

TIERRA WEST, LLC

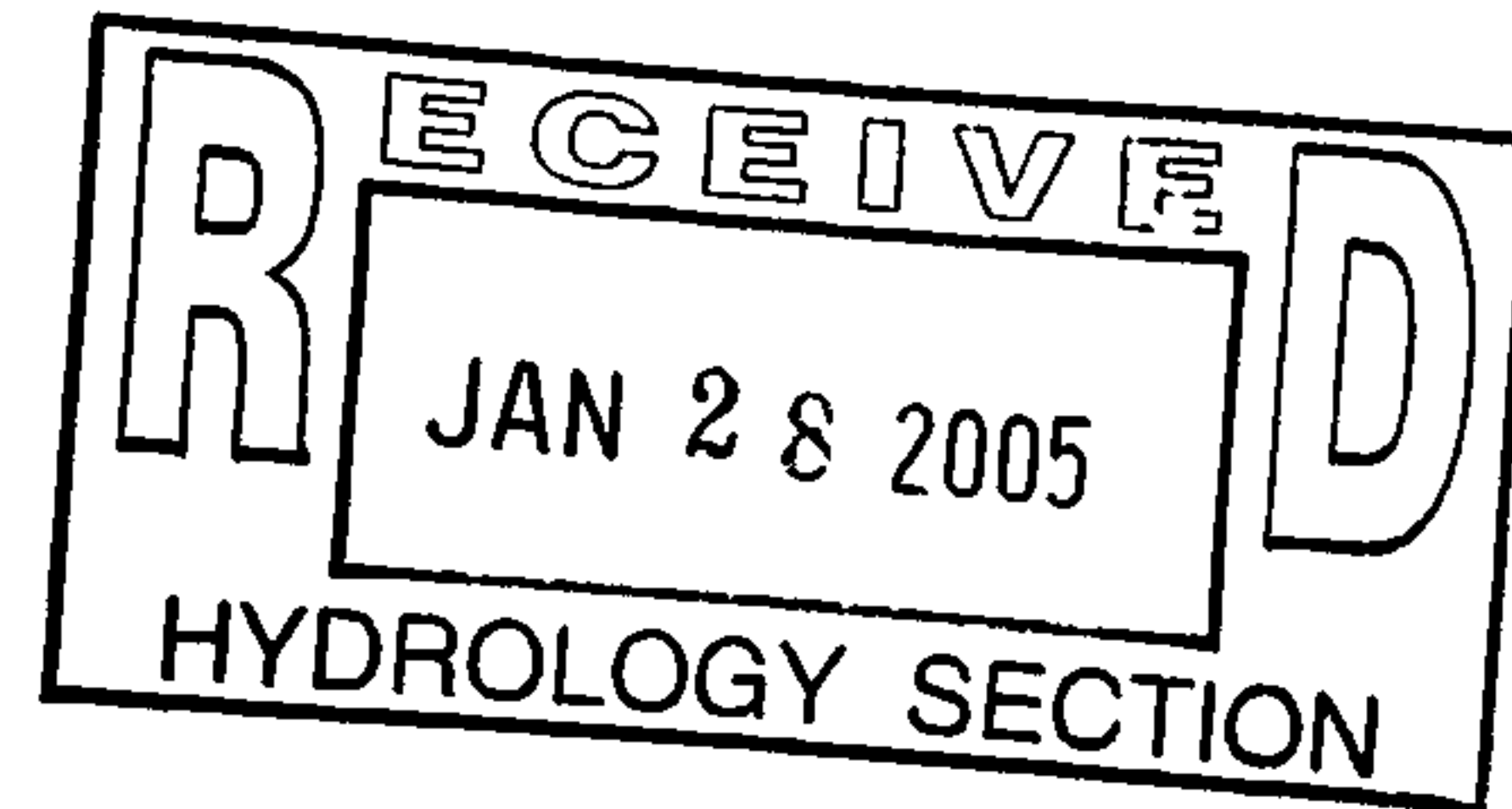
K-9/D27

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

January 28, 2005



Ms. Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87113

RE: Family Dollar, 101 86th Street SW, Certificate of Occupancy (K9-D27)

Dear Ms. Metro:

Tierra West, LLC, did not submit any information for a permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

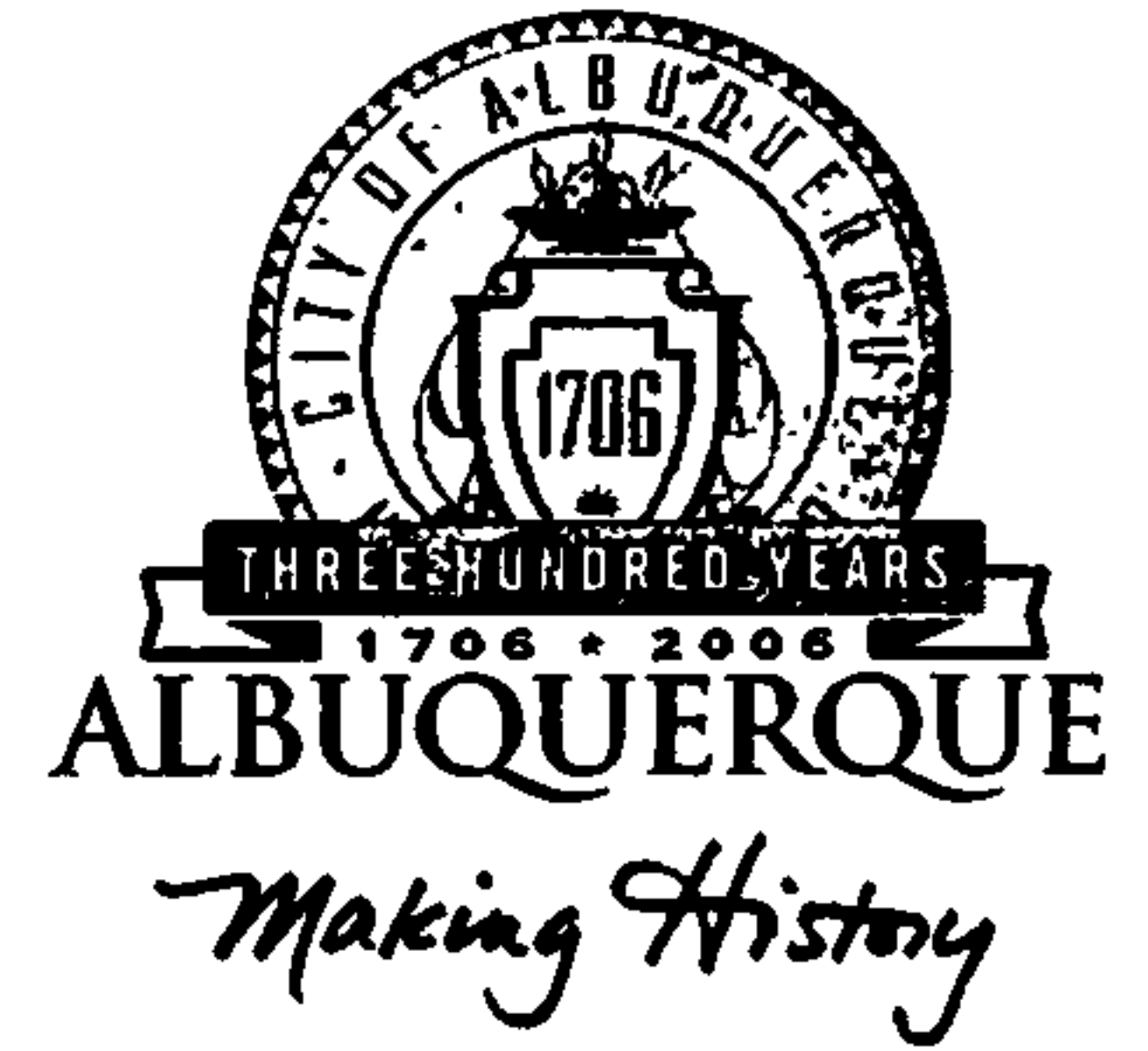
A handwritten signature in black ink, appearing to be "R. Bohannon".

