

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

July 31, 2018

Vince Carrica, P.E.
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

RE: **FedEx Fuel Station**
Daytona Rd NW
Grading Plan Stamp Date: 7/16/18
Hydrology File: K09D026C

Dear Mr. Carrica,

Based on the submittal received on 7/18/18, the grading plan is approved for Site Plan for Building Permit and Building Permit.

PO Box 1293

Prior to Certificate of Occupancy (For Information):

Albuquerque

1. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

2. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the stormwater control pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Fed Ex **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR 5A1 PLAT OF TRACTS 5-A-1 AVALON SUBDIVISION
City Address: _____

Applicant: TIERRA WEST LLC **Contact:** VINCE CARRICA
Address: 5571 MIDWAY PARK PLACE NE ALBUQUERQUE NM 87109
Phone#: 505-858-3100 **Fax#:** 505-8528-1118 **E-mail:** VCARRICA@TIERRAWESTLLC.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ DRAINAGE REPORT
____ DRAINAGE MASTER PLAN
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ STREET LIGHT LAYOUT
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 7/17/2018 **By:** VINCE CARRICA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



TIERRA WEST, LLC

July 6, 2018

Mr. Dana Peterson, P.E.
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: FEDEX FUEL STATION
DAYTONA RD NW
GRADING PLAN STAMP DATE: 5/29/18
HYDROLOGY FILE: K09D026C**

Dear Mr. Peterson:

Please find the following responses addressing your comments listed below:
Prior to Site Plan for Building Permit:

1. Include discussion of how the first flush is being retained on-site. Provide supporting calculations, drainage basin exhibits, etc. demonstrating that the area of new impervious (and redeveloped impervious, if any) will be routed to an adequately sized first flush facility.

Response: A paragraph discussing the first flush ponding was added to the grading plan. As noted in the original drainage report for the entire FedEx site, the detention pond was created with a first flush volume for all impervious areas, along with detention of developed flows. The volume of the desilting pond that will be moved to the north of the proposed fueling addition is not included in these permanent first flush and detention volumes.

2. The proposed contours do not tie-in to existing along the edges of the project limits and appear to be drawn incorrectly. Increase the density of existing and proposed contour labeling and include minor labels.

Response: Proposed contours were corrected and additional labels were added.

3. The spot elevations do not agree with the contours; it is unclear if they existing or proposed. Please differentiate the labels to specify and confirm they agree with the contour data.

Response: Proposed contours were corrected to match proposed elevations.

4. For fueling stations, demonstrate control of oil from vehicle parking areas per DPM Chapter 22.9.E, Table 1. The storm interceptor noted on sheet GR-2 appears to be intended for this, but it needs show that the parking area (around the fuel islands) is contained and drains to it. Please provide a specification for the storm interceptor and area inlets (notes B and C) as well.

Response: Run off from proposed parking areas at the fuel pumps will be routed to area inlets and through a storm interceptor and to the desilting pond that will be relocated to just north of the fuel island improvements. Ultimately, if this pond were to overflow, runoff would be routed to the detention Pond 5 (with first flush storage). If in the future they want to eliminate the desilting pond, the outfall from the Stormceptor can be routed to an existing storm drain inlet located in a landscaped area SE of the fueling area. The make and model of storm interceptor required and its capacities were added to the plan keyed note (Stormceptor, model # SC 450i). The area inlets were noted to be 2'x2' concrete inlets with traffic rated grates.

5. The excavation and repaving for the UST should be included in the limits of work/grading.

Response: The limits of work/grading were adjusted to include the UST that will be installed with this project.

6. For Information. Based on the information provided in this plan, Hydrology does not anticipate that public drainage infrastructure will be required. However an approved Conceptual Grading and Drainage plan is still required regardless of the Site Plan action: Administrative Amendment or DRB-approval.

Response: Noted.

7. If only seeking Site Plan for Building Permit approval at this time, label the grading plan "Conceptual, Not For Construction" or similar and address the SPBP comments. If seeking SPBP and Building Permit simultaneously, forgo the conceptual markings and address all SPBP and Building Permit comments.

Response: We are seeking SPBP.

8. The resubmittal fee for this drainage submittal is: \$150.

Response: Noted.

Prior to Building Permit:

9. A Drainage Covenant will be required for the stormwater quality pond(s) once identified. If the pond(s) only function as first flush pond(s) than the appropriate covenant is the Private Facility Drainage Covenant. If the pond(s) also provide a flood protection function, such as Pond 5 does, then the appropriate covenant is the Drainage Covenant (No Public Easement).

Response: Pond 5 provides a flood protection function along with functioning as a first flush pond for the impervious area of the entire site. We have prepared a drainage covenant and are working with FedEx to have it executed. A draft copy is attached for your review.

10. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.

Response: Noted.

Prior to Certificate of Occupancy:

11. Engineer's Certification, per the DPM Chapter 22.7: Engineer's Certification Checklist For Non-Subdivision is required. The submittal/resubmittal fee for the Engineer's Certification is: \$150.

Response: Noted.

12. The Private Facility Drainage Covenant must be recorded with Bernalillo County and a copy included with the Engineer's Certification.

Response: Noted.

13. Payment of Fee-in-lieu will be required for any ponding areas not constructed and certified.

Response: N/A

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Vincent Carrica', written over a horizontal line.

Vincent Carrica, PE

JN: 2018025
VPC/kw

DRAINAGE COVENANT

This Drainage Covenant ("Covenant"), between FEDEX
("Owner"), whose address is _____ and whose telephone
number is (____) _____ and the City of Albuquerque, a New Mexico municipal corporation
("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is made in
Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner signs this
Covenant.

