTILITY PLAN
 - (W) KNOX BOX FOR FIRE DEPARTMENT ACCESS MOUNTED TO GUARD SHACK
 - (X) EMPLOYEE PUBLIC OUTDOOR SPACE AREA, REFERENCE LANDSCAPE PLANS (2,440 SF MIN)
 - (Y) 2" WIDE STRIP OF 2"-4" COBBLE RIP RAP OVER LANDSCAPE FABRIC AT PAVEMENT EDGE
 - (Z) SITE IDENTIFICATION SIGN PER DETAIL THIS SHEET
 - (AA) CUT OFF WALL PER COA STD DWG #2415B. FLUSH WITH PAVEMENT.
 - (BB) RIP-RAP. REFERENCE GRADING PLAN.
 - (CC) ZERO CURB
 - (DD) 6" CROSSWALK (4" WIDE PAINTED STRIPING)
 - (EE) LANDSCAPE AREA PER LANDSCAPE PLANS



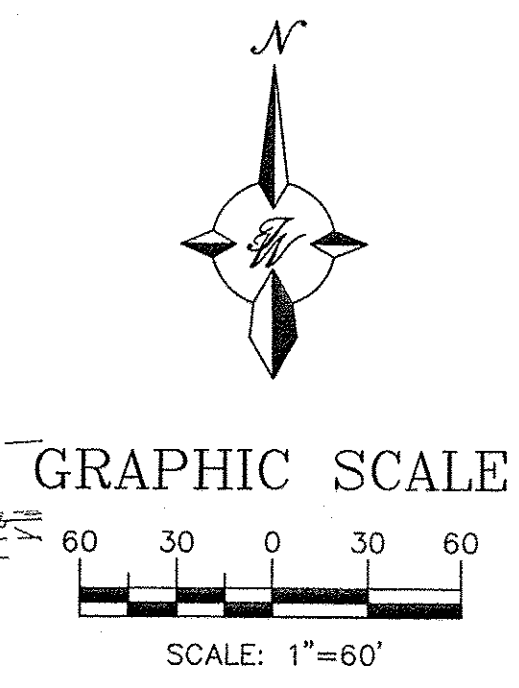
SITE DATA

ZONING:	SU-1 FOR IP AND C-2 USES
SITE AREA:	1,008,238.6 SF (23.146 ACRE)
PROPOSED USAGE:	OFFICE AND WAREHOUSE/DISTRIBUTION
BUILDING AREA:	
DISTRI. AREA / P&D	175,328 SF
OFFICE:	7,441 SF
REMOTE TOILET ROOM:	257 SF
TOTAL:	183,026 SF
OCCUPANCY:	DOCK-S1 OFFICE-B
PARKING REQUIRED:	
OFFICE:	38 SPACES (1 SPACE PER 200 SF)
WAREHOUSE:	88 SPACES (1 SPACE PER 2000 SF)
PARKING PROVIDED:	366 SPACES (PHASE 1 TOTAL) 498 SPACES (PHASE 1 & 2 TOTAL)
HC PARKING REQUIRED:	12 SPACES
HC PARKING PROVIDED:	12 SPACES (3 VAN ACCESSIBLE)
MC PARKING REQUIRED:	6 SPACES
MC PARKING PROVIDED:	6 SPACES
BICYCLE PARKING REQUIRED:	6 SPACES
BICYCLE PARKING PROVIDED:	10 SPACES
ALL MOTORCYCLE AND HANDICAP PARKING SPACES SHALL BE PER DEVELOPMENT PROCESS MANUAL	
SETBACKS:	
FRONT:	30'
SIDE:	10'
REAR:	10'

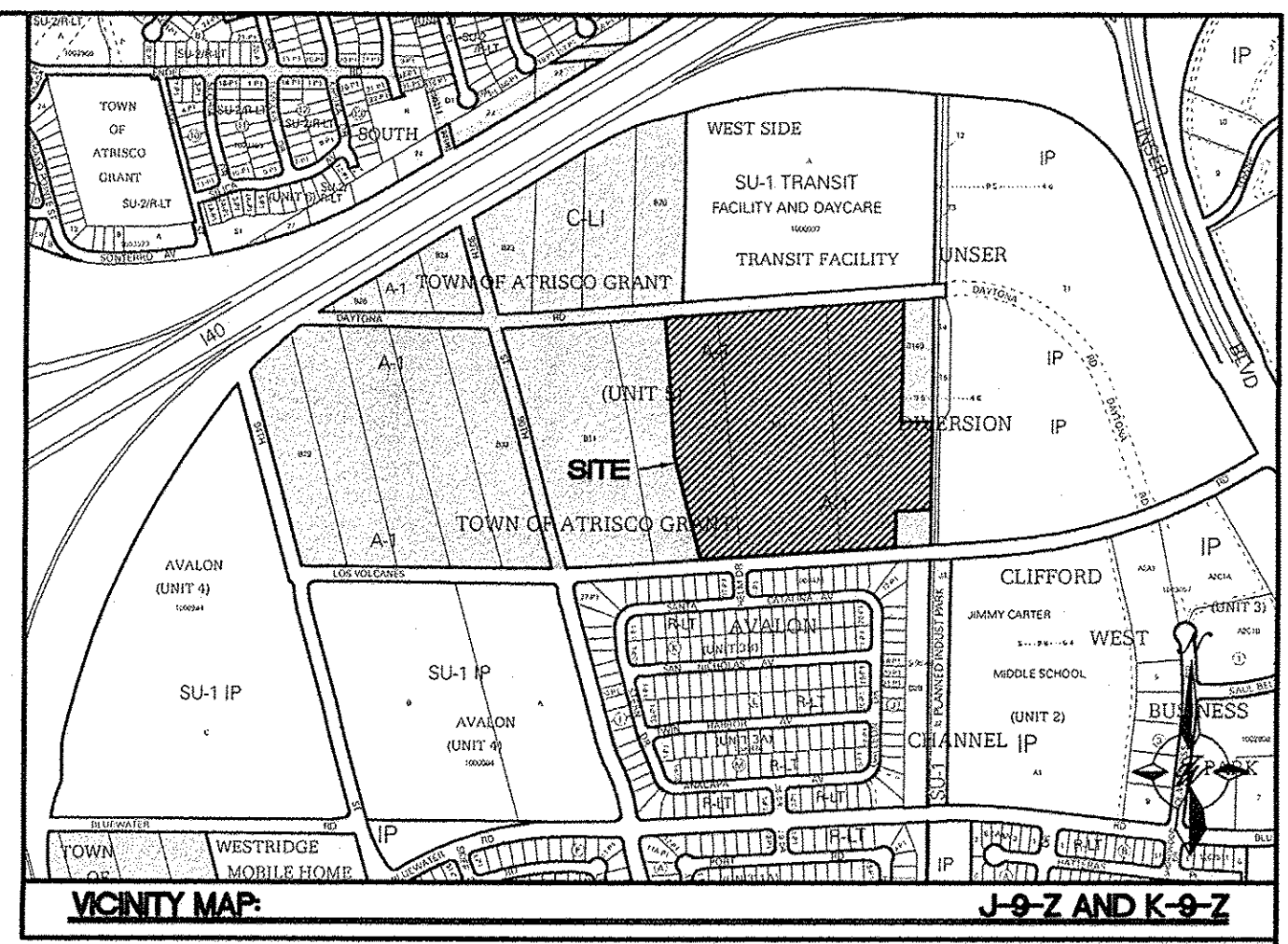
TRAILER STORAGE BREAKDOWN

28' TRAILER	52
LONG TRAILER:	17
TRACTOR:	11
DOLLY STORAGE:	12
HD VAN STAGING	24
DOUBLES PARKING	8

NOTE:
FIRE LANE SHALL CONSIST OF 6" WIDE CONTINUOUS RED PAINT STRIPE WITH THE LETTERS "NO PARKING-FIRE LANE" PAINTED WHITE ON TOP OF RED STRIPE AT 80' O.C. MAX (LETTERS TO BE A MINIMUM 4" TALL).