Ronald R. Bohannon, PE

JN: 23033
RRB/dg

23033 K Metro Cert. Of Occp Ltr. 0127005

CITY OF ALBUQUERQUE



January 24, 2005

Ronald Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Family Dollar, 101 86th Street SW, Certificate of Occupancy (K9-D27)

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 1-24-05, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

P.O. Box 1293

Albuquerque

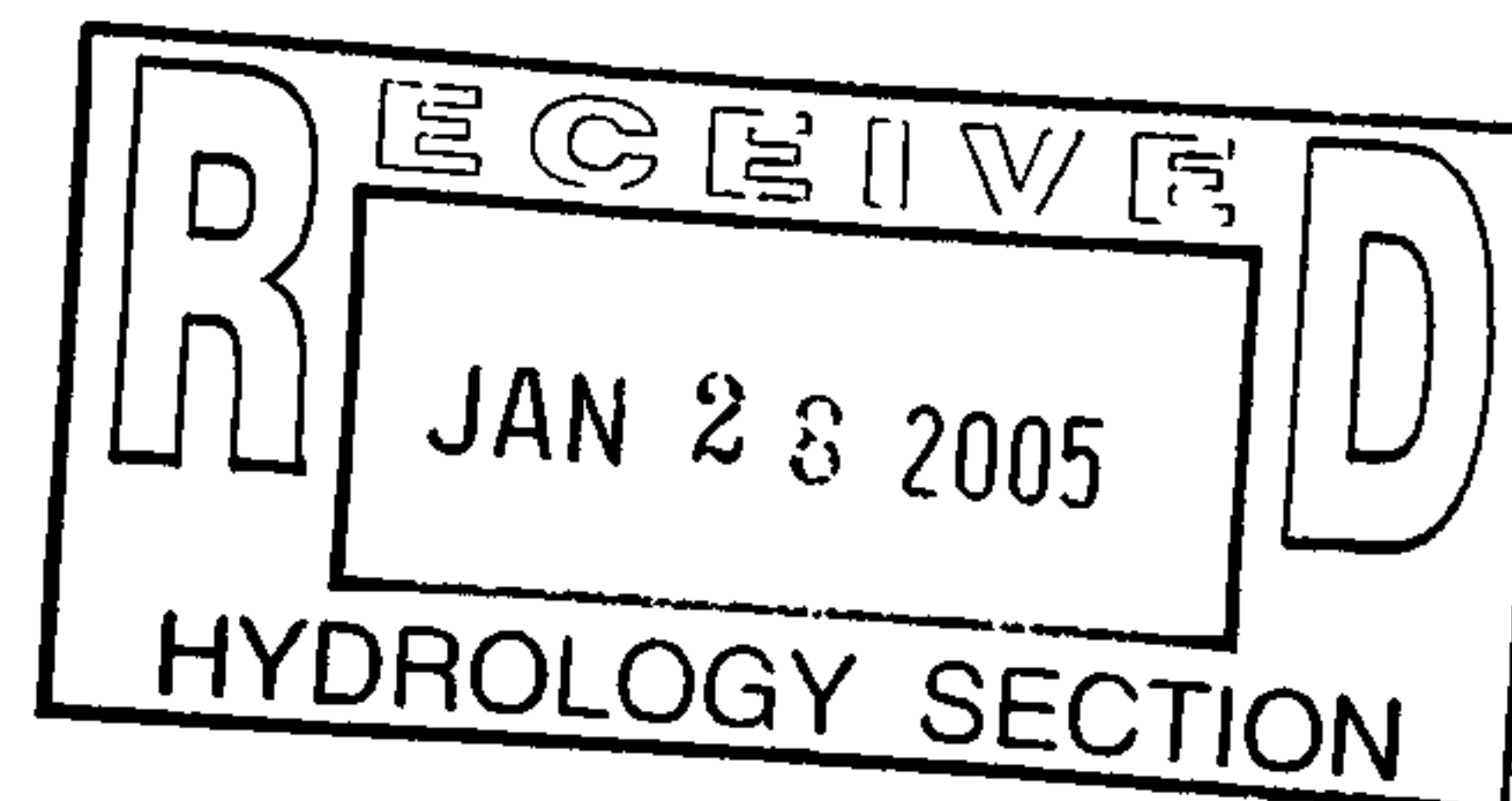
New Mexico 87103

www.cabq.gov

C: Phyllis Villanueva
file

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services





Richard H. Dourte
01/24/2005 03:33 PM

To: Kristal D. Metro/PLN/CABQ@COA, Nilo E.
Salgado-Fernandez/PWD/CABQ@COA
cc: Wilfred A. Gallegos/PLN/CABQ@COA, BBingham@cabq.gov@COA
Subject: Perm. co for Dollar Store at 86th and Bridge

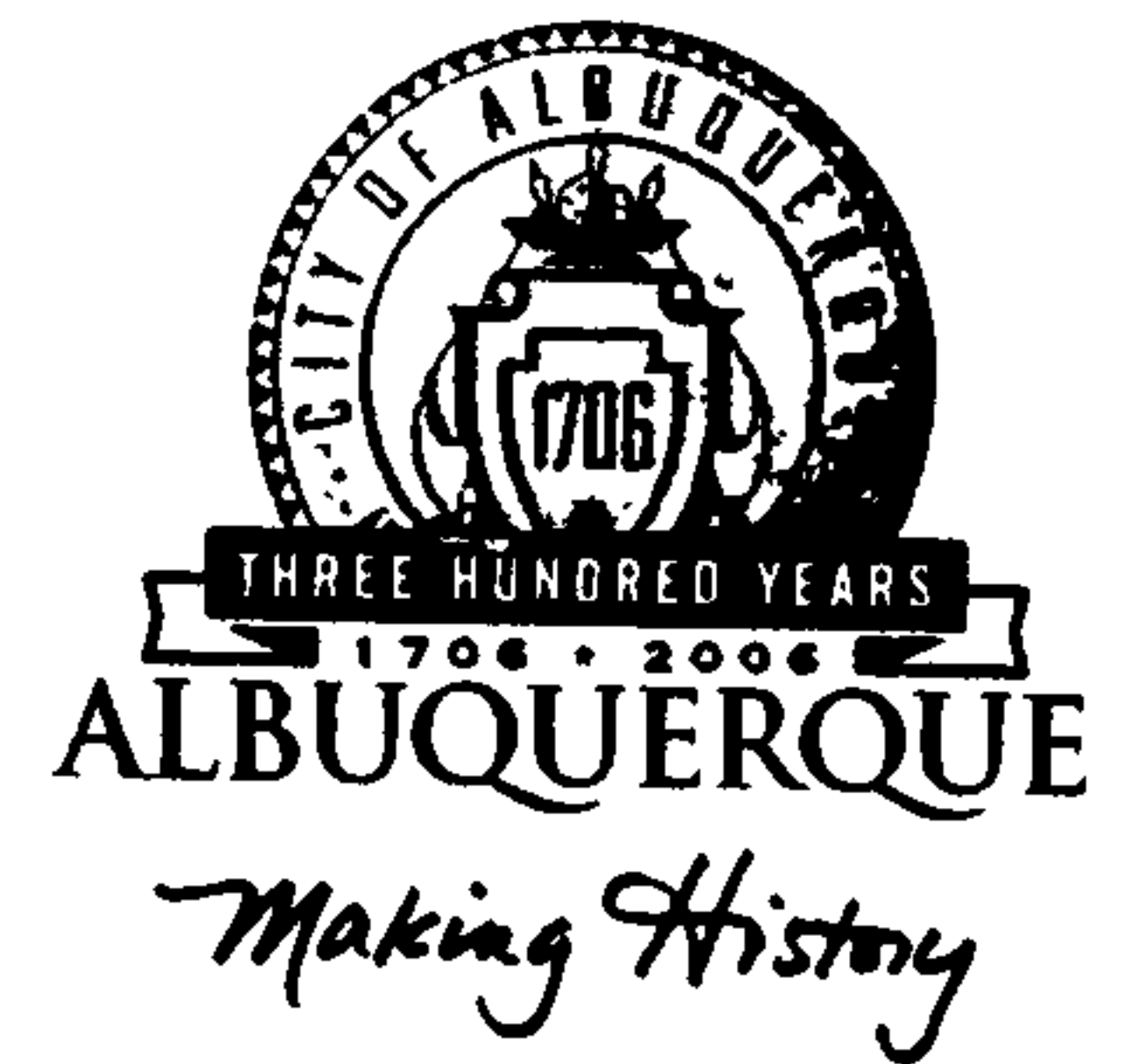
Kristal, Nilo,

Please provide the letters for the perm. co for the site referenced above.

Thanks, if you have any question let me know.

Richard Dourte
Development and Building Services Div.
Planning Dept.

CITY OF ALBUQUERQUE



~~June~~
July
June 30, 2004

8/26/04

Extend temp CO
for 30 days

RLD

Mr. Ron Bohannon, P.E.
TIERRA WEST, LLC
8509 Jefferson St. NE
Albuquerque, NM 87113

Re: FAMILY DOLLAR

101 86th ST. SW

Approval of Temporary Certificate of Occupancy (C.O.)