1. Recital. Owner is the current owner of certain real property described as:
TRACT 5-A-1 AVALON SUBDIVISION UNIT 5, RECORDED ON 7/24/14, BOOK 2014C,
PAGE 74 in Bernalillo County,
New Mexico (the "Property"). (Give legal description and filing information).

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to
construct and maintain certain drainage facilities ("Drainage Facility") on the Property, and the
parties wish to enter into this Covenant to establish the obligations and responsibilities of the parties.

2. Description and Construction of Drainage Facilities. Owner shall construct the
following "Drainage Facility" within the Property at Owner's sole expense in accordance with the
standard plans and specifications approved by the City pursuant to Drainage File No. K09D026C--
EXISTING STORM DRAIN DETENTION POND WITH FIRST FLUSH RETENTION
VOLUME

_____.

The Drainage Facility is more particularly described in the attached Exhibit A. The Owner
will not permit the Drainage Facility to constitute a hazard to the health or safety of the general
public.

3. Maintenance of Drainage Facility. The Owner will maintain the Drainage Facility at
the Owner's cost in accordance with the approved Drainage Report and plans.

4. City's Right of Entry. The City has the right to enter upon the Property at any time
and perform whatever inspection, maintenance or repair of the Drainage Facility it deems
appropriate, without liability to the Owner.

5. Demand for Construction or Repair. The City may send written notice ("Notice") to
the Owner requiring the Owner to construct or repair the Drainage Facility within thirty (30) days
("Deadline") of receipt of the Notice, as provided in Section 11, and the Owner will comply
promptly with the requirements of the Notice. The Owner will perform all required work by the
Deadline, at Owner's sole expense.

6. Failure to Perform by Owner and Emergency Work by City. If the Owner fails to

comply with the terms of the Notice by the Deadline, or if the City determines that an emergency condition exists, the City may perform the work itself. The City may assess the Owner for the cost of the work and for any other expenses or damages, which result from Owner's failure to perform. The Owner agrees promptly to pay the City the amount assessed. If the Owner fails to pay the City within thirty (30) days after the City gives the Owner written notice of the amount due, the City may impose a lien against Owner's Property for the total resulting amount.

7. Liability of City for Repair after Notice or as a Result of Emergency. The City shall not be liable to the Owner for any damages resulting from the City's maintenance or repair following Notice to the Owner as required in this Covenant or in an emergency unless the damages are the result of the reckless conduct or gross negligence of the City

8. Indemnification. The Owner agrees to indemnify and save the City, its officials, agents and employees harmless from all claims, actions, suits and proceedings arising out of, or resulting from the Owner's negligent maintenance, construction, repair or use of the Drainage Facility. To the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the Owner or its agents or employees; or (2) the giving of or the failure to give directions or instructions by the Owner, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

9. Cancellation of Agreement and Release of Covenant. This Covenant may be released if the Drainage Facility is no longer required for the protection of the public health, safety and welfare by the City filing a "Notice of Release" with the Bernalillo County Clerk. The Notice of Release must be signed by the City's Chief Administrative Officer or his designee, and the approval of the City Hydrologist must be endorsed thereon.

10. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's Property for improvements to the Property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

11. Notice. For purposes of giving formal written notice to the Owner, Owner's address is:

Notice may be given to the Owner either in person or by mailing the Notice by regular U.S. mail, postage paid. Notice will be considered to have been received by the Owner within three (3) days after the Notice is mailed if there is no actual evidence of receipt. The Owner may change Owner's address by giving written notice of the change by Certified Mail-Return Receipt Requested, to City Hydrologist, P.O. Box 1293, Albuquerque, New Mexico 87103.

12. Term. This Covenant shall continue until terminated by the City pursuant to Section 9 above.

13. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on Owner, its heirs, personal representatives, assigns and successors and on Owner's Property and shall constitute covenants running with the Owner's Property until released by the City.

14. Entire Agreement. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith regarding this subject matter.

15. Changes to Agreement. Changes to this Covenant are not binding unless made in writing, signed by both parties.

16. Construction and Severability. If any part of this Covenant is held to be invalid or unenforceable, the remainder of the Covenant will remain valid and enforceable if the remainder is reasonably capable of completion.

17. Captions. The captions to the sections or paragraphs of this Covenant are not part of this Covenant and will not affect the meaning of construction of any of its provisions.

By [signature]: _____
Name [print]: _____
Title: _____
Dated: _____

By: _____
Shahab Biazar, P.E., City engineer
Dated: _____

[illegible]

This instrument was acknowledged before me on this _____ day of _____, 2018, by _____ (name of person signing permit), _____ (title of person signing permit) of _____ (Owner).