- INDEX TO DRAWINGS**
- C1. SITE PLAN FOR BUILDING PERMIT
 - C2. GRADING AND DRAINAGE PLAN
 - C3. MASTER UTILITY PLAN
 - C4. BUILDING ELEVATIONS
 - C5. LANDSCAPE BUFFER CROSS SECTIONS
 - L1. LANDSCAPING PLAN



LEGAL DESCRIPTION:
TRACTS 4 AND 5, TOWN OF ATRISCO GRANT UNIT 5

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	RETAINING WALL
	STREET LIGHTS
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING STRIPING
	FIRELANE
	RIP-RAP

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the Findings and Conditions in the Official Notification of Decision are satisfied.

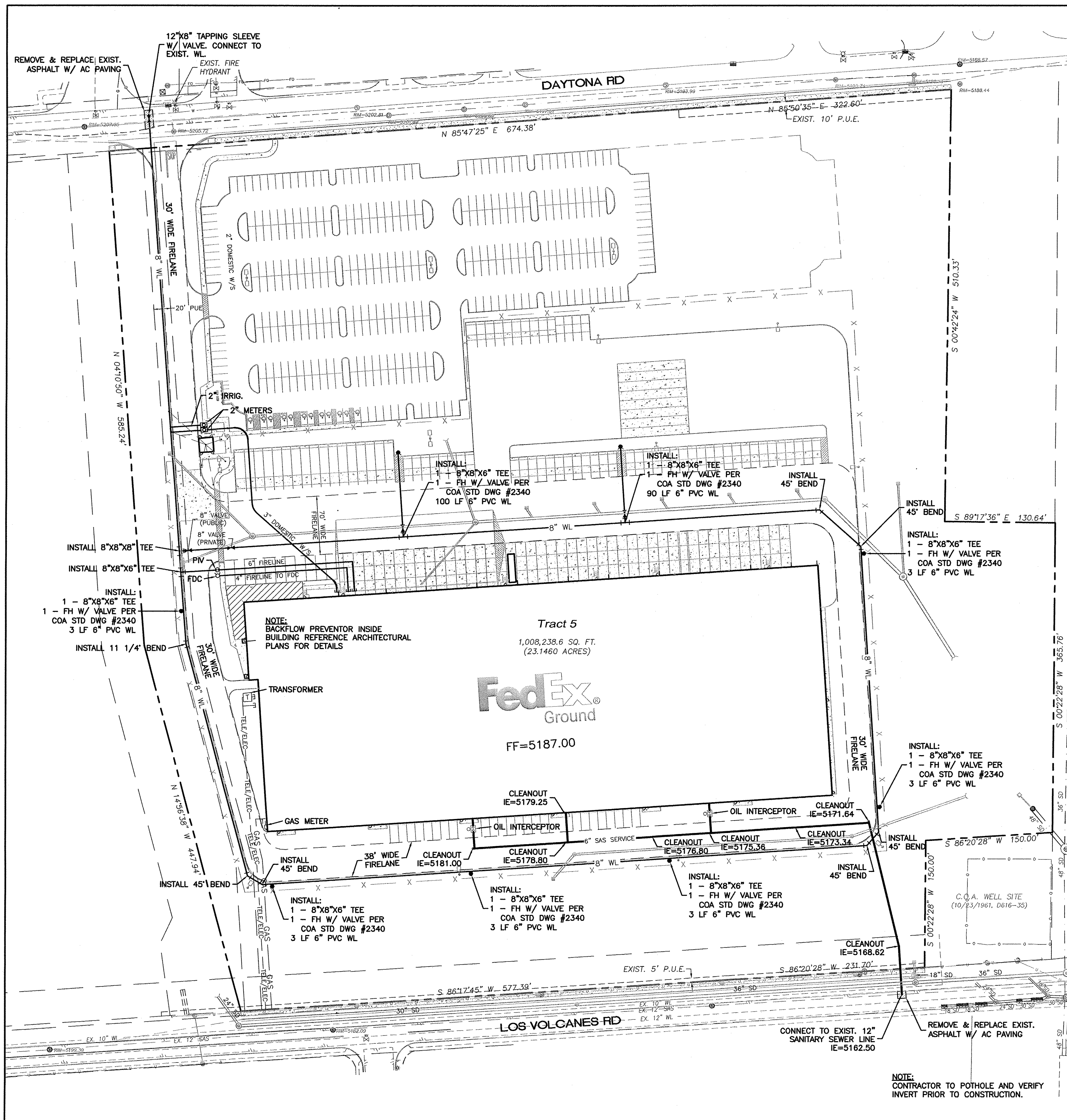
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division	<i>[Signature]</i> 07-07-14
Water Utility Development	<i>[Signature]</i> 09/09/14
Parks & Recreation Department	<i>[Signature]</i> 7-9-14
City Engineer	_____ Date _____
* Environmental Health Department (conditional)	_____ Date _____
Solid Waste Management	_____ Date _____
DRB Chairperson, Planning Department	_____ Date _____