Engineer's Stamp dated 12/19/2003 (K-9/D27)

Certification dated 07/30/2004

P.O. Box 1293

Dear Ron,

Albuquerque

Based upon the information provided in your submittal received 07/30/2004, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

New Mexico 87103

Upon completion of the Exceptions listed in your Drainage Certification, please resubmit an updated certification.

www.cabq.gov

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

AP

C: Phyllis Villanueva
File

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Family Dollar
DRB #: 1002992 EPC #: _____

ZONE MAP/DRG. FILE #: K-9/D27
WORK ORDER #: 7356.81

LEGAL DESCRIPTION: Tract A-26-A2A2, Town of Atrisco Grant
CITY ADDRESS: 101 86th Street SW

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 8509 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY
PHONE: (505) 858-3100
ZIP CODE: 87113

OWNER: Family Dollar
ADDRESS: 1021 Old Monroe Rd
CITY, STATE: North Carolina

CONTACT: Jim Eagan
PHONE: 520-631-9000
ZIP CODE: 85711

ARCHITECT: Joe Crews
ADDRESS: Rt. 2 Box 327 JB
CITY, STATE: Texarkana, AR

CONTACT: _____
PHONE: (903) 793-6361
ZIP CODE: 75501

SURVEYOR: Precision Survey
ADDRESS: 8414-D Jefferson Street NE
CITY, STATE: Albuquerque, NM 87113

CONTACT: Russ Hugg
PHONE: (505) 897-3366
ZIP CODE: 87114

CONTRACTOR: GBH Construction
ADDRESS: P.O. Box 3379
CITY, STATE: Texarkana, AR

CONTACT: _____
PHONE: (870) 794-4244
ZIP CODE: 75504

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, ***REQUIRES TCL or equal***
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 7/30/2004 BY: Tyler J. Ashton, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 23, 2004

Ronald Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

**Re: Family Dollar, 101 86th Street, Grading and Drainage Plan
Engineer's Stamp dated 12-19-03 (K9/D27)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 2-17-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

Bub

C: ?
Charles Caruso, DMD Storm Drainage Design
File

K-9/027

DRAINAGE AND TRANSPORTATION SHEET (REV. 1/28/2003rd)

PROJECT TITLE: Family Dollar
 DRB #: 1002992 EPC #: _____

ZONE MAP/DRG. FILE #: K-9
 WORK ORDER #: _____

LEGAL DESCRIPTION: Tract A-28-A2A2, Town of Atrisco Grant
 CITY ADDRESS: Located North of Quail Road and West of Coors Boulevard, Albuquerque, NM 101 86th St.

ENGINEERING FIRM: Tierra West, LLC
 ADDRESS: 8509 Jefferson NE
 CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY
 PHONE: (505) 858-3100
 ZIP CODE: 87113

OWNER: Family Dollar
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: Jim Eagan
 PHONE: 520-631-9000
 ZIP CODE: 85711

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: Jim Gibbany
 PHONE: (602) 371-4902
 ZIP CODE: 85028

SURVEYOR: Wayjohn Surveying
 ADDRESS: 5643 Paradise Boulevard NW
 CITY, STATE: Albuquerque, NM

CONTACT: Russ Hugg
 PHONE: (505) 897-3366
 ZIP CODE: 87114

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☒ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) Drainage Approval

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/17/2004 BY: Tyler J. Ashton, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature,
 1. Conceptual Grading and Drainage Plans Required for approval of Site Development Plans greater than five (5) acres and Sector
 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Rec 2/17/04



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 9, 2004

Ronald Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

**Re: Family Dollar, Bridge Blvd. and 86th Street, Site Development Plan
Engineer's Stamp dated 12-19-03 (K9/D27)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 12-22-03, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, prior to building permit submittal, please address the following comments:

1. Please denote all items to be built under a separate work order. Note this information on the site plan and the grading and drainage plan.
2. Show more spot elevations.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

K-9/D27

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Family Dollar
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: K-9 / D27
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract A-26-A2A2, Town of Atrisco Grant
CITY ADDRESS: Located North of Quail Road and West of Coors Boulevard, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 8509 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY
PHONE: (505) 858-3100
ZIP CODE: 87113

OWNER: Family Dollar
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jim Eagan
PHONE: 520-631-9000
ZIP CODE: 85711

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jim Gibbany
PHONE: (602) 371-4902
ZIP CODE: 85028

SURVEYOR: Wayjohn Surveying
ADDRESS: 5643 Paradise Boulevard NW
CITY, STATE: Albuquerque, NM

CONTACT: Russ Hugg
PHONE: (505) 897-3366
ZIP CODE: 87114

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ OTHER (SPECIFY) Drainage Approval

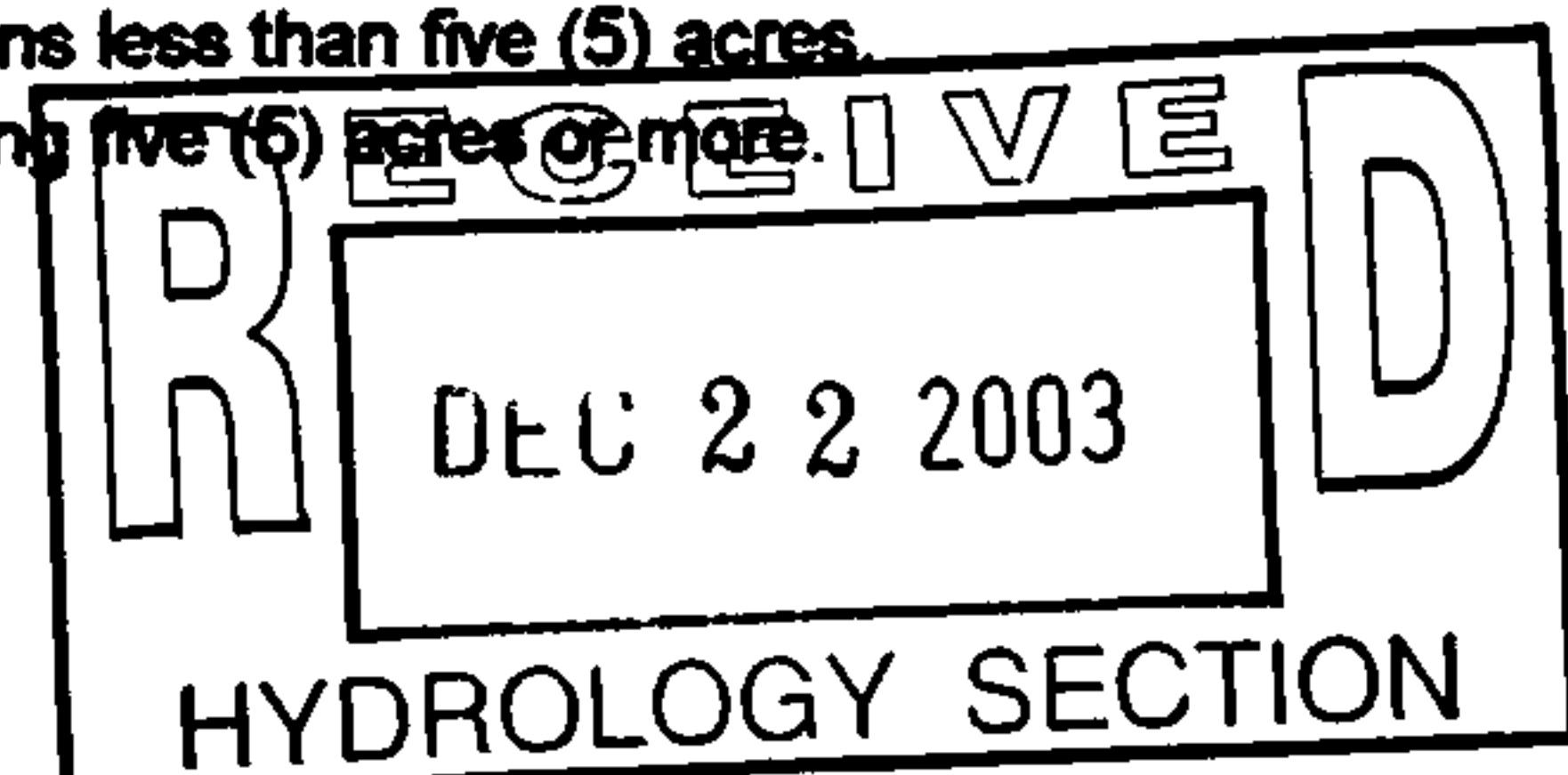
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

<Fax letter to Ron Bohannon>

DATE SUBMITTED: 12/22/2003 BY: Tyler J. Ashton, PE

- Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature,
1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 0832
CONNECTION TEL 98581118
SUBADDRESS
CONNECTION ID
ST. TIME 02/10 08:21
USAGE T 00'33
PGS. 2
RESULT OK

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number - 2nd Level)
505-924-3440 (fax number - 4th Floor)
Development and Building Services (One Stop Shop)
600 2nd Street NW
Albuquerque, NM 87102

**City of Albuquerque
Planning Dept.
Dev. & Bldg. Svcs.**

Fax

To: Ron Bohannan

From: Kristal Metro

Fax: 858-1118

Pages Sent: (including this page) 2

Phone:

Date: February 10, 2004

☐ **Urgent** ☐ **For Review** ☐ **Please Comment** ☐ **Please Reply** ☐ **Please Recycle**

Comments:

Family Dollar Site Development Plan Submittal



Tierra West, LLC.

