

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 21, 2018

Vince Carrica, P.E.
Tierra West, LLC
5571 Midway Park Place, NE
Albuquerque, NM 87109

RE: **FedEx Fuel Station**
Daytona Rd NW
Grading Plan Stamp Date: 5/29/18
Hydrology File: K09D026C

Dear Mr. Carrica,

Based on the information provided in your submittal received on 5/31/18, the grading plan cannot be approved for Site Plan for Building Permit or Building Permit until the following are corrected:

Prior to Site Plan for Building Permit:

1. Include discussion of how the first flush is being retained on-site. Provide supporting calculations, drainage basin exhibits, etc demonstrating that the area of new impervious (and redeveloped impervious, if any) will be routed to an adequately sized first flush facility.
2. The proposed contours do not tie-in to existing along the edges of the project limits and appear to be drawn incorrectly. Increase the density of existing and proposed contour labeling and include minor labels.
3. The spot elevations do not agree with the contours; it is unclear if they are existing or proposed. Please differentiate the labels to specify and confirm they agree with the contour data.
4. For fueling stations, demonstrate *control of oil from vehicle parking areas* per DPM Chapter 22.9.E, Table 1. The storm interceptor noted on sheet GR-2 appears to be intended for this, but it needs show that the parking area (around the fuel islands) is contained and drains to it. Please provide a specification for the storm interceptor and area inlets (notes B and C) as well.
5. The excavation and repaving for the UST should be included in the limits of work/grading.
6. For Information. Based on the information provided in this plan, Hydrology does not anticipate that public drainage infrastructure will be required. However an approved

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Conceptual Grading and Drainage plan is still required regardless of the Site Plan action: Administrative Amendment or DRB-approval.

7. If only seeking Site Plan for Building Permit approval at this time, label the grading plan “Conceptual, Not For Construction” or similar and address the SPBP comments. If seeking SPBP and Building Permit simultaneously, forgo the conceptual markings and address all SPBP and Building Permit comments.
8. The resubmittal fee for this drainage submittal is: \$150.

Prior to Building Permit:

9. A Drainage Covenant will be required for the stormwater quality pond(s) once identified. If the pond(s) only function as first flush pond(s) than the appropriate covenant is the [Private Facility Drainage Covenant](#). If the pond(s) also provide a flood protection function, such as Pond 5 does, then the appropriate covenant is the [Drainage Covenant \(No Public Easement\)](#).
10. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.

PO Box 1293

Albuquerque

Prior to Certificate of Occupancy:

NM 87103

www.cabq.gov

11. Engineer’s Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required. The submittal/resubmittal fee for the Engineer’s Certification is: \$150.
12. The Private Facility Drainage Covenant must be recorded with Bernalillo County and a copy included with the Engineer’s Certification.
13. Payment of Fee-in-Lieu will be required for any ponding areas not constructed and certified.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