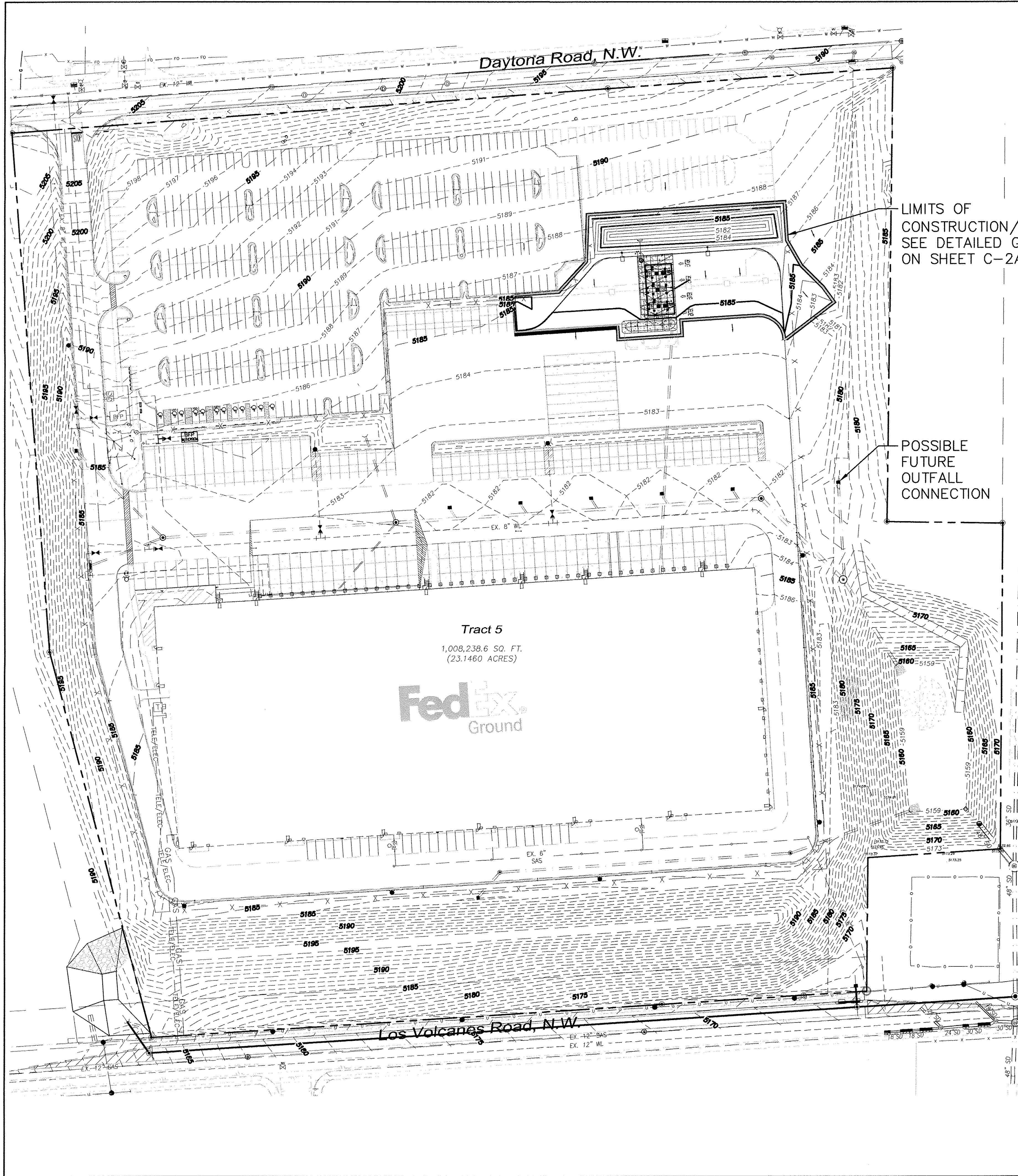
Notary Public
My Commission Expires: _____

[illegible]

This instrument was acknowledged before me on this _____ day of _____, 20__, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

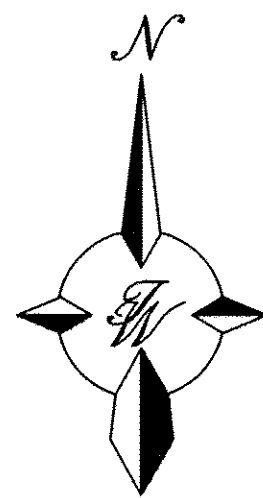
Notary Public
My Commission Expires:

4

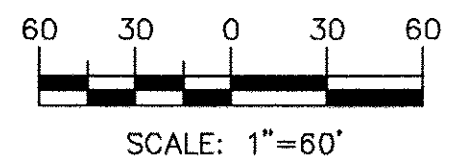


LIMITS OF CONSTRUCTION/GRADING
SEE DETAILED GRADING
ON SHEET C-2A

POSSIBLE
FUTURE
OUTFALL
CONNECTION



GRAPHIC SCALE



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- RIP-RAP

HYDROLOGY

The FedEx Ground facility located off Daytona Rd, west of Unser Blvd was completed in February of 2016. The original approved grading and drainage plan (dated 10/20/14, K09D026A) included an onsite private detention pond (Basin P-5) with an outfall to the Unser Diversion system with a maximum flow rate allowed equal to 10 cfs. The detention pond was also constructed to hold the first flush volume for all impervious areas within the entire FedEx development, including the addition of this fueling island. No increase to the detention pond volume is required. Basin A-11 of the original report contained a portion of the auto parking lot, an area designated for future parking and an area graded with a desilting pond. The desilting pond in Basin A-11 was not included in the provided volume calculation for the entire site. It was meant primarily as a means to prevent silt from the 'future parking' area from running onto the paved surface.

This desilting pond will be relocated to the north to allow for the proposed placement of a fueling island in this location. The area for the fueling island will take up a portion of what was shown on the original plan as 'future parking'. The area of impervious paving, which was accounted for in the original report will not increase as a result of this change and the runoff to the detention pond and the maximum flow rate out to the Unser Diversion System will not change.