* Environmental Health, if necessary

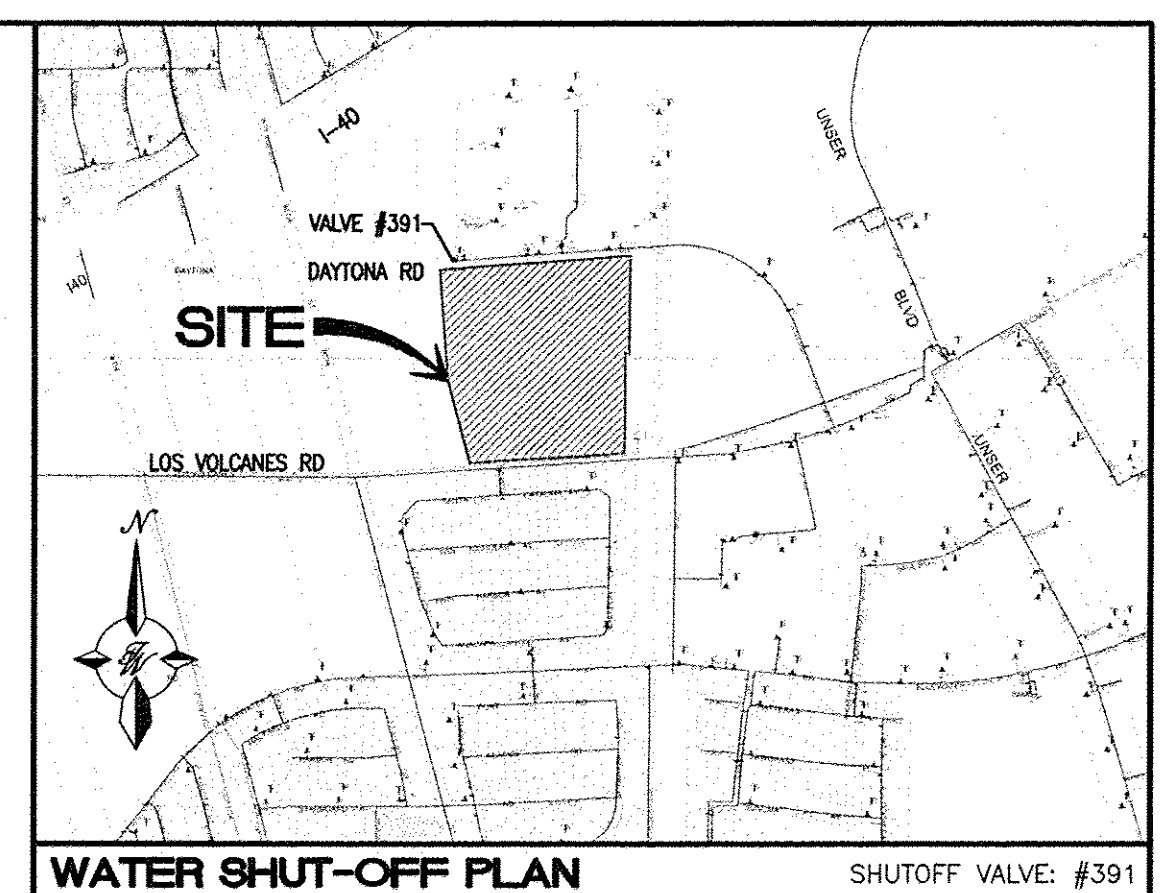
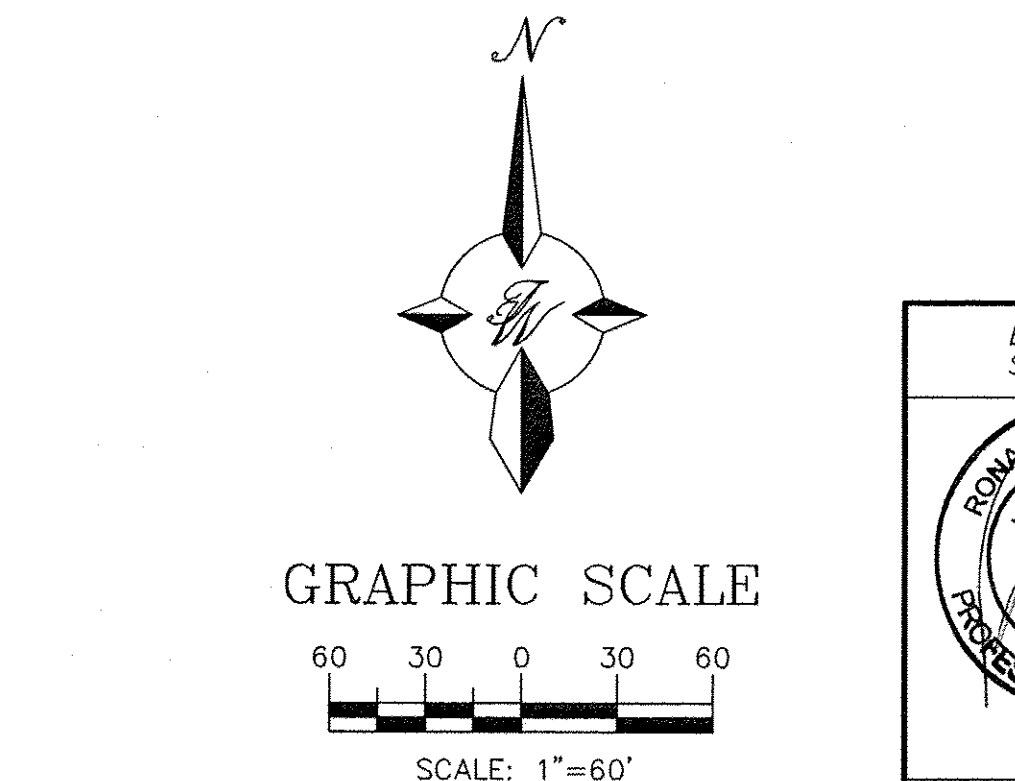
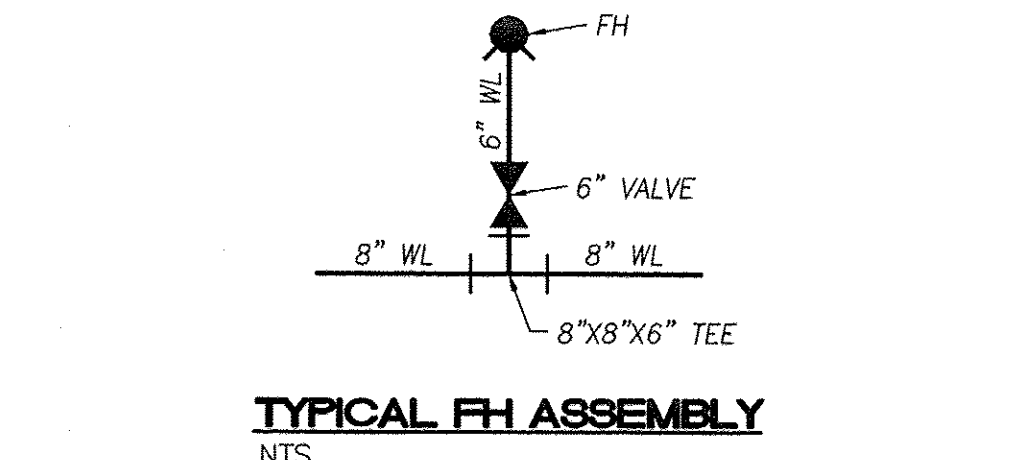
	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	SITE PLAN FOR BUILDING PERMIT	DATE 5/16/14
		2013075-SPE
		SHEET # C1
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2013075



- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986, UPDATE #8.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

- GENERAL NOTES:**
1. 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
 2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
 3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
 5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
 6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 7. SEE ARCHITECTURAL PLANS FOR DETAILS ON OIL INTERCEPTORS.

- NOTES:**
1. ALL FIRE HYDRANTS ARE TO BE BUILT WITH MECH RESTRAINTS W/BLOCKING PER COA STANDARDS.
 2. ALL EXISTING UTILITY CONNECTION LOCATIONS AND INVERTS MUST BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION OF UTILITIES.
 3. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
 4. ALL WATERLINES ARE C900 PVC (DR18) UNLESS OTHERWISE NOTED.
 5. ALL SANITARY SEWERLINE ARE TO BE SDR35 UNLESS OTHERWISE NOTED.



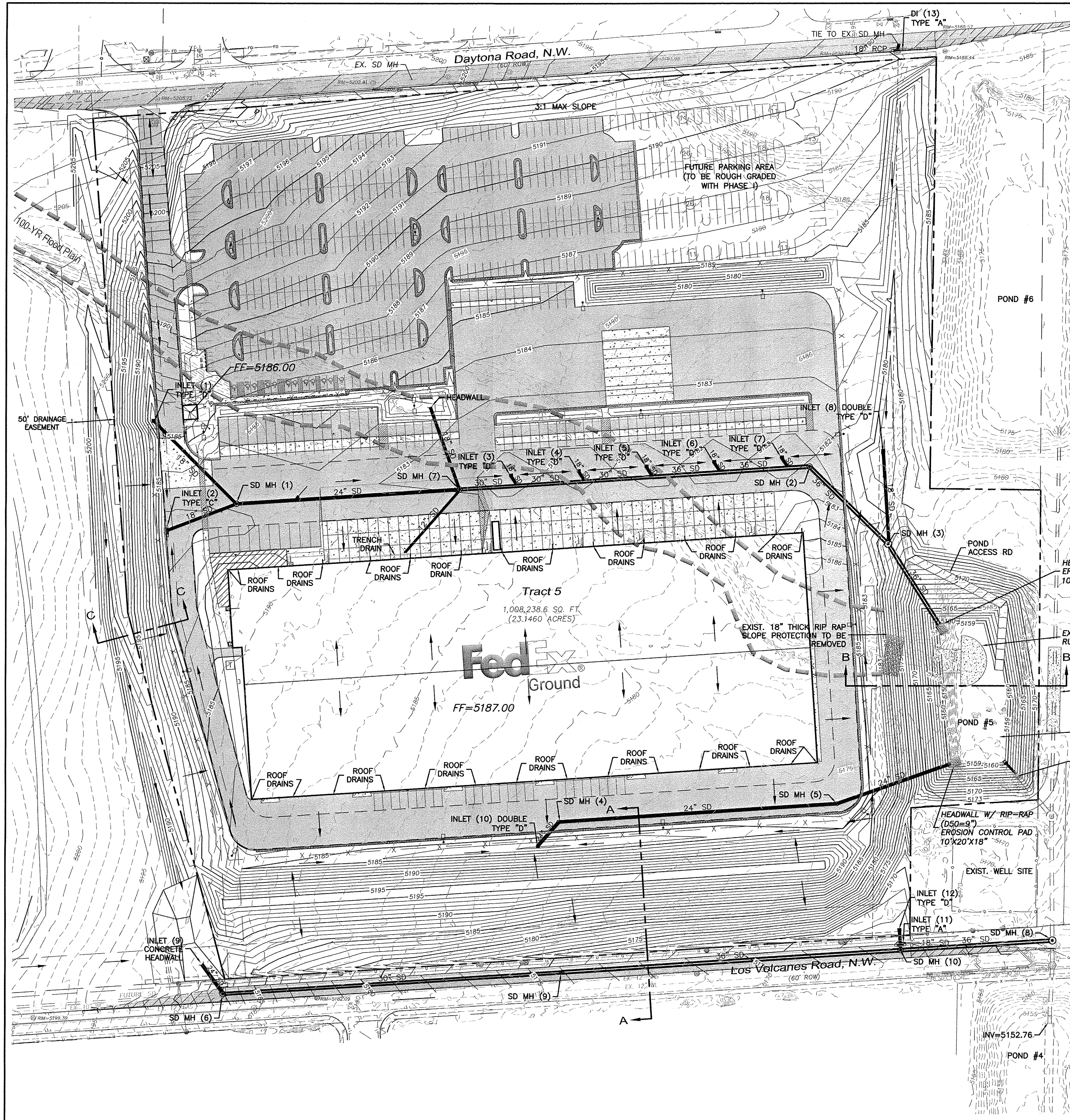
- WATER SHUT-OFF PLAN** SHUTOFF VALVE: #391
- NOTES:**
1. THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT <http://abcwua.org/content/view/full/463/729/>.
 2. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
 3. SHUTOFF THE VALVES INDICATED IN THE ABOVE PLAN.

LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	36\"/>

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

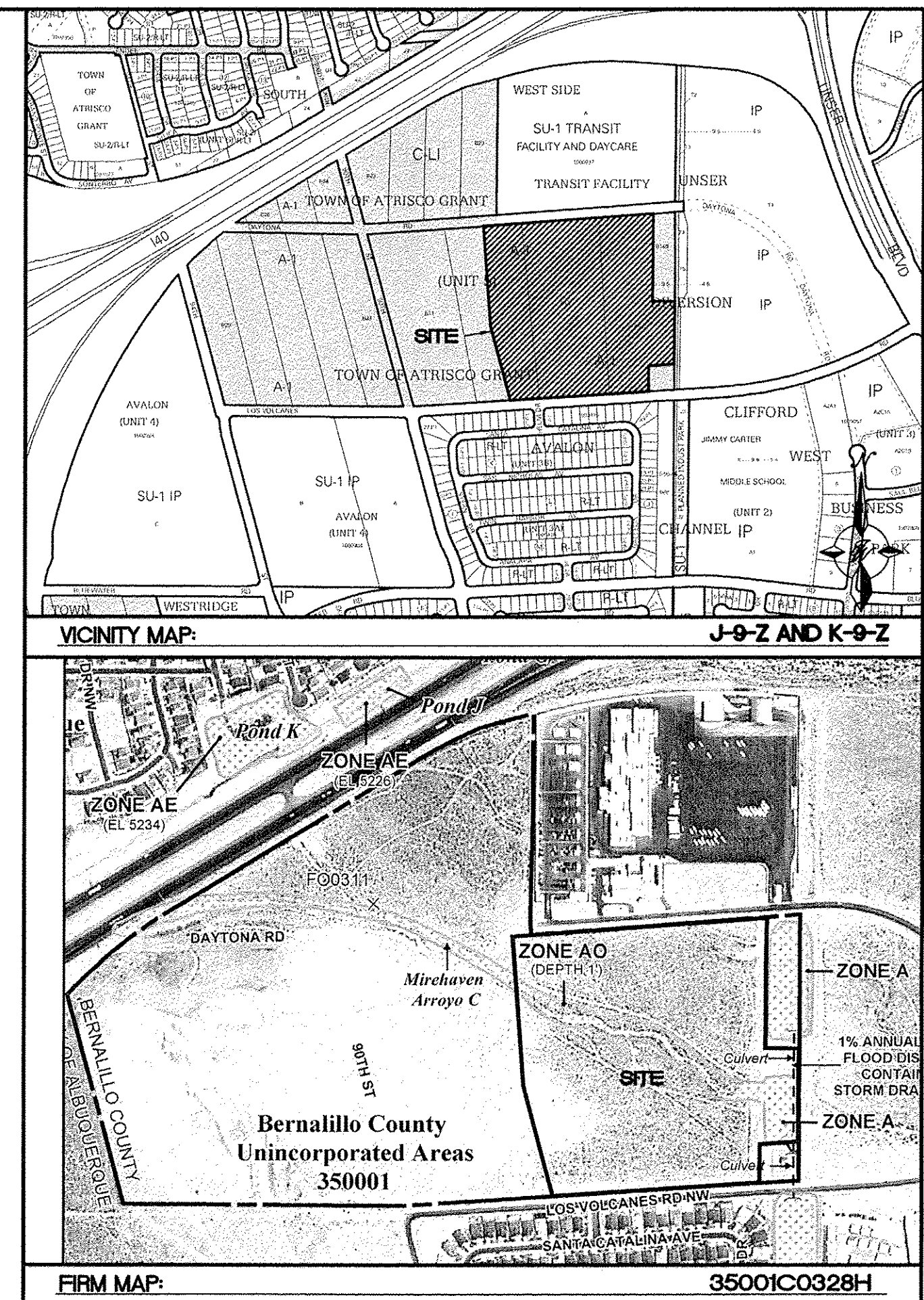
	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
	MASTER UTILITY PLAN	DATE 7/24/14
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	2013075-MUE
		SHEET # C3 JOB # 2013075



GRAPHIC SCALE
60 30 0 30 60
SCALE: 1"=60'

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- RIP-RAP



HEADWALL W/ RIP-RAP (D50=9")
EROSION CONTROL PAD
10'X20'X18"

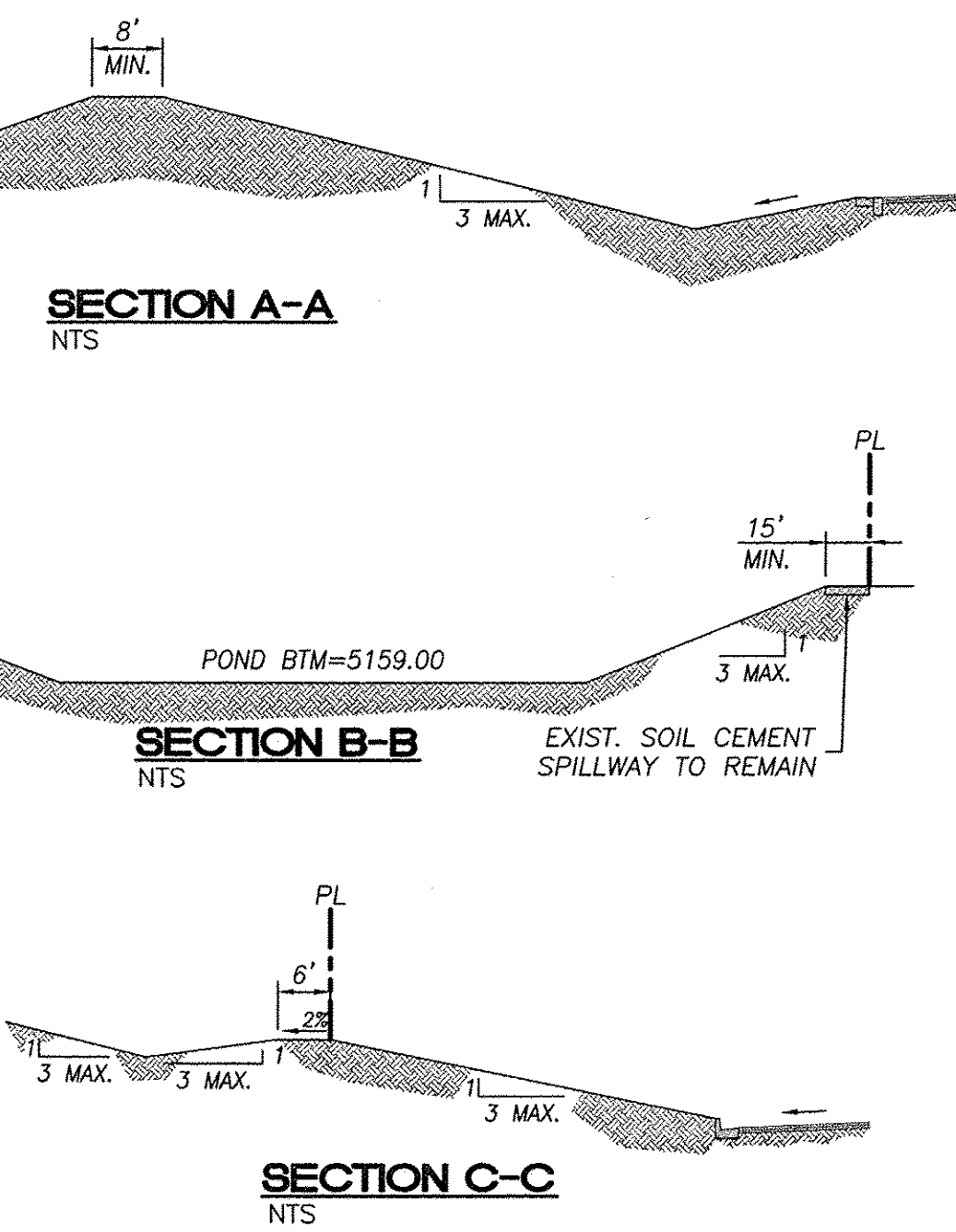
EXIST. 12" SOIL CEMENT
RUNDOWN TO BE REMOVED

EXIST. SOIL CEMENT
SPILLWAY TO REMAIN
ELEV=5170.50
100'X15'X1 1/2'

MWSE=5165.33
VOLUME REQUIRED=2.392 AC FT
VOLUME PROVIDED=5.666 AC FT
MAXIMUM Q OUT=8.20 CFS

EXIST. CONCRETE OUTLET STRUCTURE TO BE
MODIFIED PER DETAIL SHEET GR-5.

