# CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

March 15, 2024

Colleen M. Ruiz, PE Stantec 733 Marquette Avenue Suite 1000 Minneapolis MN 55402-2309

### RE: Oppidan 10MW DC – Daytona Rd NW Conceptual Grading and Drainage Plans Engineer's Stamp Date: 03/08/24 Hydrology File: K09D026D

PRIOR TO BUILDING PERMIT / WORK ORDER:

Transportation Information Sheet.

Dear Ms. Ruiz:

PO Box 1293 Based upon the information provided in your submittal received 03/08/2024, the Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

Albuquerque

NM 87103

As a reminder, if the

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, <u>jhughes@cabq.gov</u>, 924-3420) 14 days prior to any earth disturbance.

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and

approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department



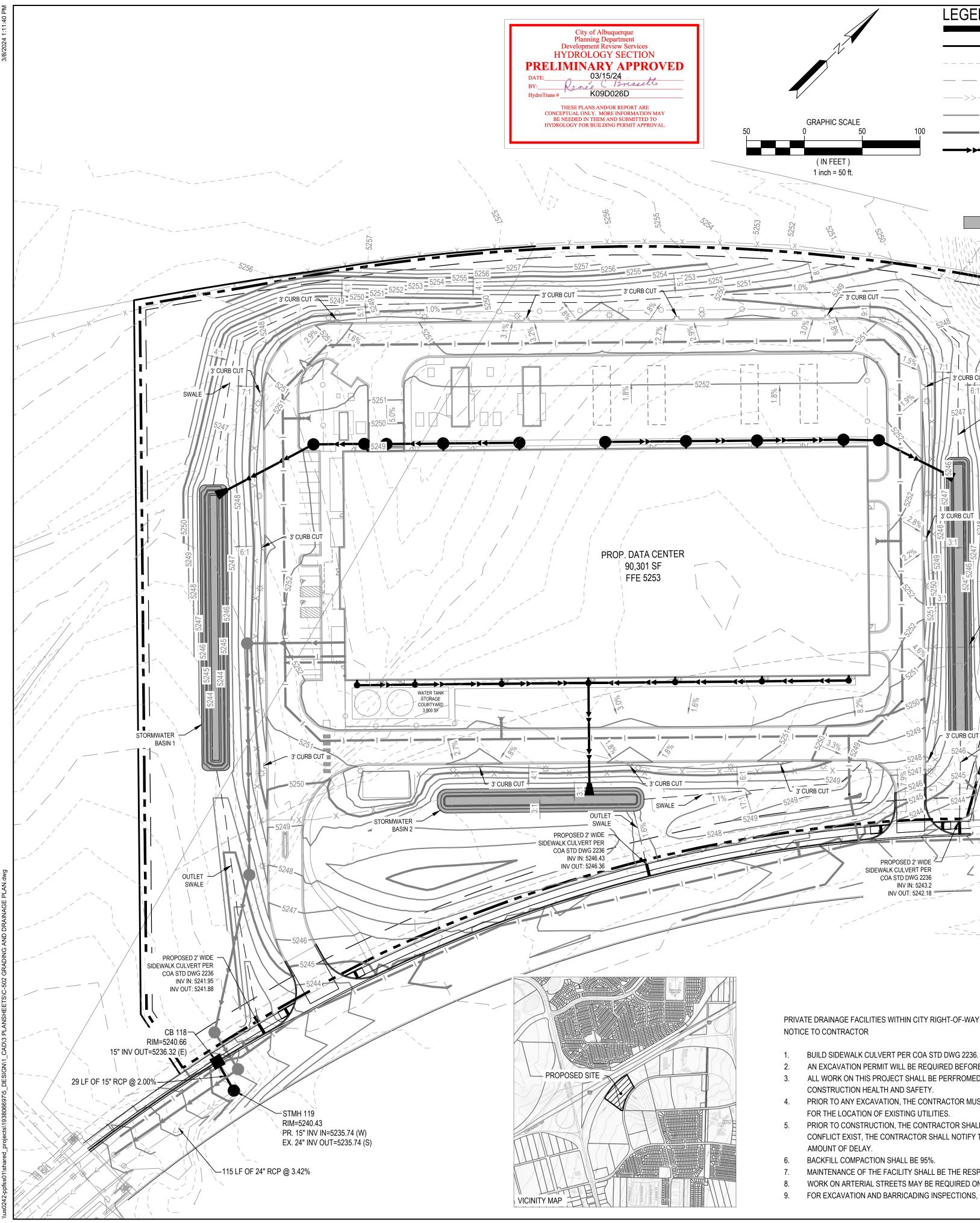
# City of Albuquerque Planning Department

Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: ABQ 10MW DC	Hydrology File # TBD						
Legal Description: See attached for full legal							
City Address, UPC, OR Parcel: Not assigned - Daytona RD NW Albuquerque, NM 87121 (between 94th St NW and 90th St NW)							
Applicant/Agent: Stantec	Contact: Jack Ammerman						
Address: 733 Marquette Ave, Minneapolis, MN 55402	Phone: 810-252-1431						
Email: jack.ammerman@stantec.com							
Applicant/Owner: Oppidan Holdings, LLC	Contact: Drew Johnson						
Address: 400 Water Street	Phone: 612-554-1897						
Email: drew@oppidan.com							
(Please note that a DFT SITE is one that needs Site Plan Ap	proval & ADMIN SITE is one that does not need it.)						
TYPE OF DEVELOPMENT: PLAT (#of lots)	RESIDENCE						
✓ DFT SITE	ADMIN SITE						
RE-SUBMITTAL: YES 🖌 NO							
<b>DEPARTMENT:</b> TRANSPORTATION	HYDROLOGY/DRAINAGE						
Check all that apply under Both the Type of Submittal a	nd the Type of Approval Sought:						
TYPE OF SUBMITTAL:	TYPE OF APPROVAL SOUGHT:						
ENGINEER/ARCHITECT CERTIFICATION	BUILDING PERMIT APPROVAL						
PAD CERTIFICATION	CERTIFICATE OF OCCUPANCY						
CONCEPTUAL G&D PLAN	CONCEPTUAL TCL DFT APPROVAL						
🖌 GRADING & DRAINAGE PLAN	PRELIMINARY PLAT APPROVAL						
DRAINAGE REPORT	FINAL PLAT APPROVAL						
DRAINAGE MASTER PLAN	✓ SITE PLAN FOR BLDG PERMIT DFT						
CLOMR/LOMR	APPROVAL						
TRAFFIC CIRCULATION LAYOUT (TCL)	SIA/RELEASE OF FINANCIAL GUARANTEE						
ADMINISTRATIVE	FOUNDATION PERMIT APPROVAL						
TRAFFIC CIRCULATION LAYOUT FOR DFT	GRADING PERMIT APPROVAL						
TRAFFIC IMPACT STUDY (TIS)	SO-19 APPROVAL						
STREET LIGHT LAYOUT	PAVING PERMIT APPROVAL						
OTHER (SPECIFY)	GRADING PAD CERTIFICATION						
	WORK ORDER APPROVAL						
ļ	CLOMR/LOMR						
	OTHER (SPECIFY)						