This desilting pond will also accept flow from the parking area at the fuel islands which will first be routed through a stormceptor. If in the future the pond is removed the stormceptor outfall drain can be extended to tie to the area drainage inlet located southeast of the fueling area in an existing landscaped area (labeled 'possible future outfall connection' on this drawing).

Pipe Capacity Check

| D (in) | Slope (%) | Area (ft ²) | R | Q Provided (cfs) | Velocity (ft/s) | Q Required (cfs) |
|-----------|--------------|----------------------------|-------|---------------------|--------------------|---------------------|
| 6 | 0.685 | 0.20 | 0.125 | 0.47 | 2.39 | 0.29 |

Manning's Equation:

$$Q = 1.49 \text{ m}^3 \cdot A \cdot R^{2/3} \cdot S^{1/2}$$

A = Area

S = Slope

R = D/4

n = 0.013

Weighted E Method

Zone #1

Off Site Basins

| Basin | Area (sf) | Area (acres) | Area (sq miles) | Treatment A | | Treatment B | | Treatment C | | Treatment D | | 100-Year | | |
|-------------------|--------------|-----------------|--------------------|-------------|---------|-------------|---------|-------------|---------|-------------|---------|-----------------------|-------------------|-------------|
| | | | | % | (acres) | % | (acres) | % | (acres) | % | (acres) | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs |
| A-11 Exist | 129,032 | 2.962 | 0.00463 | 0% | 0 | 0% | 0.000 | 25% | 0.74 | 75% | 2.22 | 1.725 | 0.426 | 11.83 |
| A-11 Revised | 129,032 | 2.962 | 0.00463 | 0% | 0 | 0% | 0.000 | 28% | 0.83 | 72% | 2.13 | 1.696 | 0.419 | 11.70 |
| Fuel Island Apron | 2,860 | 0.066 | 0.00010 | 0% | 0 | 0% | 0.000 | 0% | 0.00 | 100% | 0.07 | 1.970 | 0.011 | 0.29 |

Equations:

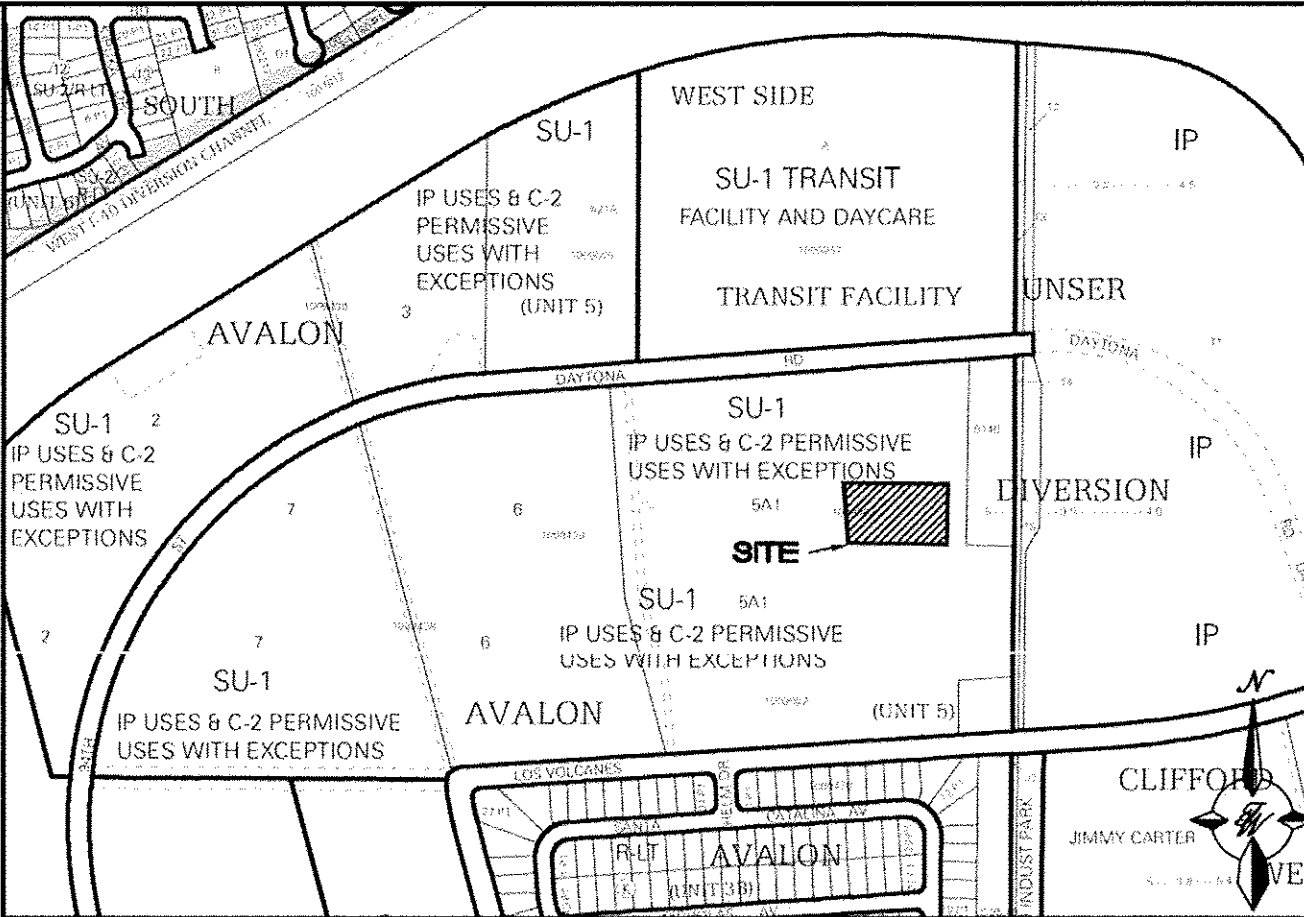
$$\text{Weighted E} = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$$