SD MH	SIZE	RIM	INVERT IN	INVERT OUT
1	6" DIA.	5183.09	5178.00	5177.90
2	6" DIA.	5182.10	5173.85	5173.75
3	6" DIA.	5181.54	5172.97	5172.87
4	4" DIA.	5186.50	5178.56	5178.46
5	4" DIA.	5186.47	5176.48	5176.38
6	6" DIA.	5187.33	5181.60	5181.50
7	4" DIA.	5182.84	5176.34	5176.24
8	8" DIA.	5163.98	5155.15	5155.05
9	6" DIA.	5171.27	5166.77	5166.67
10	6" DIA.	5165.39	5160.39	5160.29



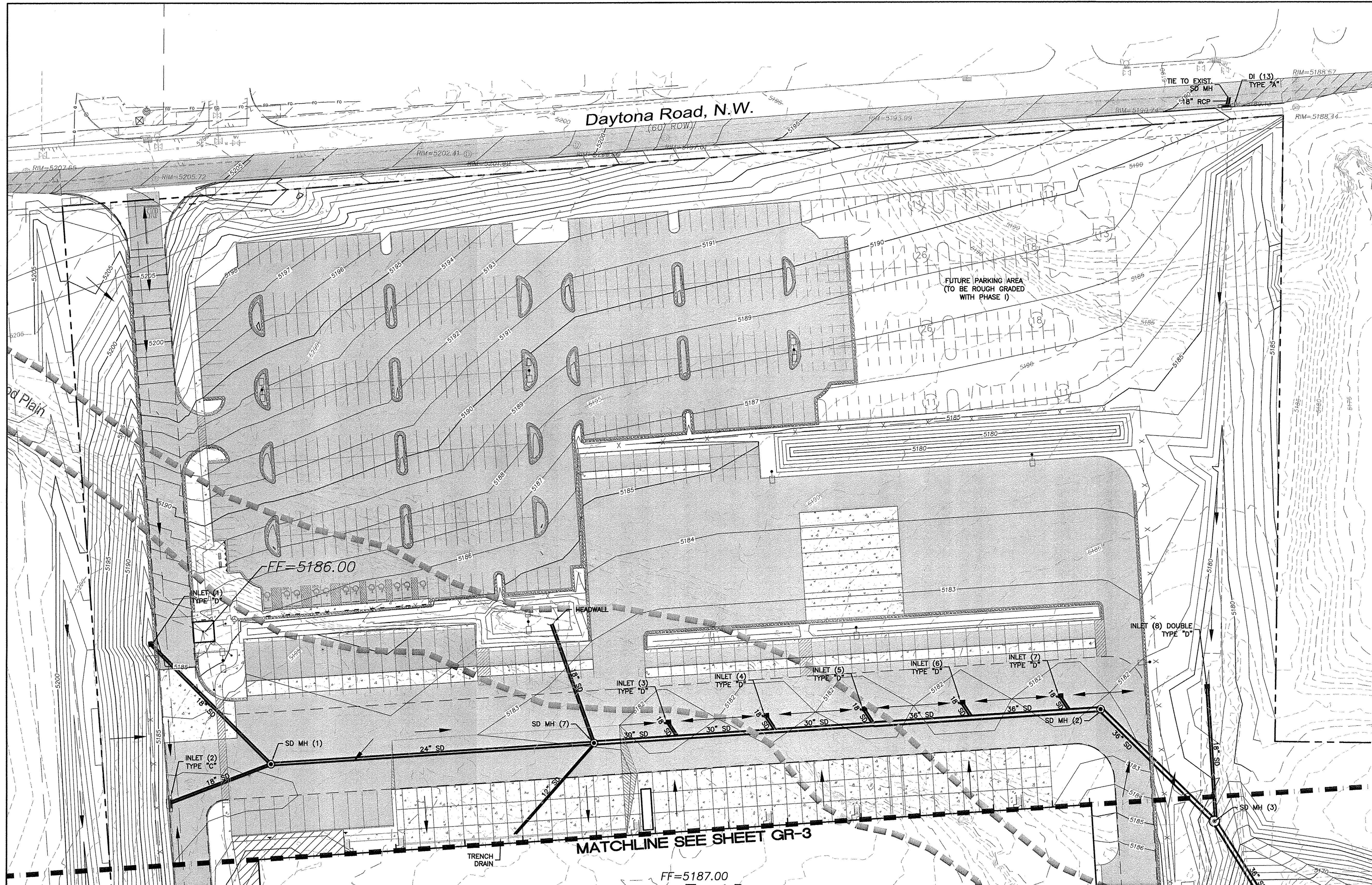
DI	TYPE	GRATE	INVERT
1	"D"	5183.00	5179.50
2	"C"	5182.50	5179.00
3	"D"	5181.60	5178.10
4	"D"	5181.60	5178.10
5	"D"	5181.60	5178.10
6	"D"	5181.60	5178.10
7	"D"	5181.60	5178.10
8	DOUBLE "D"	5177.85	5174.35
9	HEADWALL	-	5183.00
10	DOUBLE "D"	5182.80	5178.80
11	"A"	5165.29	5161.79
12	"D"	5167.50	5164.00
13	"A"	5188.93	5185.43

ENGINEER'S SEAL
RONALD R. BOHANNAN
NEW MEXICO
PROFESSIONAL ENGINEER
1988

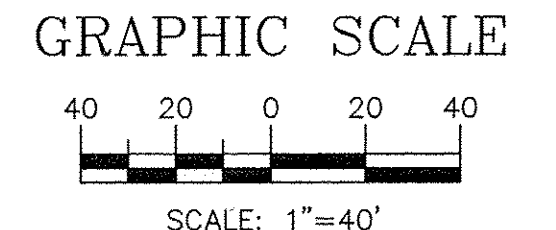
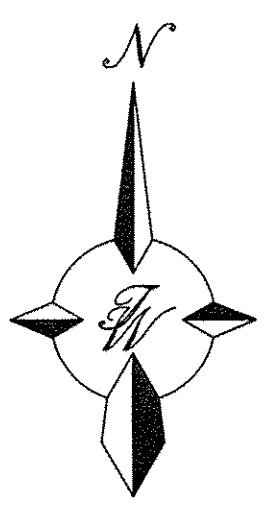
FEDEX GROUND
ALBUQUERQUE, NM
OVERALL GRADING
AND DRAINAGE PLAN

TIERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
DY
DATE
7-22-14
2013075-GRE
SHEET #
GR-1
JOB #
2013075