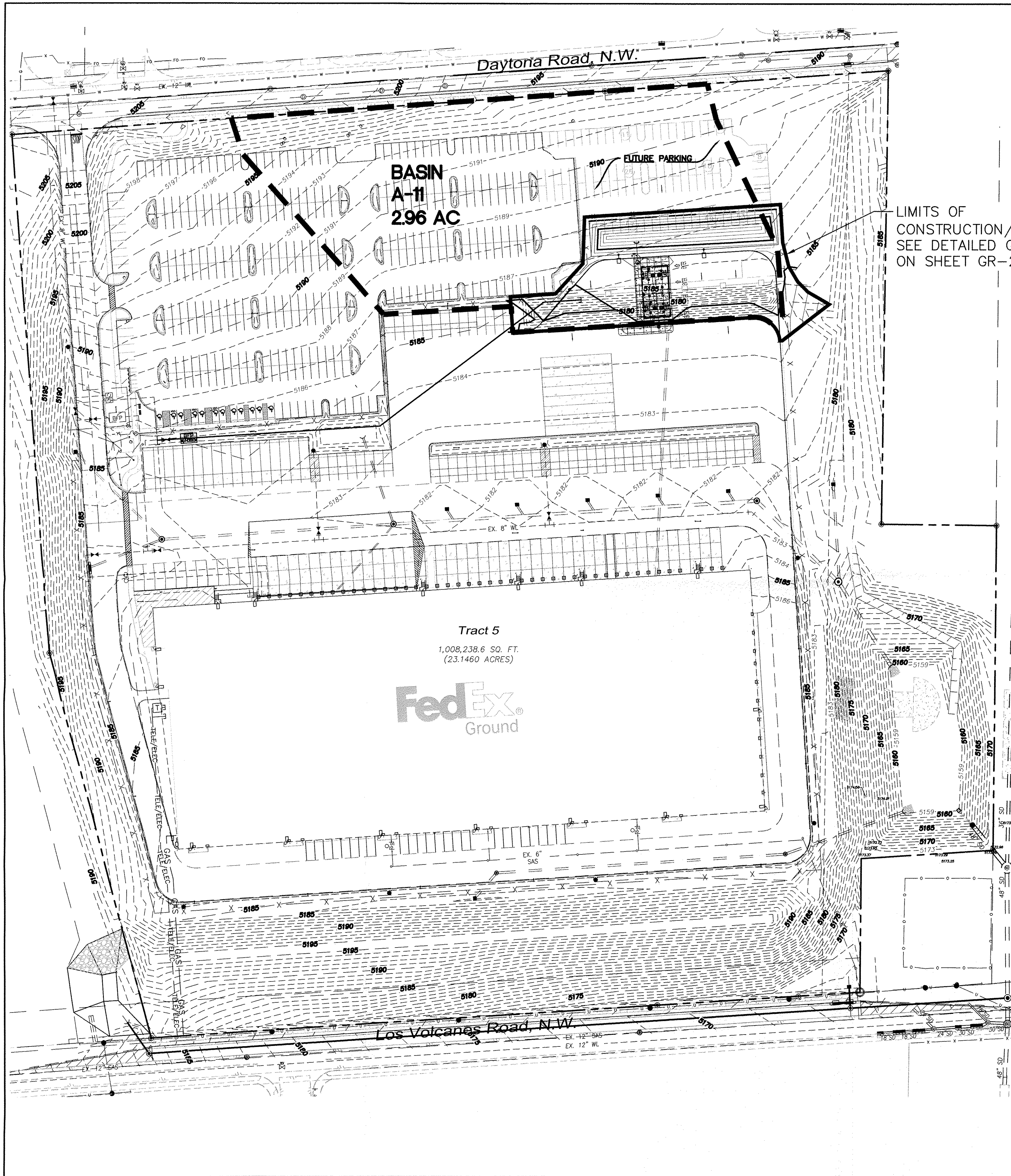
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

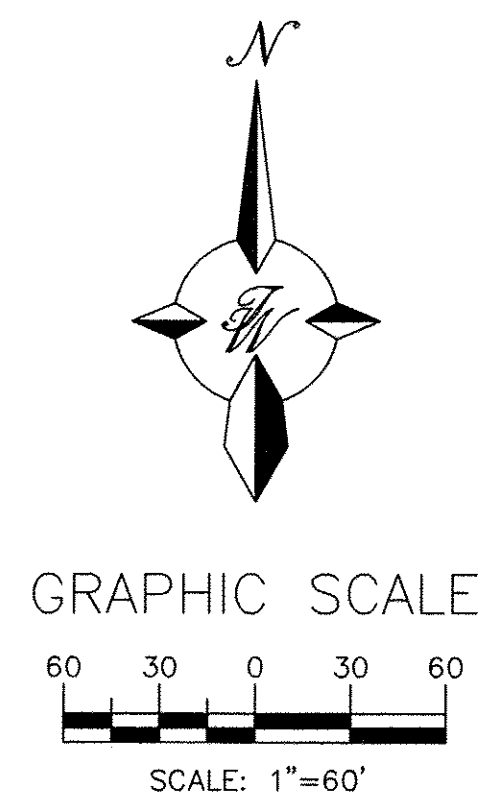
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LIMITS OF
CONSTRUCTION/GRADING
SEE DETAILED GRADING
ON SHEET GR-2



LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- RIP-RAP

HYDROLOGY

The FedEx Ground facility located off Daytona Rd, west of Unser Blvd was completed in February of 2016. The original approved grading and drainage plan (dated 10/20/14, K09D026A) included an onsite private detention pond (Basin P-5) with an outfall to the Unser Diversion system with a maximum flow rate allowed equal to 10 cfs. Basin A-11 of the original report contained a portion of the auto parking lot, an area designated for 'future parking' and an area graded with a desilting pond. The desilting pond in Basin A-11 was not included in the provided volume calculation for the entire site. It was meant primarily as a means to prevent silt from the 'future parking' area from running onto the paved surface.

This desilting pond will be relocated to the north to allow for the proposed placement of a fueling island in this location. The area for the fueling island will take up a portion of what was shown on the original plan as 'future parking'. The area of impervious paving, which was accounted for in the original report will not increase as a result of this change and the runoff to the detention pond and the maximum flow rate out to the Unser Diversion System will not change.

Pipe Capacity Check

| D | Slope | Area | R | Q Provided | Velocity | Q Required |
|------|-------|--------------------|-------|------------|----------|------------|
| (in) | (%) | (ft ²) | | (cfs) | (ft/s) | (cfs) |
| 6 | 0.685 | 0.20 | 0.125 | 0.47 | 2.39 | 0.29 |

Manning's Equation:

$$Q = 1.49/n \cdot A \cdot R^{2/3} \cdot S^{1/2}$$

$$A = \text{Area}$$
$$R = D/4$$
$$S = \text{Slope}$$
$$n = 0.013$$

Weighted E Method

Zone #1 Off Site Basins

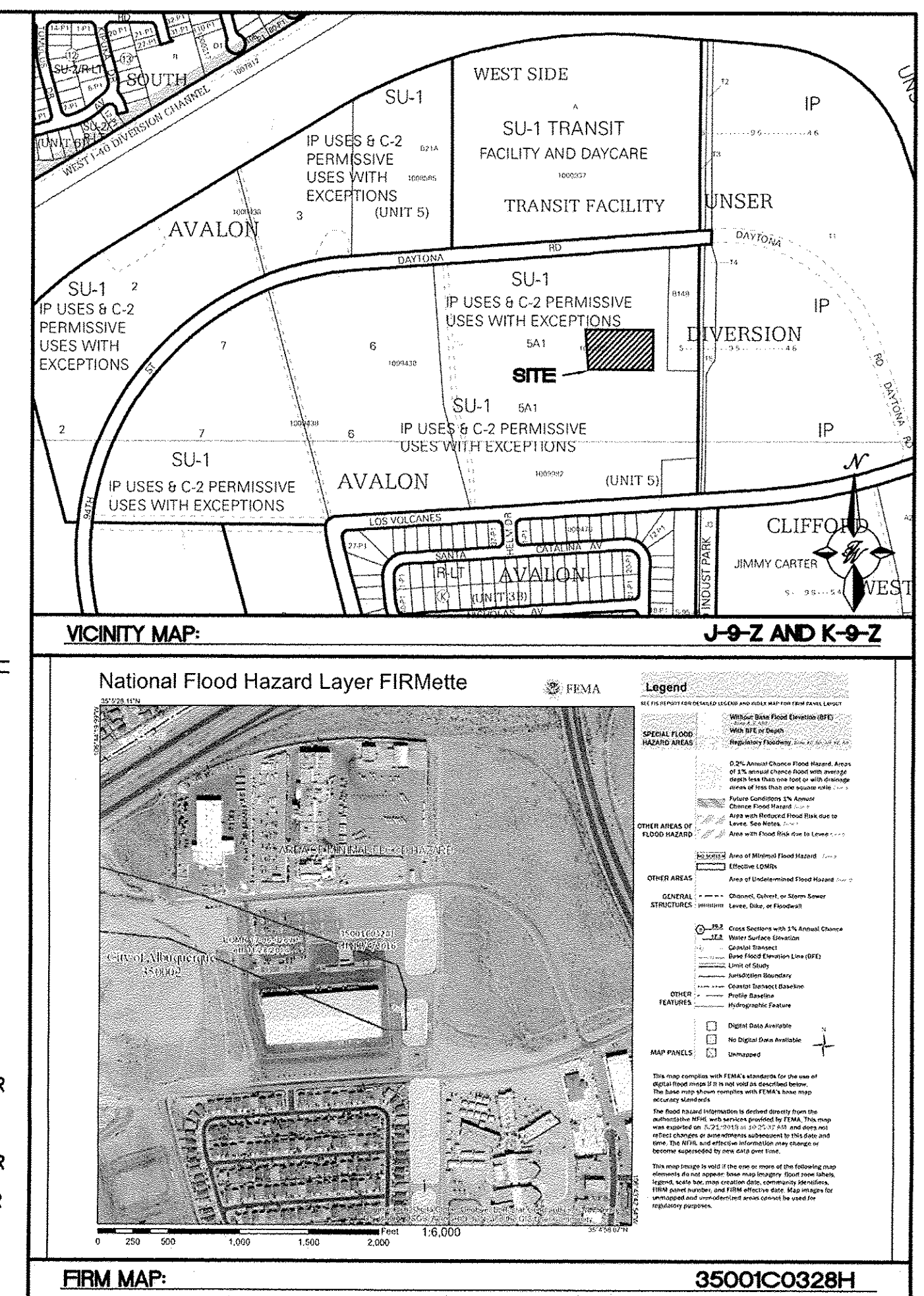
| Basin | Area (sf) | Area (acres) | Area (sq miles) | Treatment A | | Treatment B | | Treatment C | | Treatment D | | 100-Year | | |
|-------------------|--------------|-----------------|--------------------|-------------|---------|-------------|---------|-------------|---------|-------------|---------|-----------------------|-------------------|-------------|
| | | | | % | (acres) | % | (acres) | % | (acres) | % | (acres) | Weighted E (ac-ft) | Volume (ac-ft) | Flow cfs |
| A-11 Exist | 129,032 | 2.962 | 0.00463 | 0% | 0 | 0% | 0.000 | 25% | 0.74 | 75% | 2.22 | 1.725 | 0.426 | 11.83 |
| A-11 Revised | 129,032 | 2.962 | 0.00463 | 0% | 0 | 0% | 0.000 | 28% | 0.83 | 72% | 2.13 | 1.696 | 0.419 | 11.70 |
| Fuel Island Apron | 2,860 | 0.066 | 0.00010 | 0% | 0 | 0% | 0.000 | 0% | 0.00 | 100% | 0.07 | 1.970 | 0.011 | 0.29 |

Equations:

$$\text{Weighted E} = E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$$

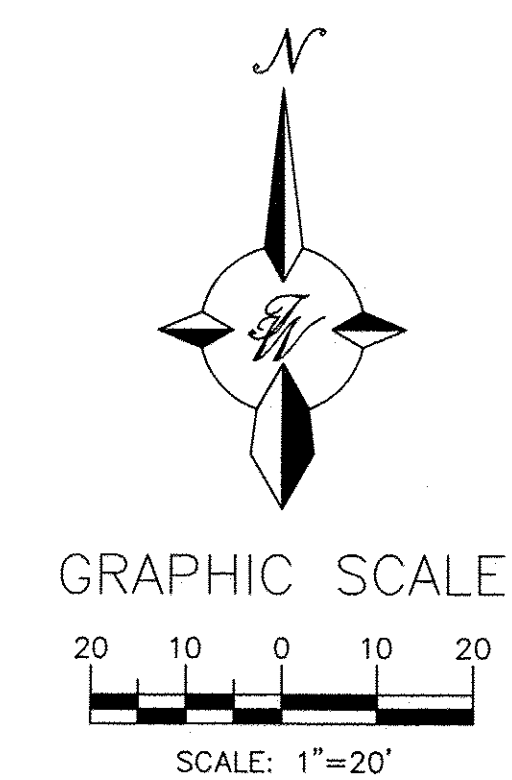
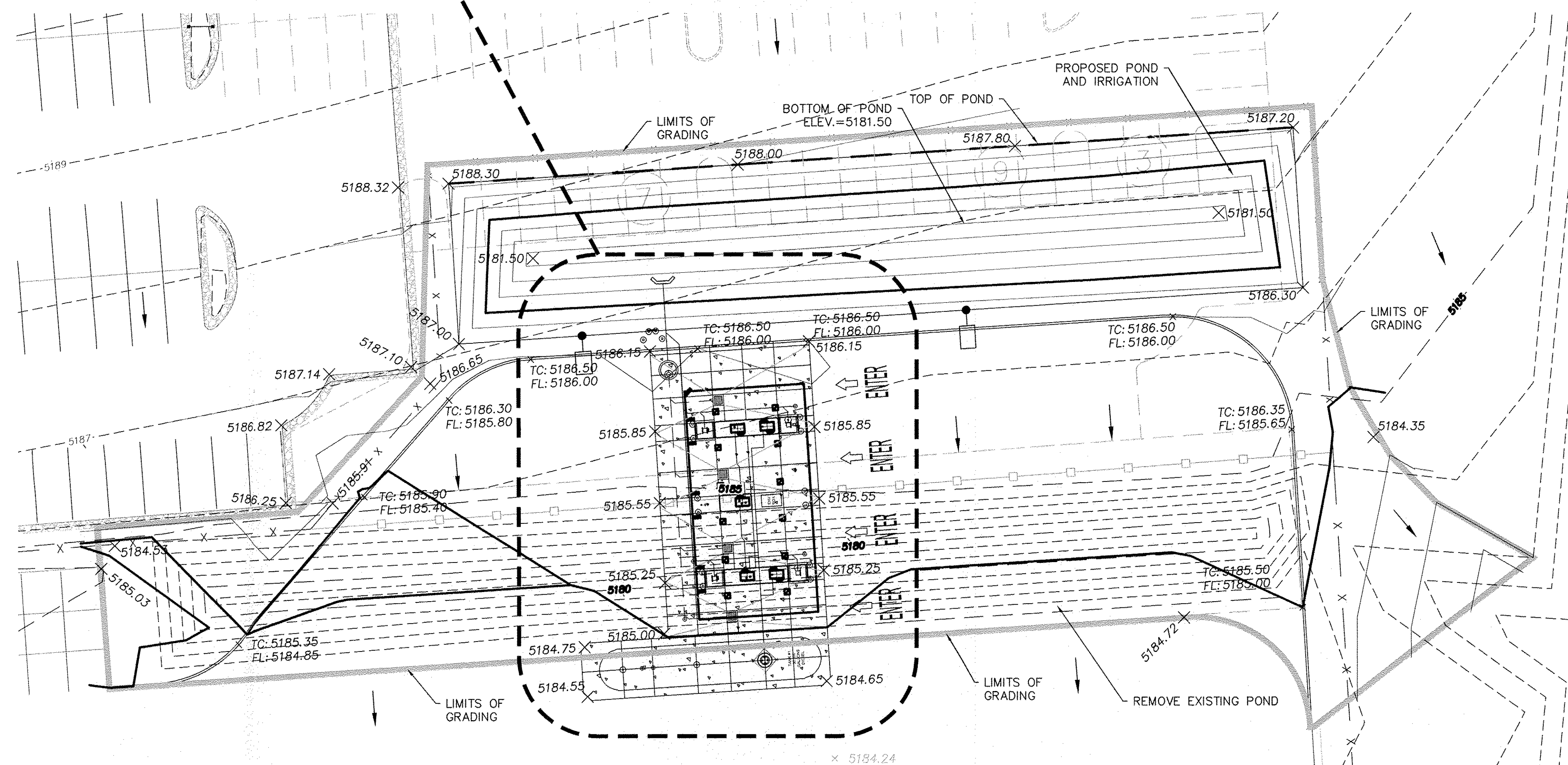
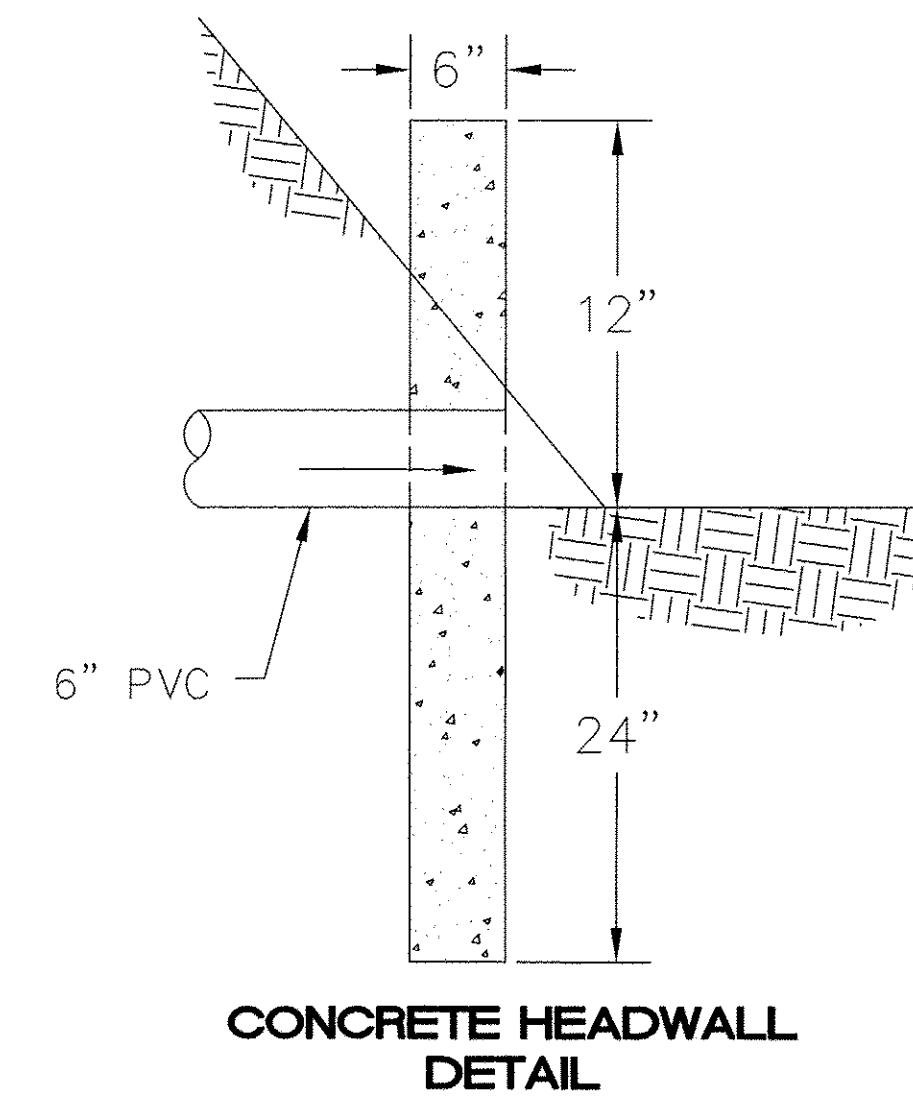
$$\text{Volume} = \text{Weighted E} \cdot \text{Total Area}$$



$$\text{Flow} = Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$$



FIRM MAP: 35001C0328H

| | | |
|--|--|------------------------|
| | FEDEX GROUND ALBUQUERQUE, NM | DRAWN BY LA |
| | OVERALL GRADING AND DRAINAGE PLAN | DATE 05/22/2018 |
| | TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com | 2018025-BASE-GR |
| | | SHEET # GR-1 |
| | | JOB # 2018025 |



| | | |
|---|--|--|
| <p>ENGINEER'S SEAL</p> | <p>FEDEX GROUND ALBUQUERQUE, NM</p> | <p>DRAWN BY LA</p> |
|  | <p>DETAIL GRADING PLAN</p> | <p>DATE 5/22/2018</p> |
| <p>RONALD R. BOHANNAN P.E. #7868</p> | <div data-bbox="2539 1821 2823 1874">  <p>TERRA WEST, LLC</p> </div> <p>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com</p> | <p>2018025--BASE--GR</p> <p>SHEET # GR-2</p> <p>JOB # 2018025</p> |