$$\text{Volume} = \text{Weighted D} \cdot \text{Total Area}$$

$$\text{Flow} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$$

FIRST FLUSH PONDING

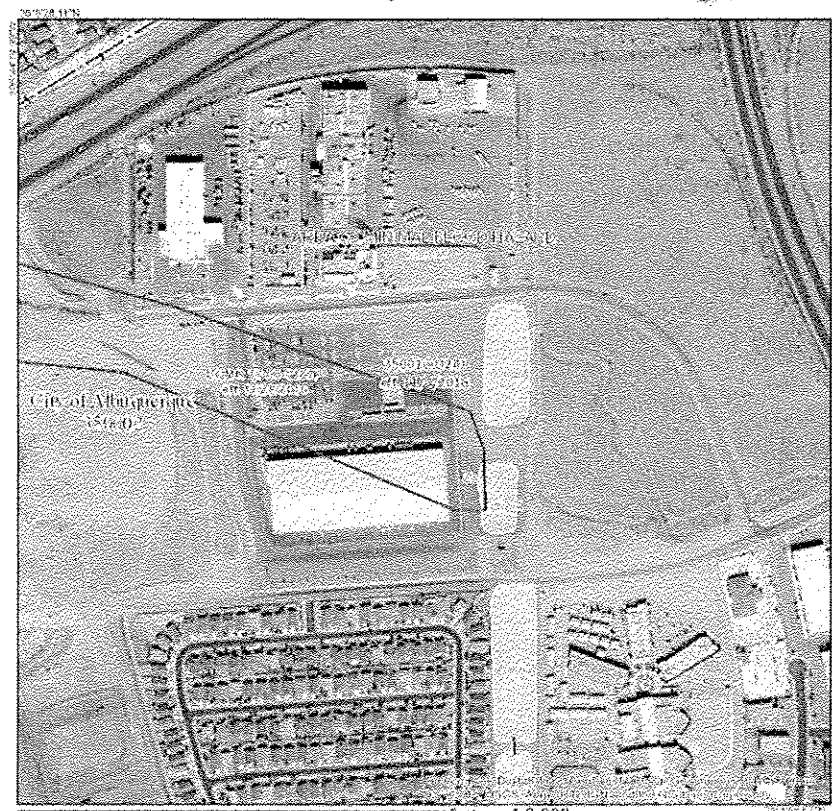
Overall site impervious area=565,385sf
First Flush pond volume required=18,019ft³
Pond Bottom=5159.00; 10,906ft²=Area
Pond Outfall=5160.50; 13,167ft²=Area
First Flush Volume=18,055ft³>Required



VICINITY MAP:

J-9-Z AND K-9-Z

National Flood Hazard Layer FIRMette



FIRM MAP:

35001C0328H

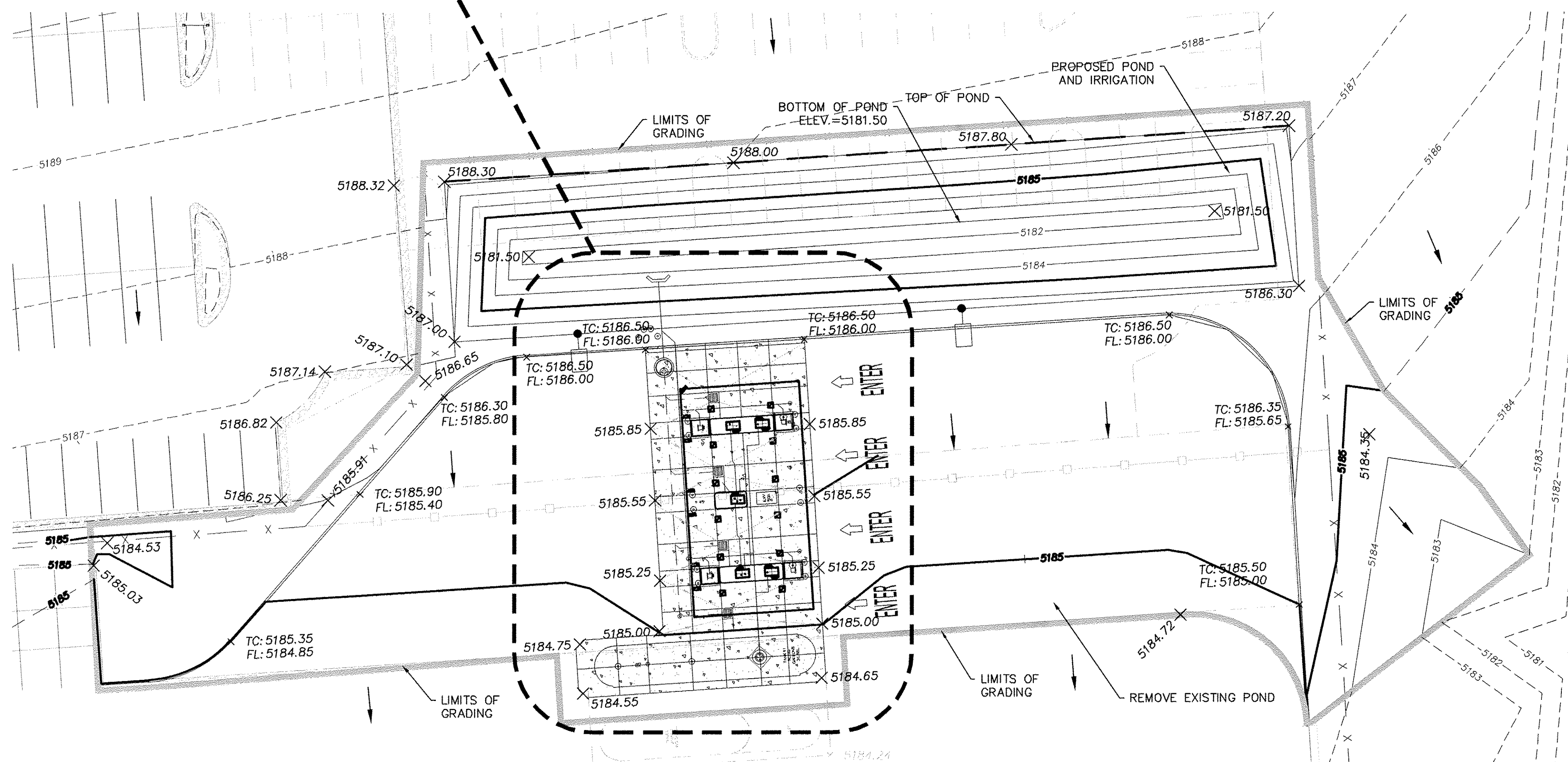
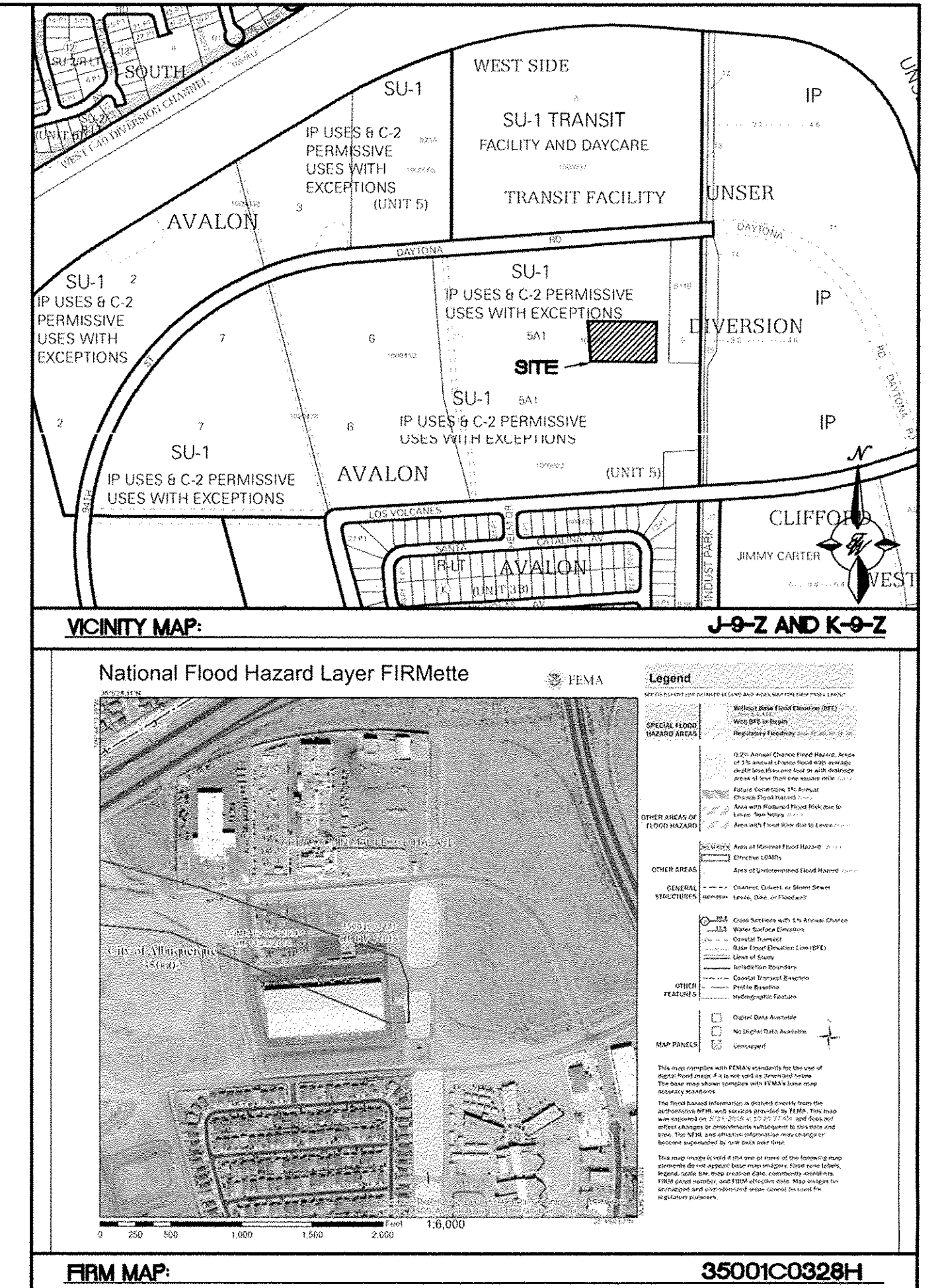
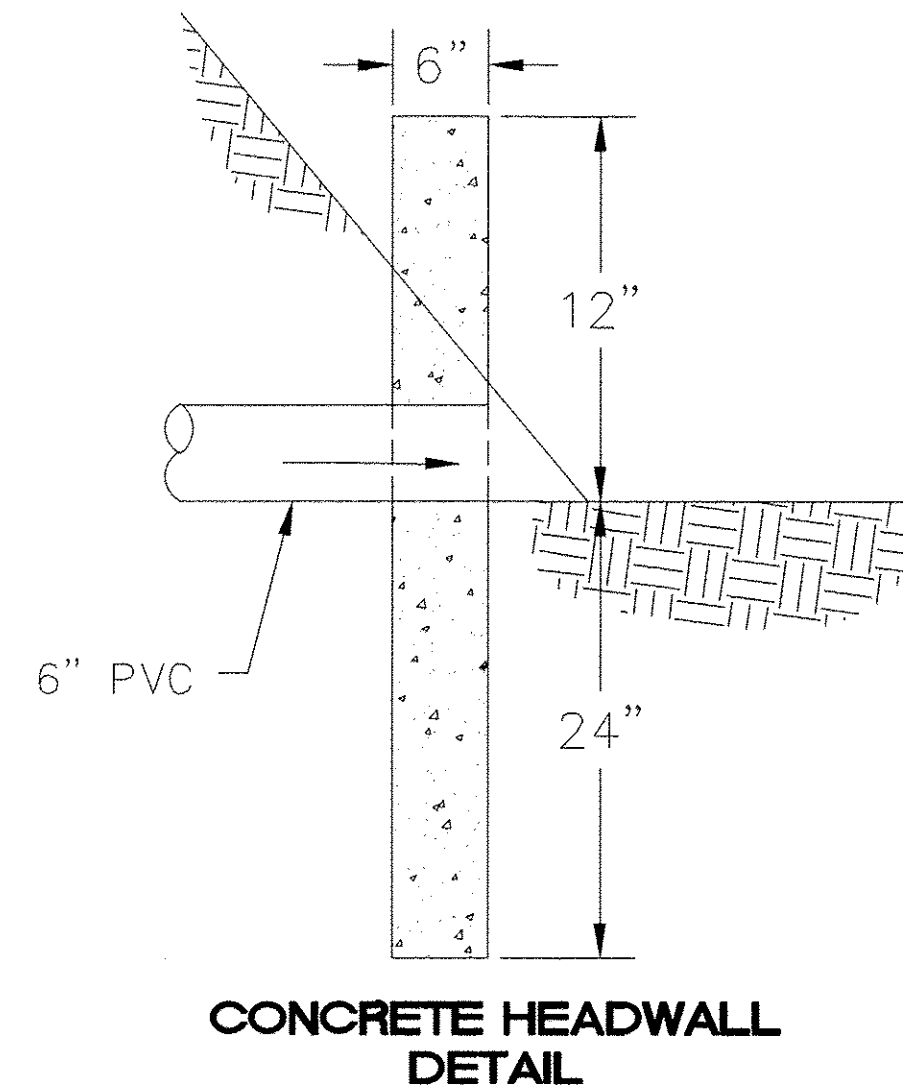