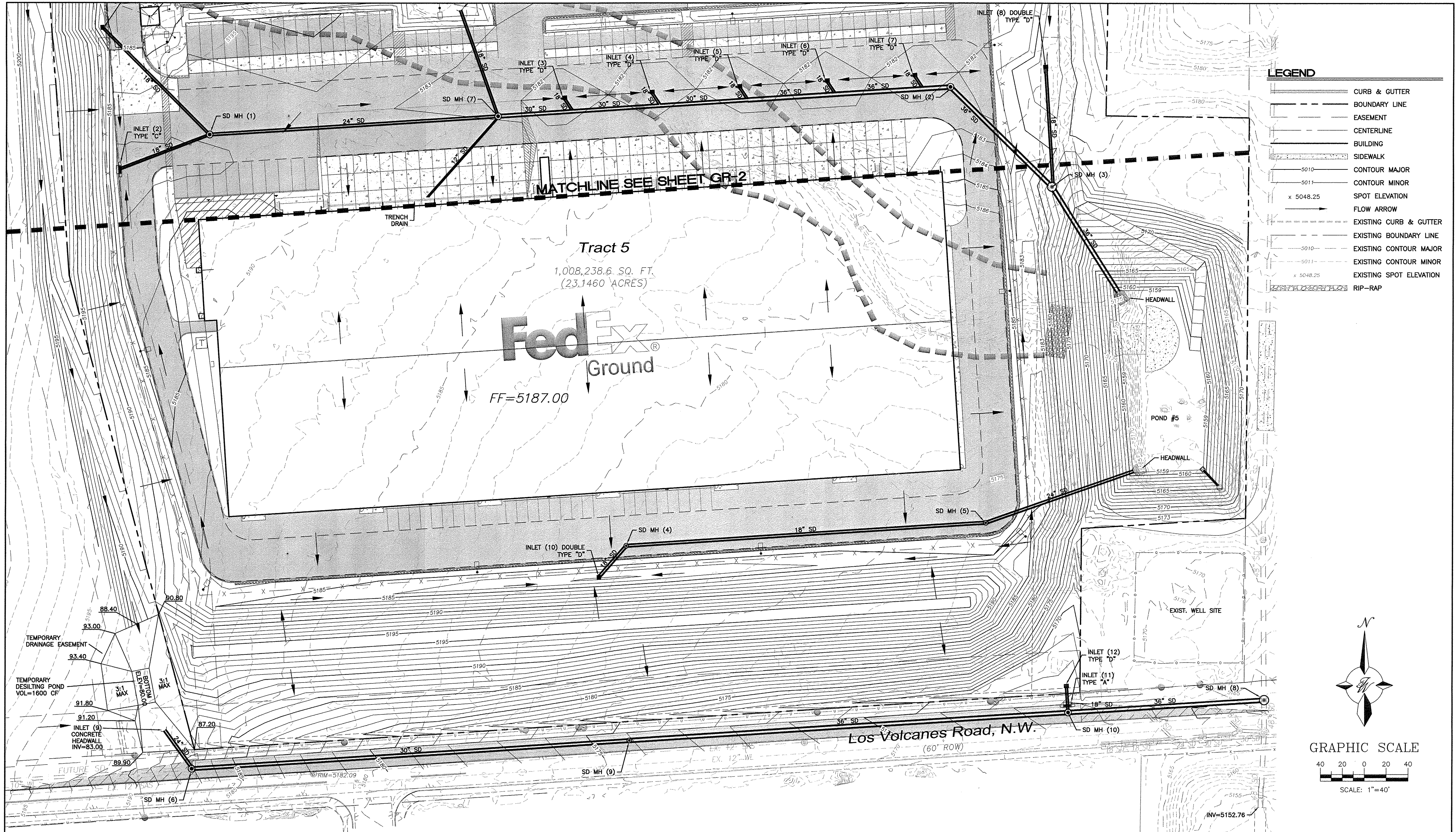


LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	RIP-RAP

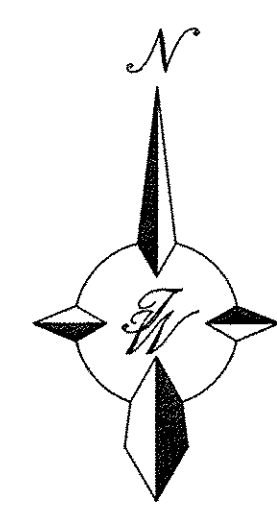


 RONALD R. BOHANNON P.E. #7868	ENGINEER'S SEAL	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
		GRADING AND DRAINAGE PLAN	DATE 7-22-14
			2013075-GRE
			SHEET # GR-2
			JOB # 2013075

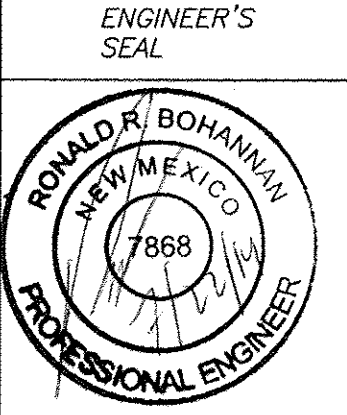
TIERRA WEST, LLC
 5571 MIDWAY PARK PLACE NE
 ALBUQUERQUE, NM 87109
 (505) 858-3100
 www.tierrawestllc.com