DATE SUBMITTED: 03/08/2024



## LEGEND

3' CURB CU

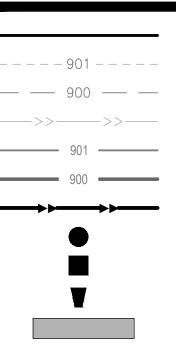
' CURB CL

3' CURB CU

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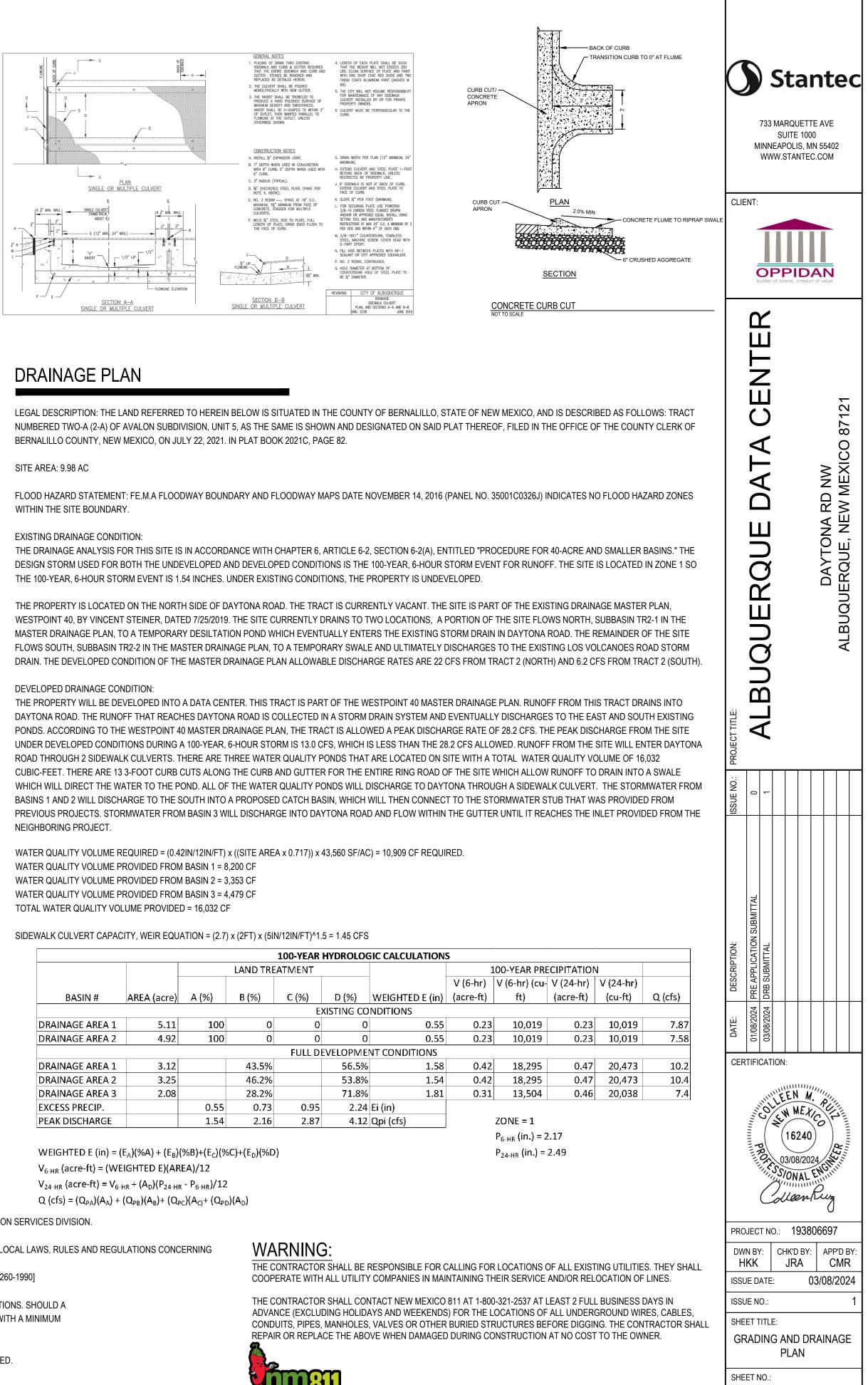
OUTI F