(505) 858-3100

8509 Jefferson NE, Albuquerque, NM 87113

TO Brad Bingham

City of Albuquerque

Plaza Del Sol

600 N. Second Street NW

Albuquerque, NM 87102

(505) 924-3986

WE ARE SENDING YOU

☒

Attached

☐

Under Separate cover via _____ the following items:

☐

Shop drawings

☐

Prints

☐

Plans

☐

Samples

☐

Specifications

☐

Copy of letter

☐

Change order

☐

COPIES	DATED	NO.	DESCRIPTION
1 copy			Family Dollar Drainage Report

THESE ARE TRANSMITTED as checked below:

☒

For approval

☐

Approved as submitted

☐

FOR SIGNATURE(S)

☒

For your use

☐

Approved as noted

☐☒

As requested

☐

Returned for corrections

☐

For review and comments

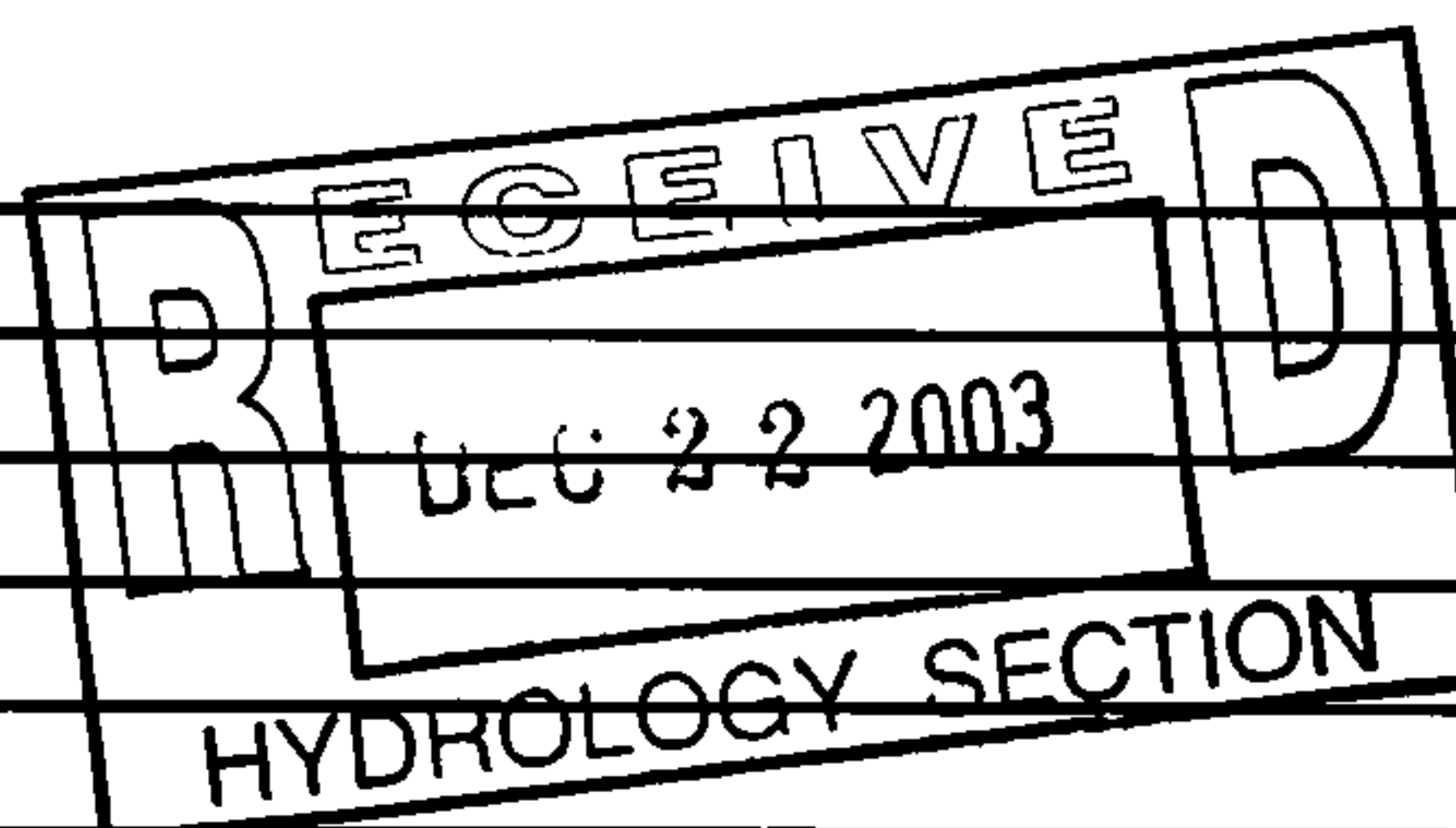
☐☐

FOR BIDS DUE _____ 20 _____

☐

PRINTS RETURNED AFTER LOAN TO US

REMARKS



COPY TO _____

RECEIVED BY _____

SIGNED Debbie Gale for
Tyler J. Ashton, PE

DRAINAGE REPORT

for

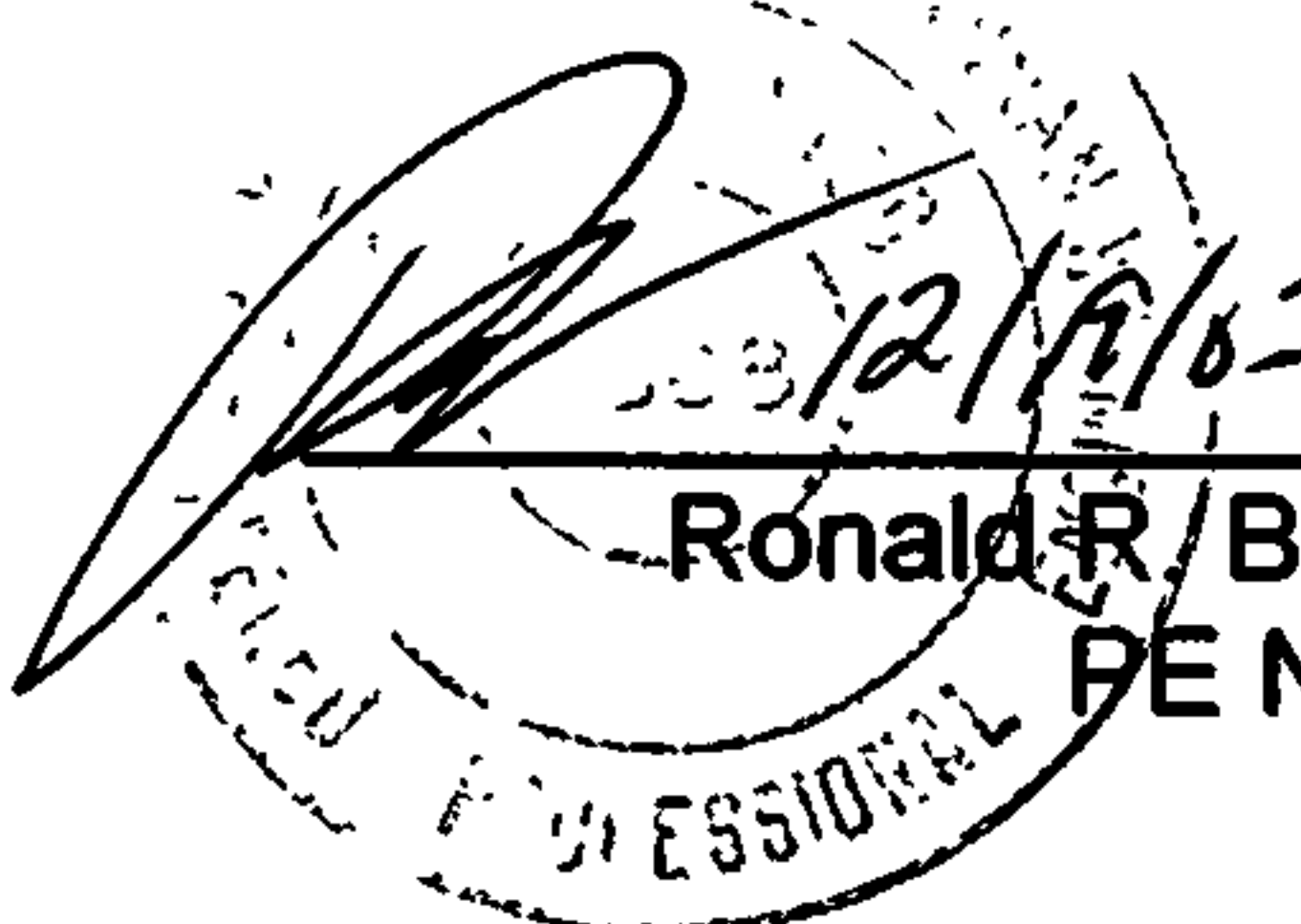
**Family Dollar
Northwestern corner of
Bridge Boulevard and 86th Street
Albuquerque, New Mexico**

Prepared by:

**Tierra West, LLC
8509 Jefferson NE
Albuquerque, New Mexico 87113**

December, 2003

I certify that this report was prepared under my supervision, and I am a registered professional engineer in the State of New Mexico in good standing.