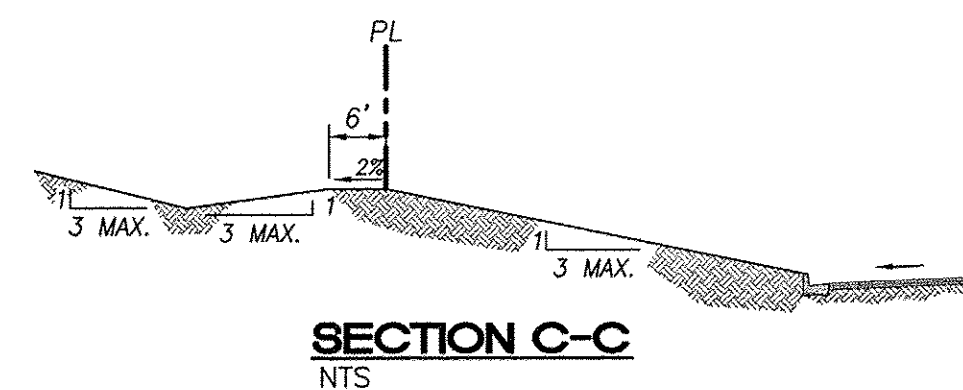
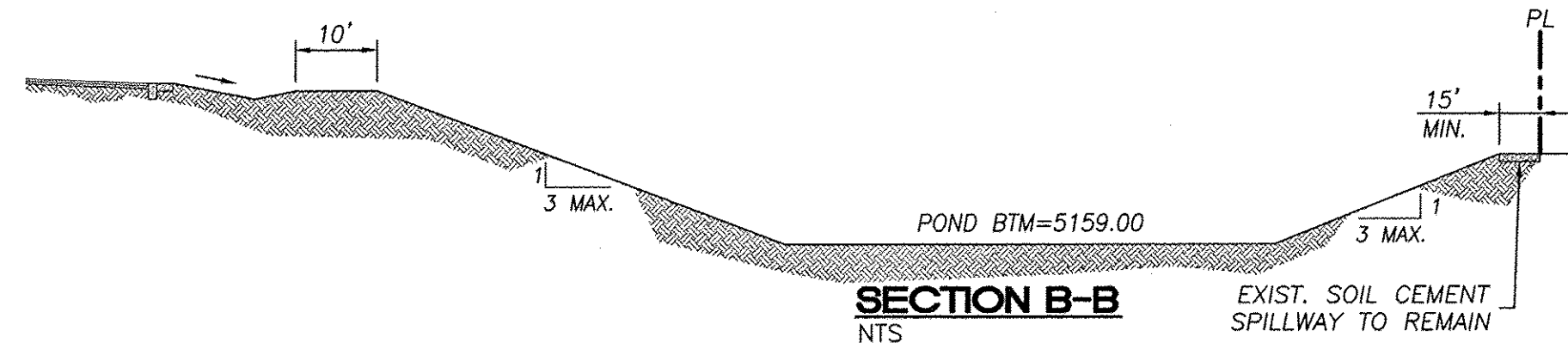
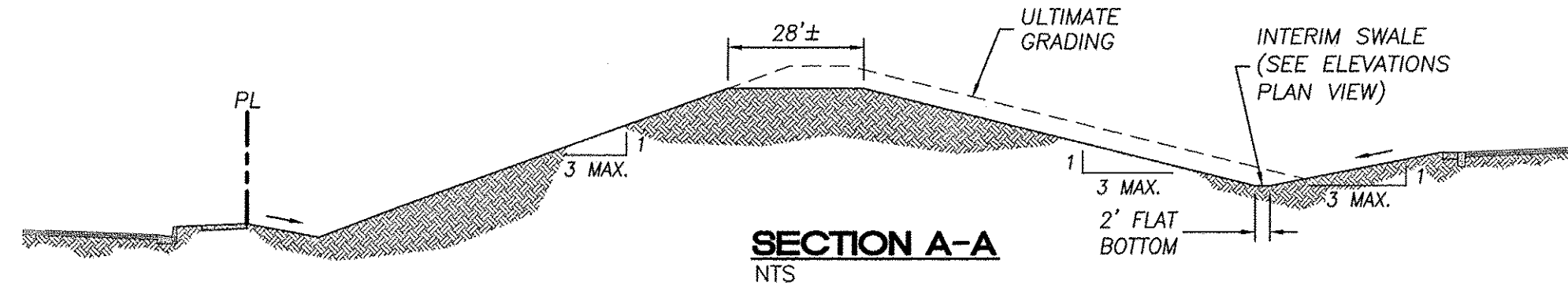
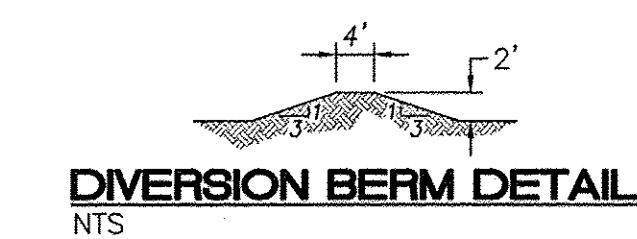
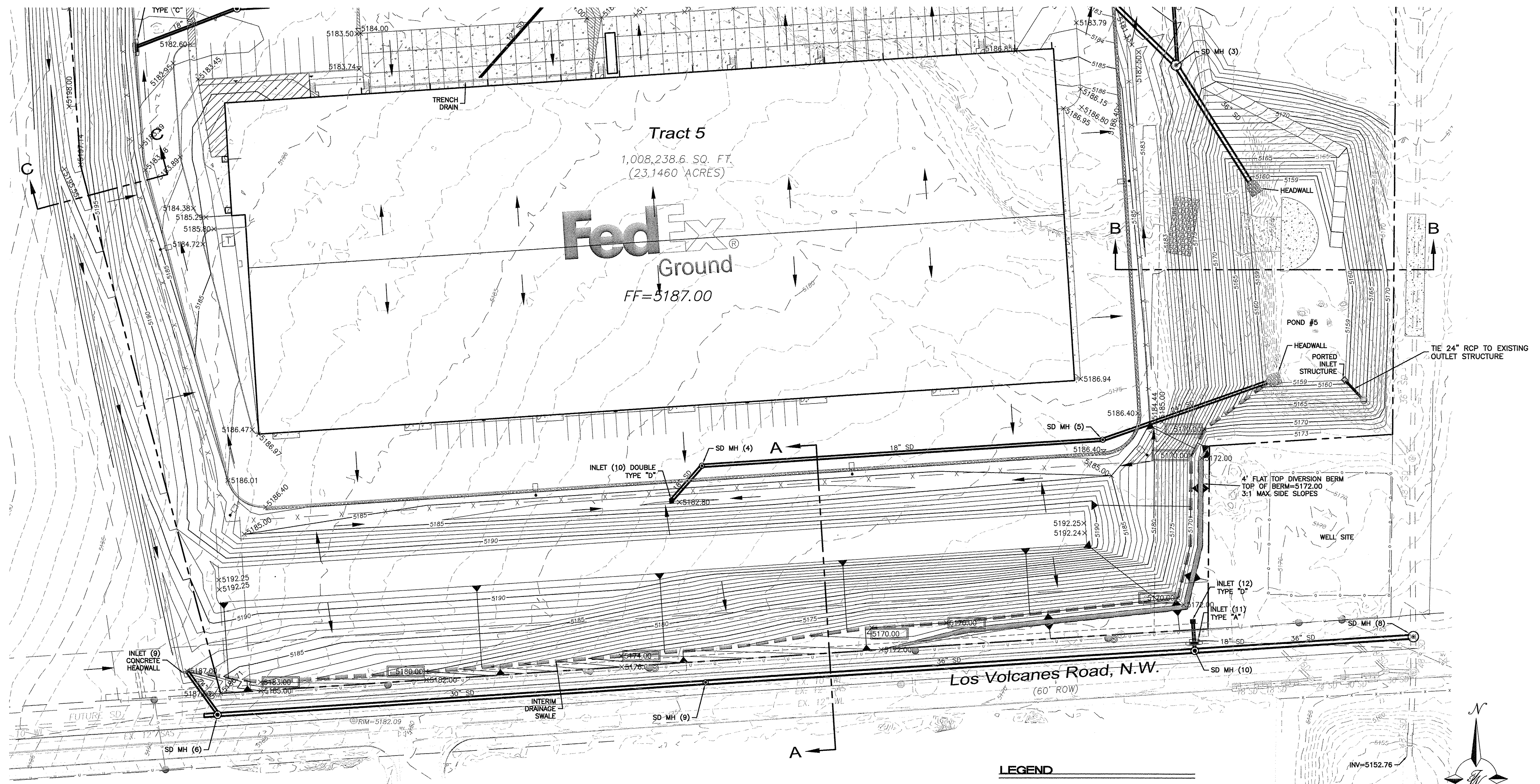


- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - BUILDING
 - SIDEWALK
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION
 - RIP-RAP



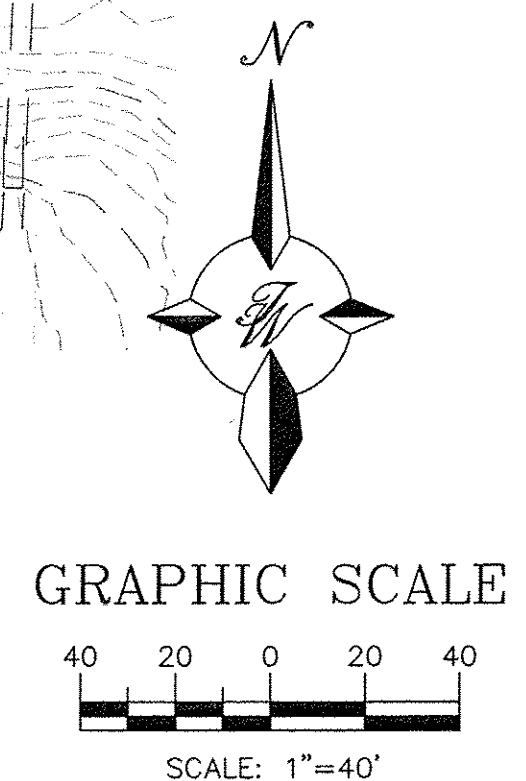
GRAPHIC SCALE
40 20 0 20 40
SCALE: 1"=40'

 RONALD R. BOHANNAN P.E. #7868	FEDEX GROUND ALBUQUERQUE, NM	ENGINEER'S SEAL	DRAWN BY DY
			DATE 7-22-14
	GRADING AND DRAINAGE PLAN		2013075-GRE
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		SHEET # GR-3
			JOB # 2013075