SWALE



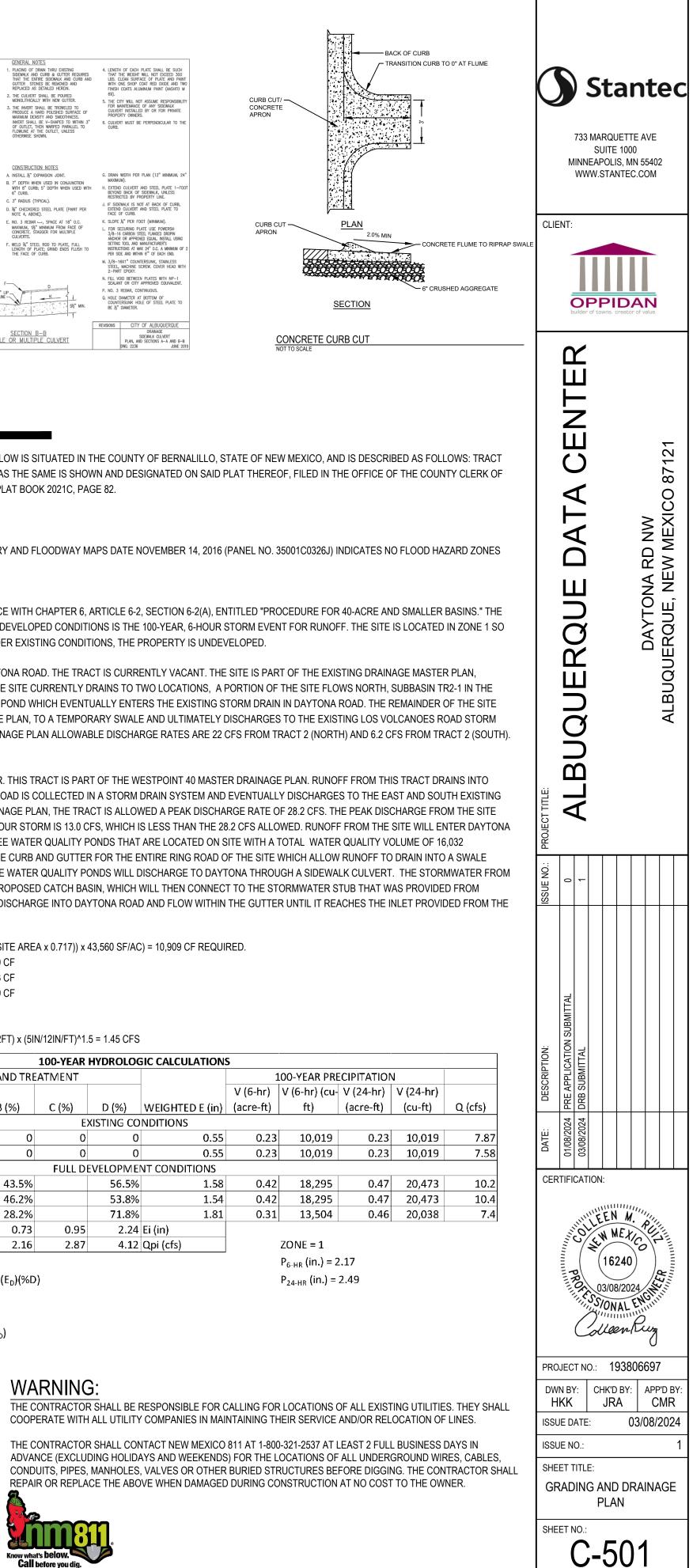
PROPERTY BOUNDARY EXISTING MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING STORM SEWER PROPOSED MINOR CONTOUR PROPOSED MAJOR CONTOUR STORM SEWER STORM MANHOLE STORM CATCH BASIN FLARED END SECTION

POND AREA



		LAND TRE	
BASIN #	AREA (acre)	A (%)	B (%)
DRAINAGE AREA 1	5.11	100	0
DRAINAGE AREA 2	4.92	100	0
DRAINAGE AREA 1	3.12		43.5%
DRAINAGE AREA 2	3.25		46.2%
DRAINAGE AREA 3	2.08		28.2%
EXCESS PRECIP.		0.55	0.73
PEAK DISCHARGE		1.54	2.16

- BUILD SIDEWALK CULVERT PER COA STD DWG 2236. WORK IS PERMITTED AND INSPECTED BY DMD CONSTRUCTION SERVICES DIVISION.
- AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFROMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION HEALTH AND SAFETY.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- 8. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
- FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES



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