A circular professional engineer seal for Ronald R. Bohannon, State of New Mexico. The seal contains the text "RONALD R. BOHANNAN", "PE NO. 7868", and "REGISTERED PROFESSIONAL ENGINEER". A handwritten signature is written over the seal, and the date "12/18/03" is stamped over it.

**Ronald R. Bohannon
PE NO. 7868**

Job No 230033

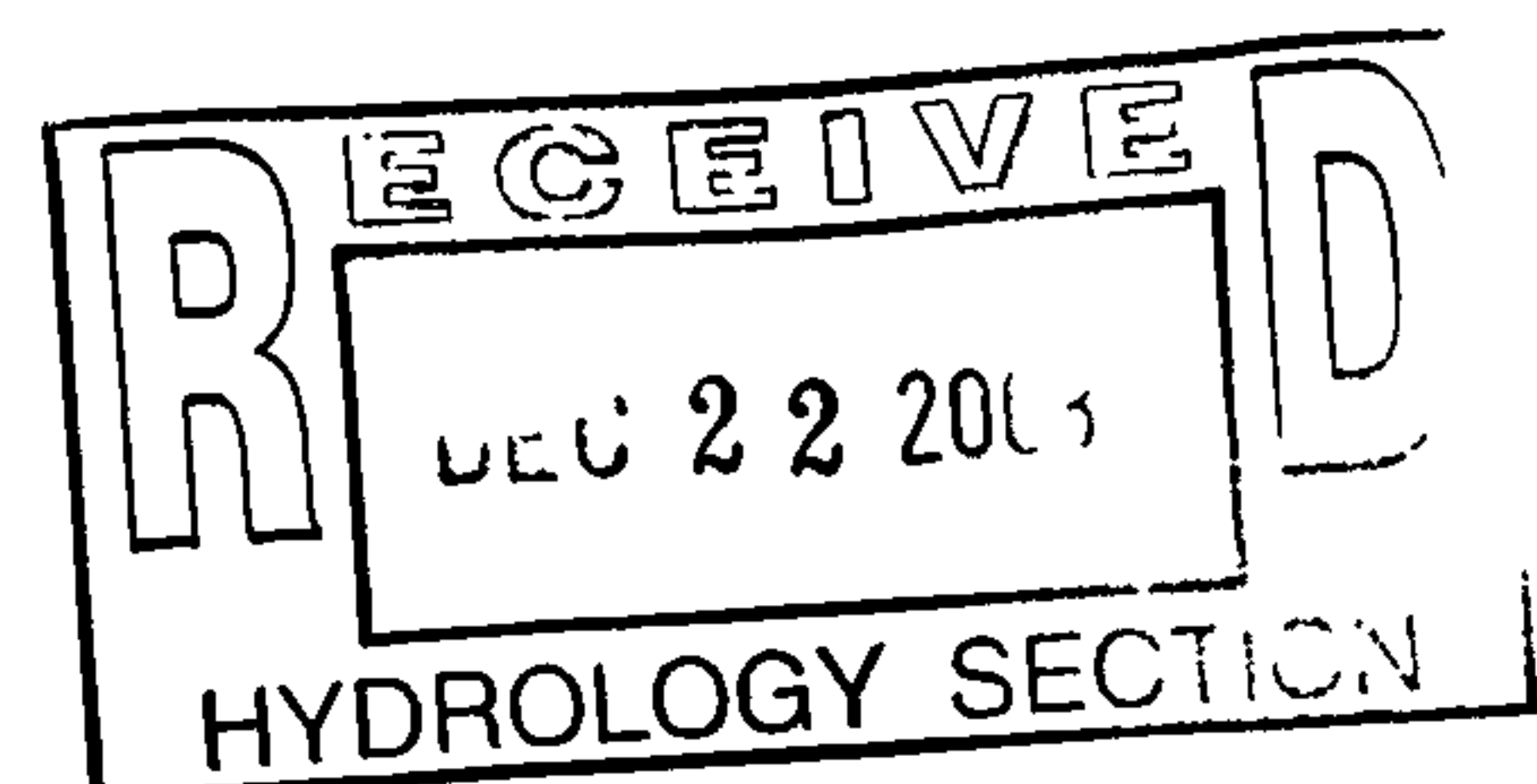


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Map Pockets

Site Grading and Drainage Plan, Map Pocket A.....	A
Developed Conditions Basin, Map Pocket B	B

PURPOSE

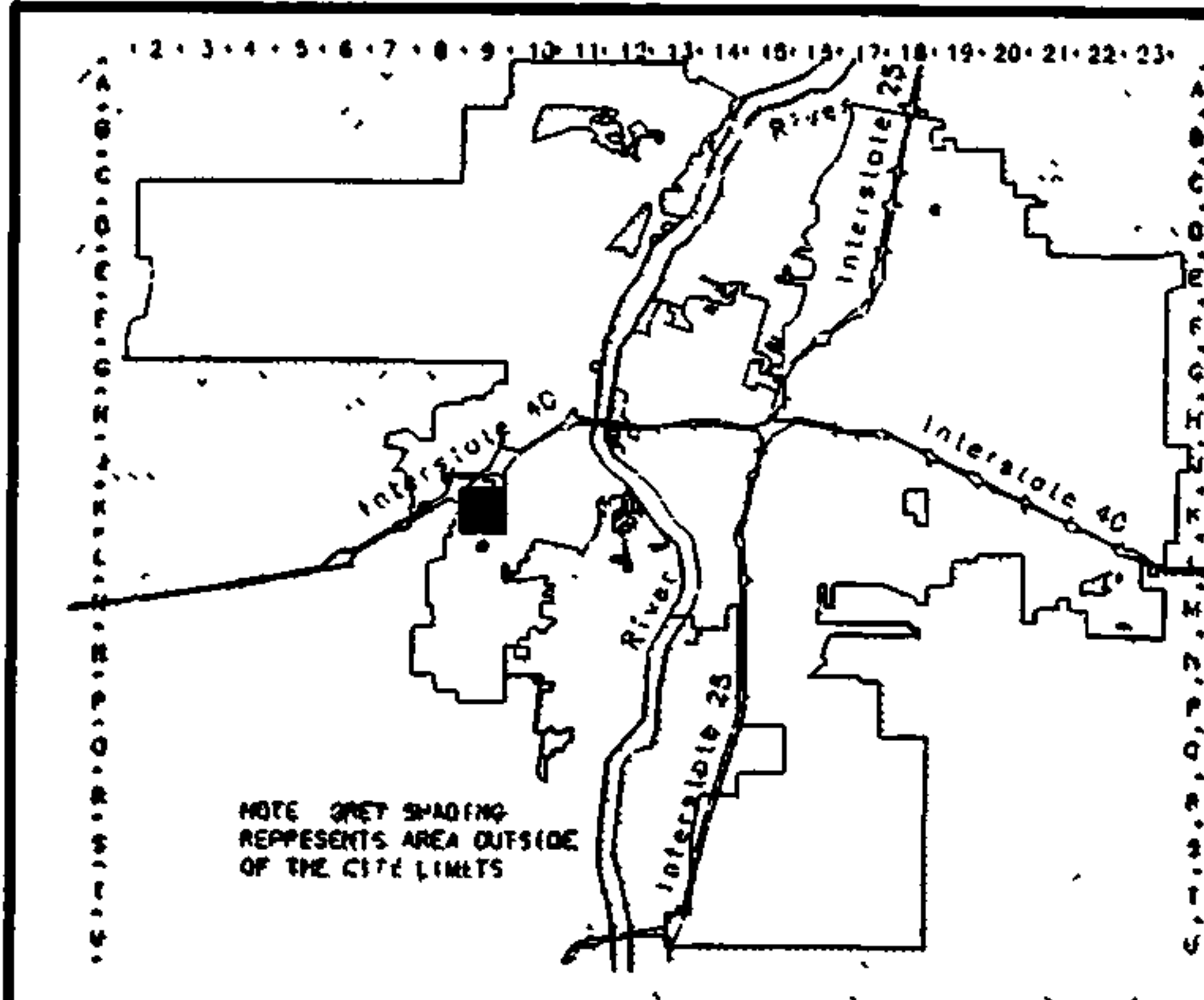
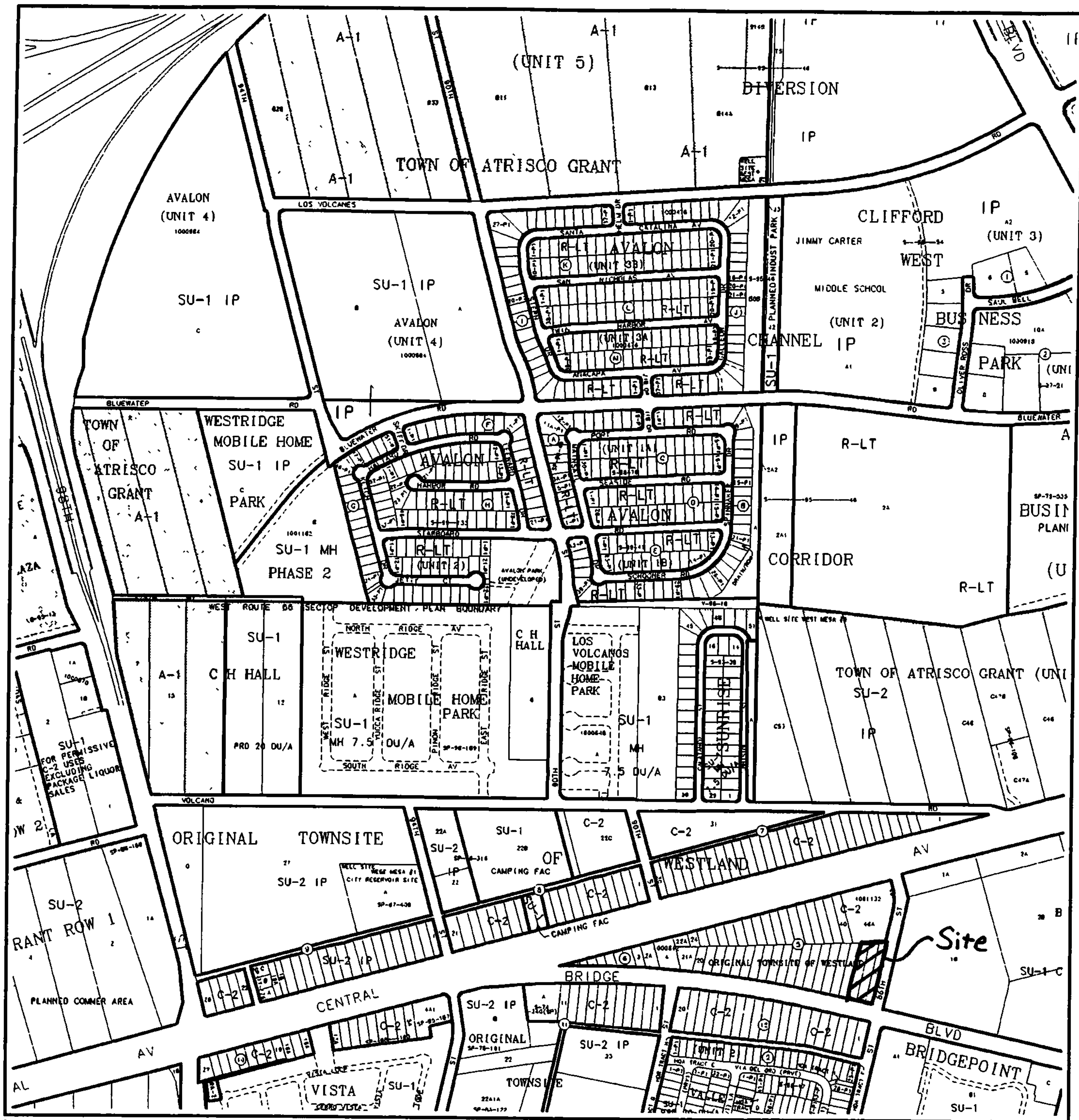
The purpose of this report is to provide the drainage management plan for the development of Lots 1-3 along Bridge Boulevard, Block 5 of the original townsite of westland A-26-A2A2 within the Town of Atrisco Grant. This plan will be utilized for the development of the subject property as a Family Dollar store. This plan is in accordance with the DPM, Chapter 22, Hydrology Section. The purpose of this report is to provide the drainage analysis and management plan for the new store.