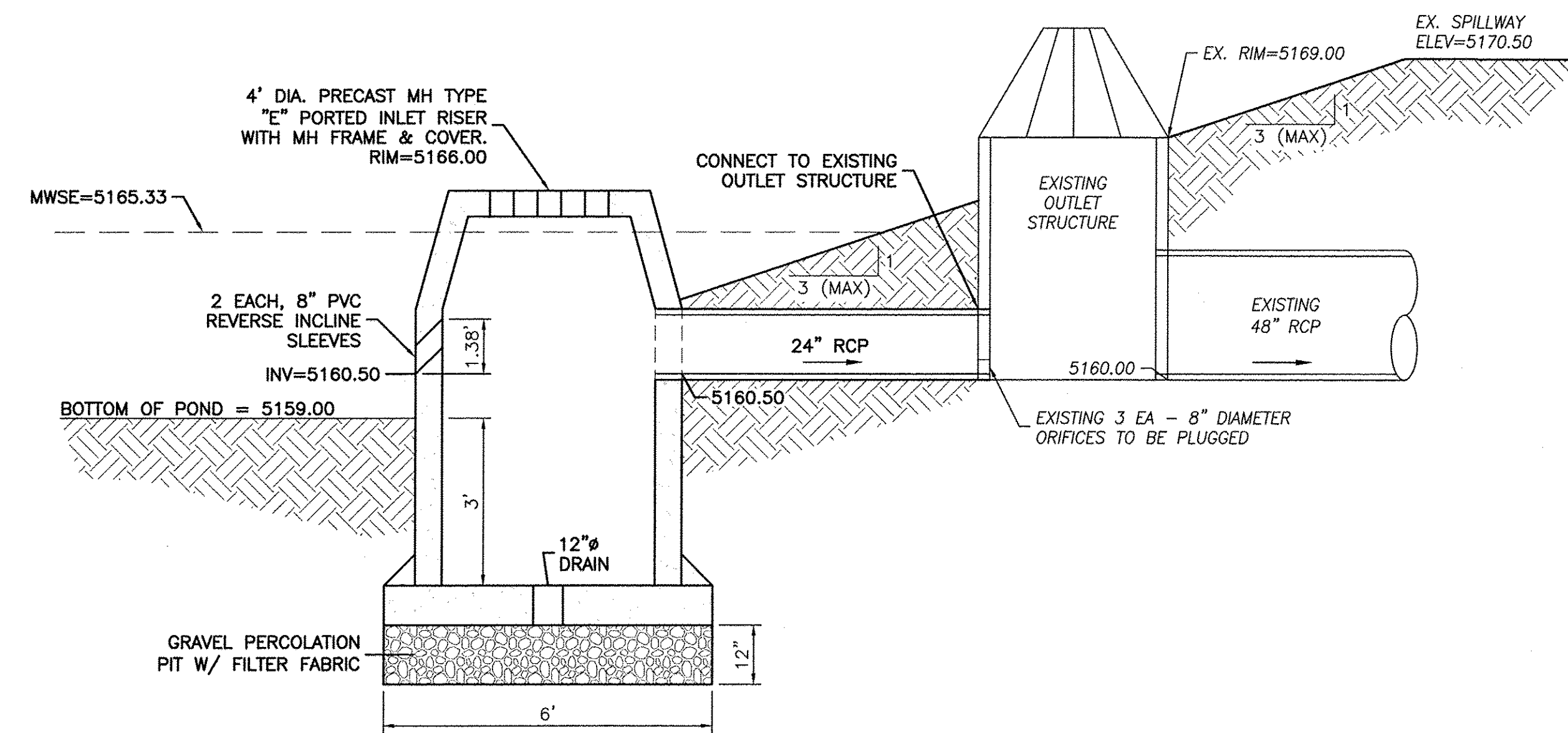


LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	BUILDING
	SIDEWALK
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	EXISTING SPOT ELEVATION
	RIP-RAP
	INTERIM SWALE ELEVATION
	INTERIM DRAINAGE SWALE

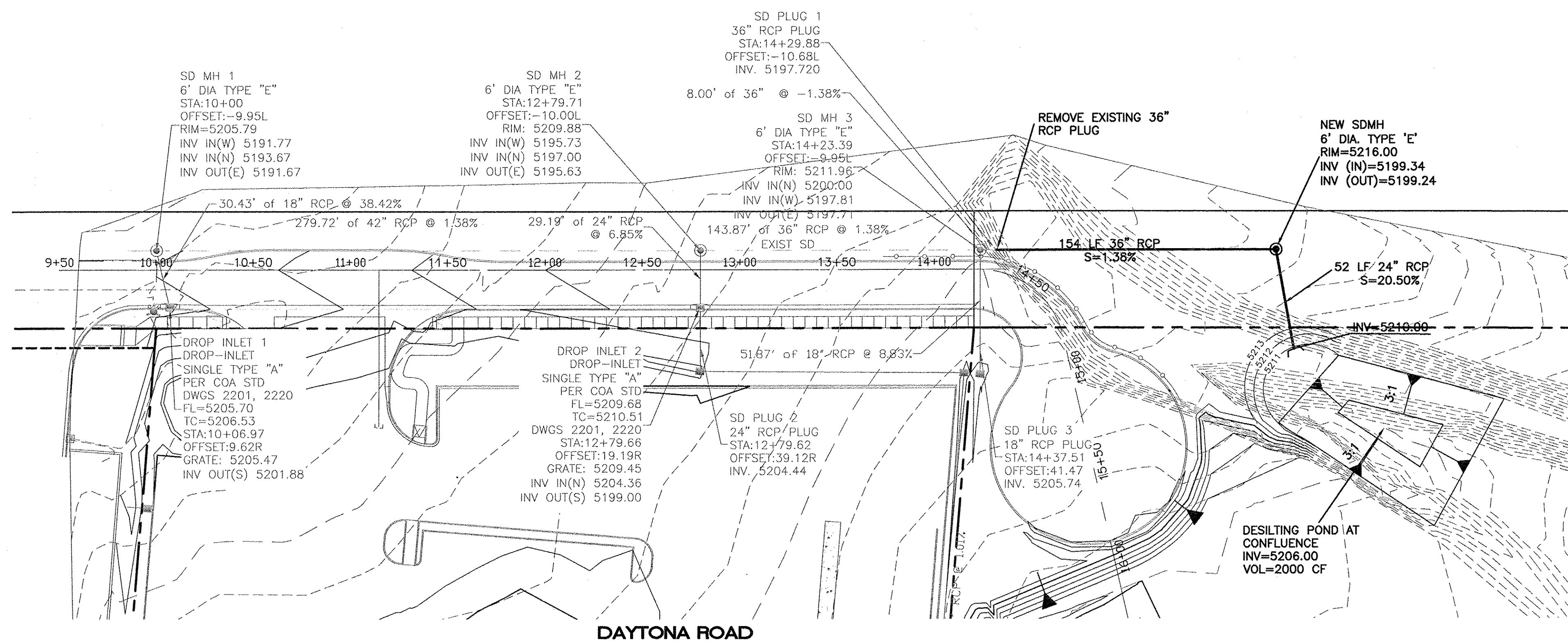


ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	FEDEX GROUND ALBUQUERQUE, NM		DRAWN BY DY
	INTERIM GRADING AND DRAINAGE PLAN		DATE 7-22-14
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		2013075-GRE-INTERIM
	SHEET # GR-4		JOB # 2013075



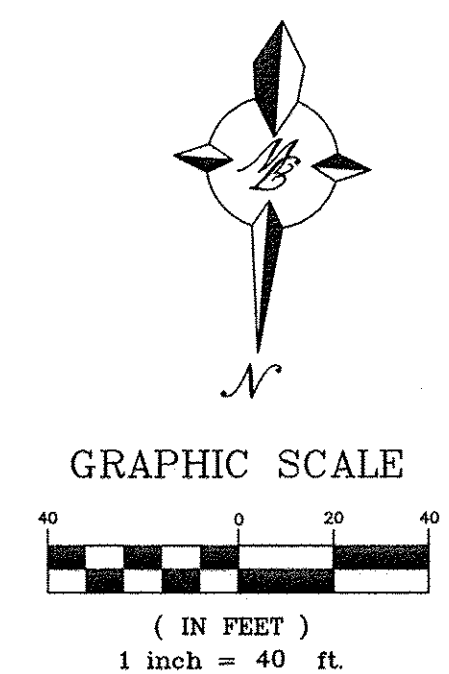
POND 5 OUTLET STRUCTURE MODIFICATION DETAIL
NTS

	ENGINEER'S SEAL	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY DY
		GRADING AND DRAINAGE DETAILS	DATE 7-22-14
			2013075-GRE
			SHEET # GR-5
RONALD R. BOHANNAN P.E. #7868	 TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2013075	



GENERAL NOTES:
1. BASIS OF STATIONING IS CENTERLINE OF DAYTONA RD.

LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE



CAUTION:
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	ENGINEER'S SEAL	FEDEX GROUND ALBUQUERQUE, NM	DRAWN BY pm
		DAYTONA RD - GRADING AND DRAINAGE IMPROVEMENTS	DATE 7-22-14
		TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2013075-DAYTONA
			SHEET # GR-6
	RONALD R. BOHANNAN P.E. #7868		JOB # 2013075