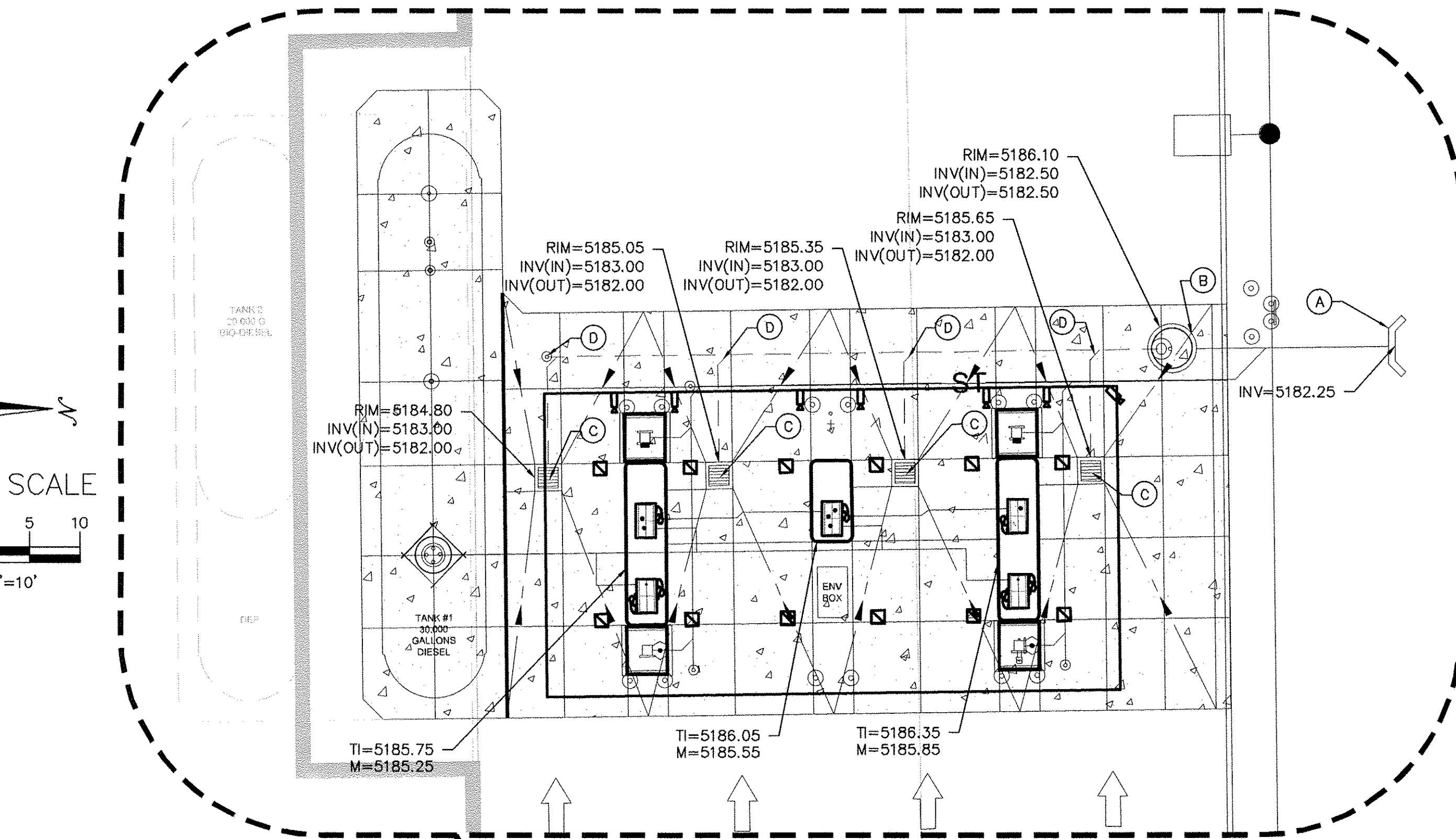
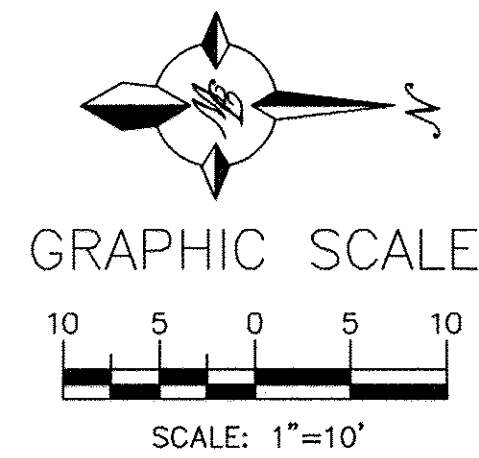
ENGINEER'S SEAL