INTRODUCTION

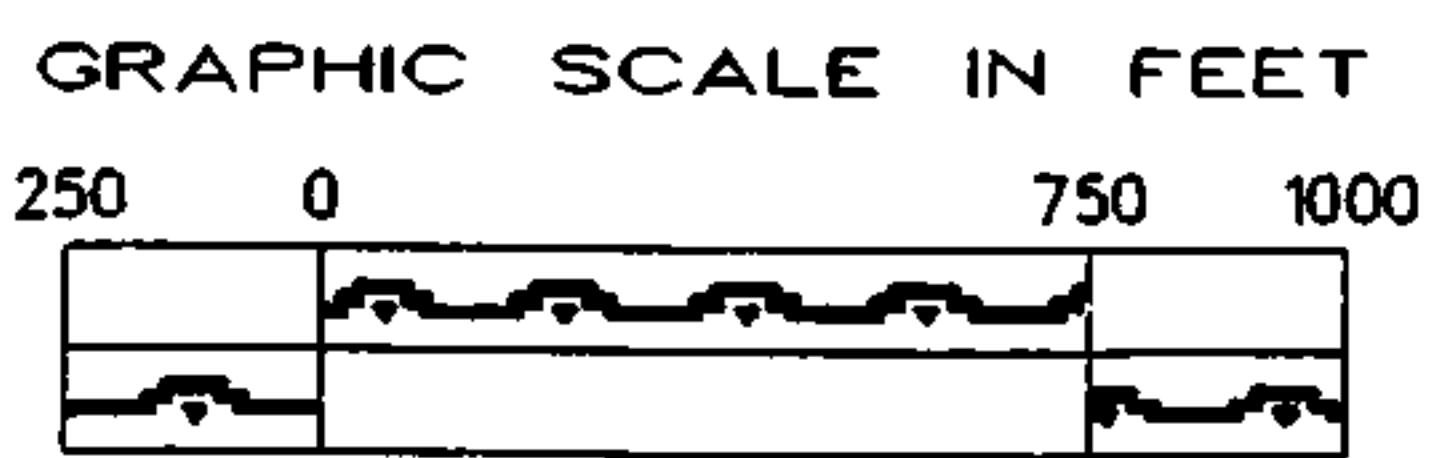
The subject of this report, as shown on the Exhibit A vicinity map, is a 1.12-acre parcel of land located at the northwest corner of Bridge Blvd. and 86th St.. The site is in the City of Albuquerque, Bernalillo County, New Mexico and is currently undeveloped. The legal description of the property is Lots 1-3 along Bridge Boulevard, Block 5 of the original townsite of westland A-26-A2A2 within the Town of Atrisco Grant. As shown on FIRM map 35001C0328D, the site does not lie within any flood zone.

Exhibit A- Vicinity Map

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CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003

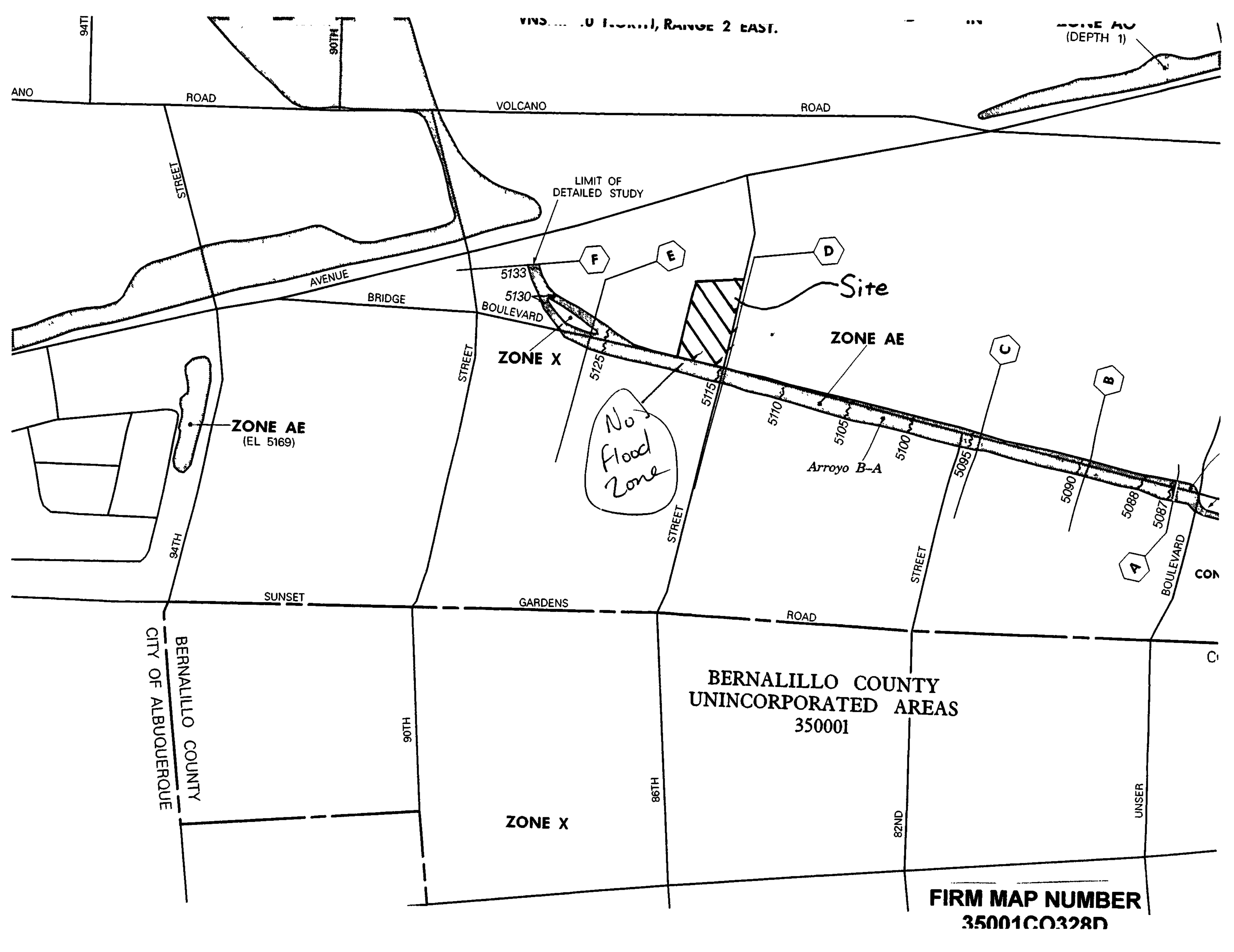


Zone Atlas Page
K-9-Z
Map Amended through August 01, 2003

Exhibit B – FIRM Map

VINS... U 1.0000, RANGE 2 EAST.

