

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 15, 2024

Colleen M. Ruiz, PE
Stantec
733 Marquette Avenue Suite 1000
Minneapolis MN 55402-2309

**RE: Oppidan 10MW DC – Daytona Rd NW
Conceptual Grading and Drainage Plans
Engineer's Stamp Date: 03/08/24
Hydrology File: K09D026D**

Dear Ms. Ruiz:

Based upon the information provided in your submittal received 03/08/2024, the Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

PRIOR TO BUILDING PERMIT / WORK ORDER:

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: ABQ 10MW DC Hydrology File # TBD

Legal Description: See attached for full legal

City Address, UPC, OR Parcel: Not assigned - Daytona RD NW Albuquerque, NM 87121 (between 94th St NW and 90th St NW)

Applicant/Agent: Stantec Contact: Jack Ammerman

Address: 733 Marquette Ave, Minneapolis, MN 55402 Phone: 810-252-1431

Email: jack.ammerman@stantec.com

Applicant/Owner: Oppidan Holdings, LLC Contact: Drew Johnson

Address: 400 Water Street Phone: 612-554-1897

Email: drew@oppidan.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) _____ ☐ RESIDENCE
☒ DFT SITE ☐ ADMIN SITE

RE-SUBMITTAL: ☐ YES ☒ NO

DEPARTMENT: ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☒ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03/08/2024