RONALD R. BOHANNAN
P.E. #7868

FEDEX GROUND
ALBUQUERQUE, NM
OVERALL GRADING
AND DRAINAGE PLAN

TERRA WEST, LLC
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
(505) 858-3100
www.tierrowestllc.com

DRAWN BY
LA
DATE
05/22/2018
2018025-BASE-GR
SHEET #
GR-1
JOB #
2018025

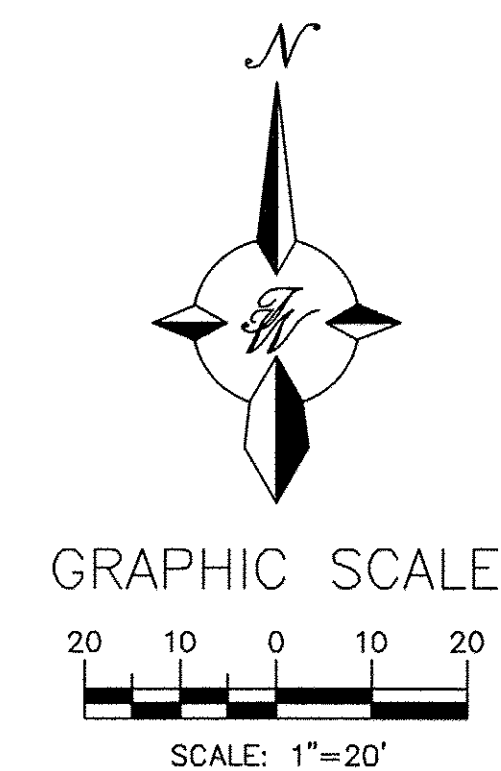


KEYED NOTES

- (A) HEAD WALL
- (B) STORM INTERCEPTOR (STORMCEPTOR MODEL STC 450I, SINGLE INLET, INLINE, TOTAL STORAGE VOLUME=470GAL HYDROCARBON STORAGE CAPACITY=86GAL MAXIMUM SEDIMENT CAPACITY=46FT³)
- (C) CONC. AREA INLET (2'x2' W/TRAFFIC RATED GRATES)
- (D) 6" PVC STORM DRAIN @ 0.69% SLOPE (TYP.)

LEGEND

| | |
|--|-------------------------|
| | CURB & GUTTER |
| | CONCRETE SLAB |
| | SPOT ELEVATION |
| | FLOW ARROW |
| | EXISTING CURB & GUTTER |
| | EXISTING BOUNDARY LINE |
| | EXISTING CONTOUR MAJOR |
| | EXISTING CONTOUR MINOR |
| | EXISTING SPOT ELEVATION |
| | RIP-RAP |
| | TOP OF ISLAND |
| | TOP OF CONCRETE MAT |



| | | |
|-----------------|--|------------------|
| ENGINEER'S SEAL | FEDEX GROUND ALBUQUERQUE, NM DETAIL GRADING PLAN | DRAWN BY LA |
| | | DATE 7/5/2018 |
| | | 2018025-BASE-GR |
| | | SHEET # GR-2 |
| | | JOB # 2018025 |