ZONE AO
(DEPTH 1)



FIRM MAP NUMBER
35001C0328D

EXISTING CONDITIONS

The site is currently undeveloped and slopes from northwest to southeast. The 1.12-acre site currently drains into a storm drain in Bridge Boulevard. The property to the north of the site is a Phillips 66 gas station and freely discharges into 86th street and into the storm drain in Bridge. The rest of the land around the property is undeveloped and also drains to the Bridge storm drain.

PROPOSED CONDITIONS

The proposed improvements consist of the construction of a 9,180 square foot Family Dollar store and its associated parking lot. The site has been split into 2 basins, the storm runoff from these basins will flow to the south and east into Bridge Boulevard and 86th Street and into the existing storm drain system in Bridge.

Basin 1 includes the north parking area and the north half of the roof, and generates 2.63 cfs. The runoff from the basin will flow into 86th Street and south to a catch basin and into the Bridge storm drain system. A land treatment of 21%B and 79% D was used to generate the runoff numbers for basin 1.

Basin 2 includes the paved delivery area and the south half of the roof and generates 1.55 cfs. A portion of the runoff from the basin will flow east to 86th Street and a portion will flow south to Bridge into catch basins that will be constructed. A land treatment of 37%B and 63% D was used to generate the runoff numbers for basin 2.

SUMMARY AND RECOMMENDATIONS

This site freely discharges into the Bridge storm drain, which currently ends at the property. Storm drain infrastructure will be constructed to convey these flows along with existing flows into the system. ^{when?} The development of this site is consistent with the DPM, Chapter 22, Hydrology section. It is recommended this development be approved for rough grading and Site Plan for Building Permit.

CALCULATIONS

EXISTING CONDITION

Total Area	=	48786 sf
Impervious Area	=	48786 sf
Pervious Area	=	0 sf

DEVELOPED CONDITION

Total Area	=	48,786 sf
Impervious Area	=	35,284 sf
Pervious Area	=	13,502 sf

Basin 1

Total Area	=	29,497 sf
Impervious Area	=	23,311 sf
Pervious Area	=	6,816 sf

Basin 2

Total Area	=	19,289 sf
Impervious Area	=	12,153 sf
Pervious Area	=	7,136 sf

Weighted E Method

Zone #1

Developed Basins

												100-Year			10-Year		
Basin	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
1	29497.00	0.677	0.00106	0%	0	21%	0.142	0%	0	79%	0.535	1.697	0.096	2.63	1.026	0.058	1.65
2	19289.00	0.443	0.00069	0%	0	37%	0.164	0%	0	63%	0.279	1.489	0.055	1.55	0.863	0.032	0.93
	48786.00	1.12			0.00		0.31		0.00		0.81		0.15	4.18			

Existing Basins

												100-Year			10-Year		
Basin	Area (sf)	Area (acres)	Area (sq miles)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
				%	(acres)	%	(acres)	%	(acres)	%	(acres)						
1	48786.00	1.120	0.00175	0%	0	0%	0.000	100%	1.119972	0%	0.000	0.990	0.092	3.21	0.440	0.041	1.67
	48786.00	1.12			0.00		0.00		1.12		0.00		0.09	3.21			

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

MAP POCKET A

SITE GRADING AND DRAINAGE PLAN

Family Dollar

MAP POCKET B

Proposed Basin Map

Family Dollar

•

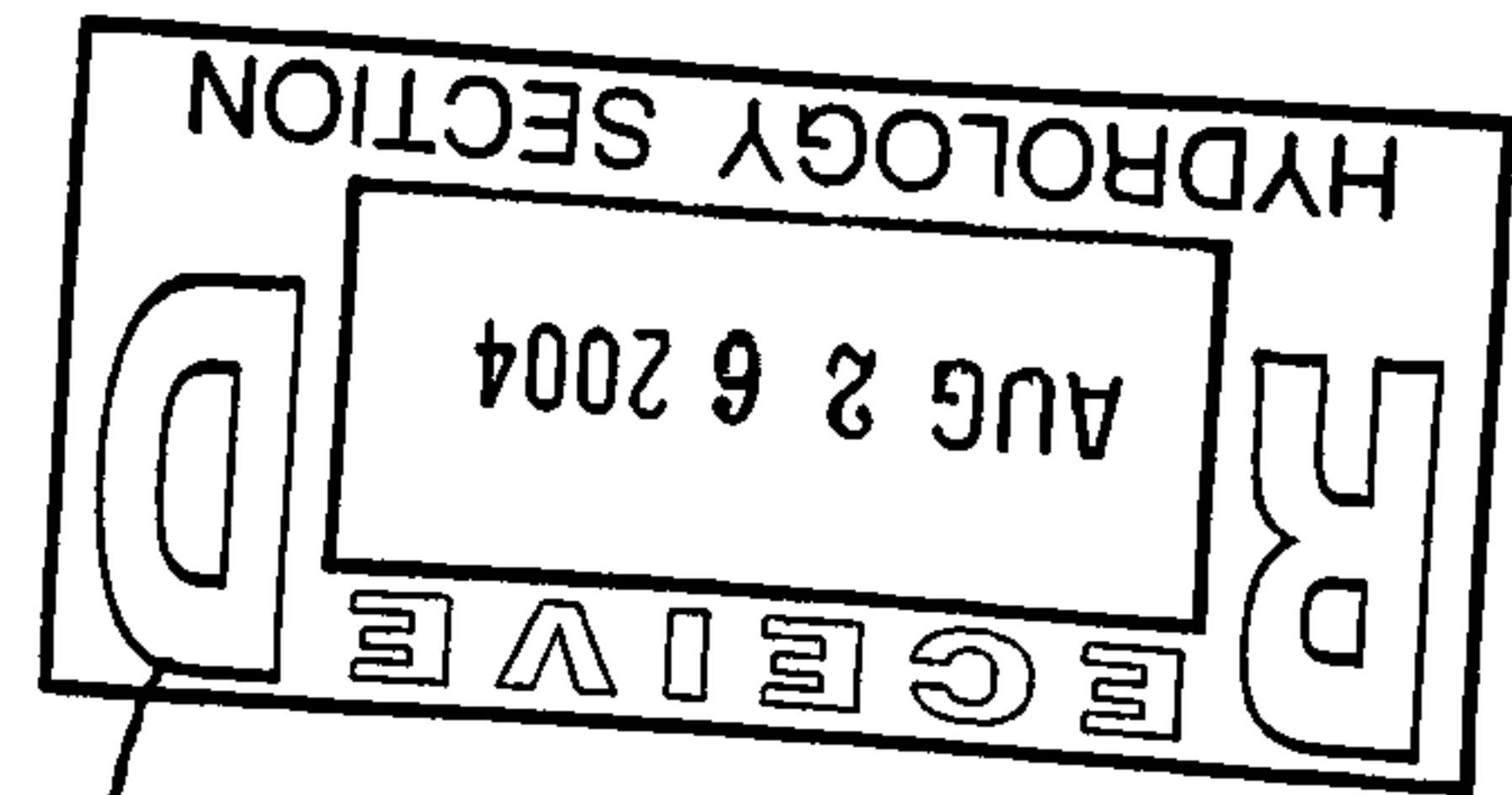
TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

August 26, 2004



Mr. Nilo Salgado-Fernandez, PE
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

RE: **TCL Certification for 30-Day Extension of the Temporary Certificate of Occupancy**
Family Dollar
101 86th Street SW, Albuquerque, NM (K-9/D27)

Dear Nilo:

Tierra West, LLC, requests a 30-Day Extension of the Temporary Certification of the Approved Traffic Control Layout for the Family Dollar located at 101 86th Street SW. Due to a required design change for the City of Albuquerque work order portion of the project, it will be necessary to extend the length of the Temporary Certificate of Occupancy for an additional 30 days. The revised design is currently in the approval process and we expect to complete all work associated with the project as soon as possible. The purpose of this request is to allow the store to continue operations while this process is completed.

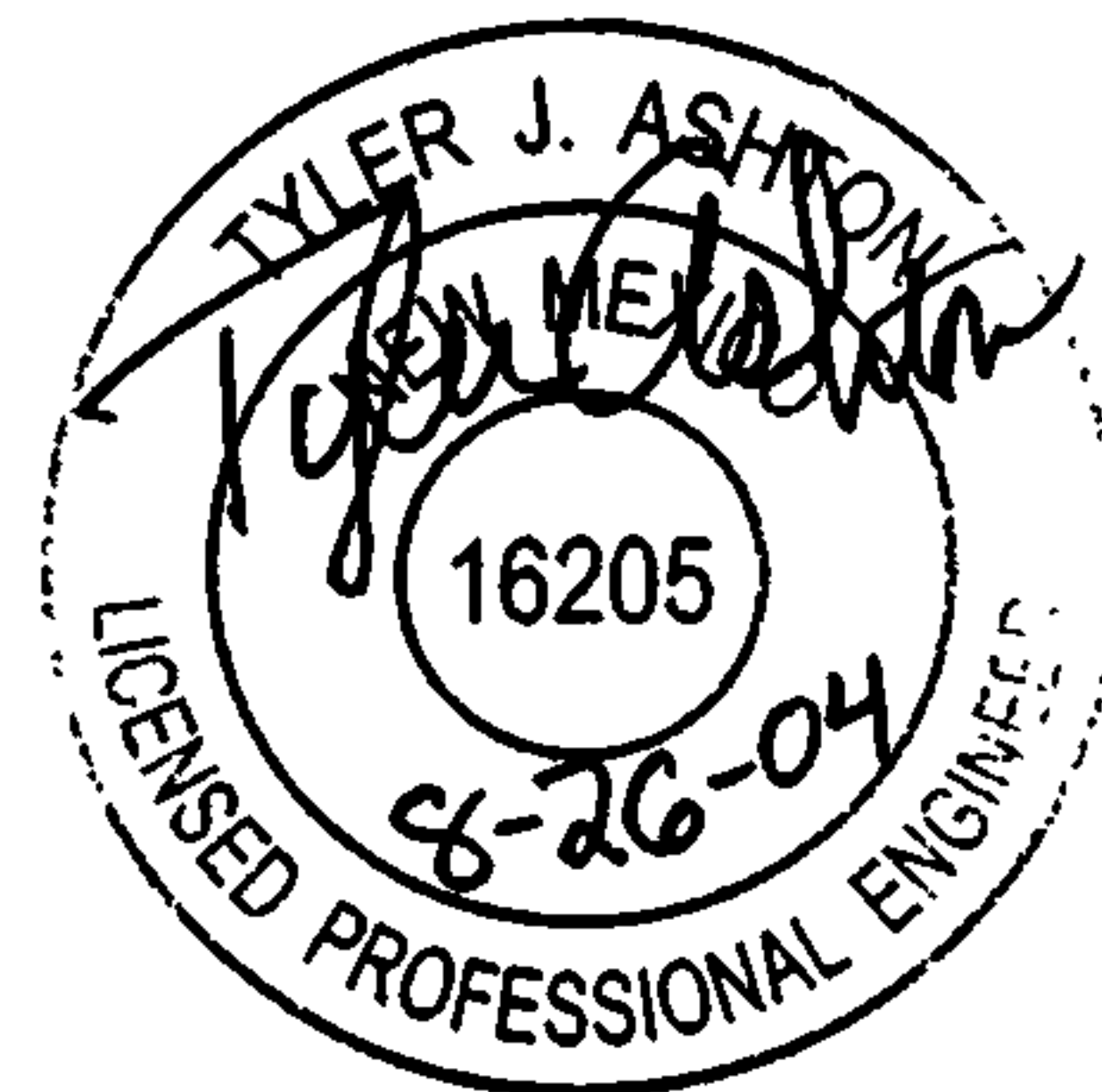
The following item needs to be completed prior to Final Certification:

- (1) Revised design change approval by City of Albuquerque DRC
- (2) Complete 86th & Bridge work order & complete final inspection with City of Albuquerque Public Works.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Tyler Ashton, PE



Enclosure/s

cc: GBH Construction

JN: 230033
TA/bf

10/5/04 60-Day
Ext. - Verbal

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

August 26, 2004

Ms. Kristal Metro / Engineering Associate
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

**RE: Hydrology Certification 30-day Extension of Temporary Certificate of Occupancy
Family Dollar
101 86th Street SW, Albuquerque, NM (K-9/D27)**

Dear Kristal:

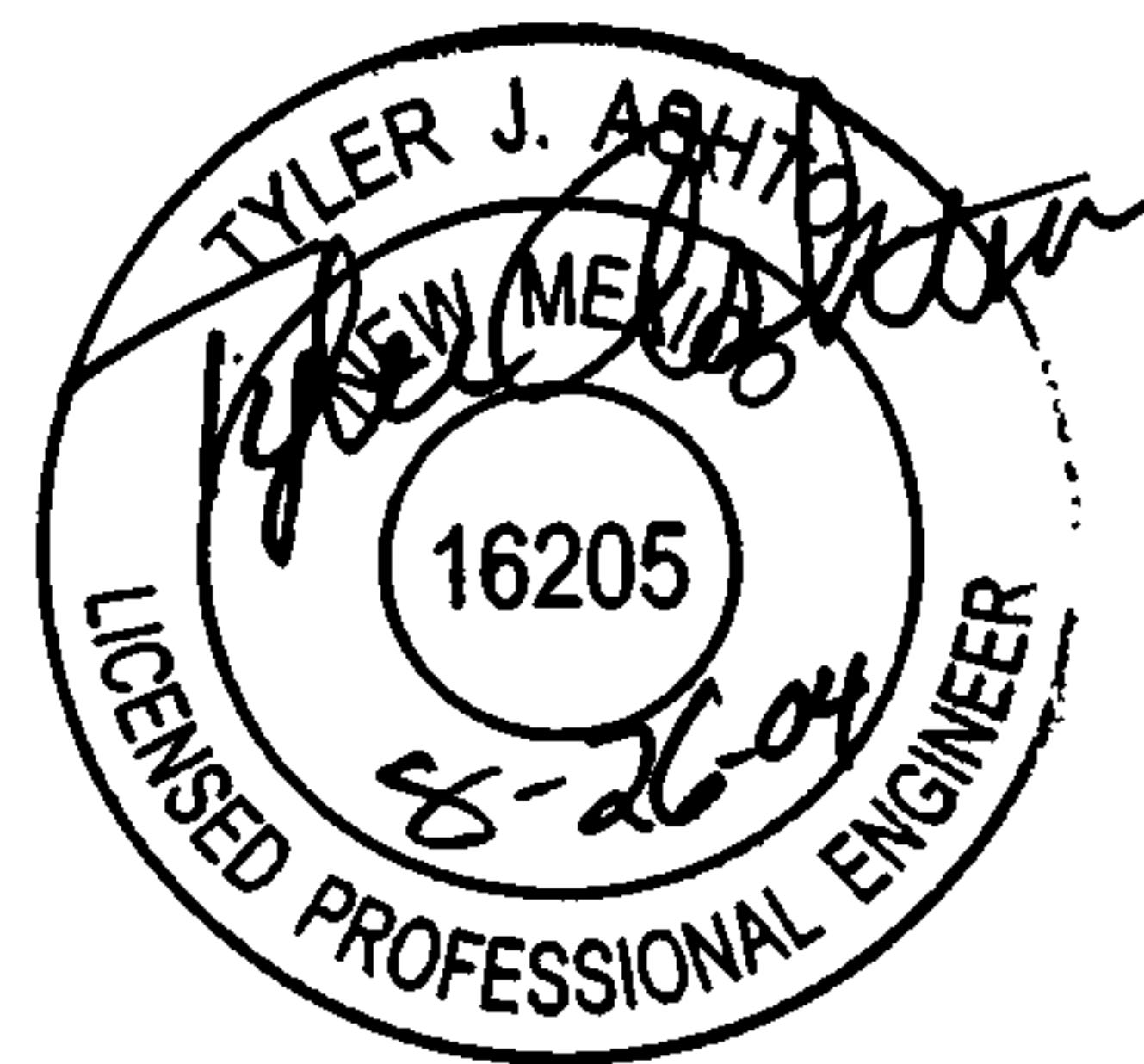
Due to a required design change for the City of Albuquerque work order portion of the project, it is necessary to extend the length of the Temporary Certificate of Occupancy for an additional 30 days. The revised design is currently in the approval process and we expect to complete all work associated with the project as soon as approval is granted. The purpose of this request is to allow the store to continue operations while this process is completed. All onsite work is substantially complete. Traffic control is in place on 86th Street and the majority if work remaining is on Bridge Avenue.

We are, therefore, requesting a 30- day extension of the Hydrology Certification of the Approved Grading and Drainage.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Tyler Ashton, PE



Enclosure/s

cc: GBH Construction

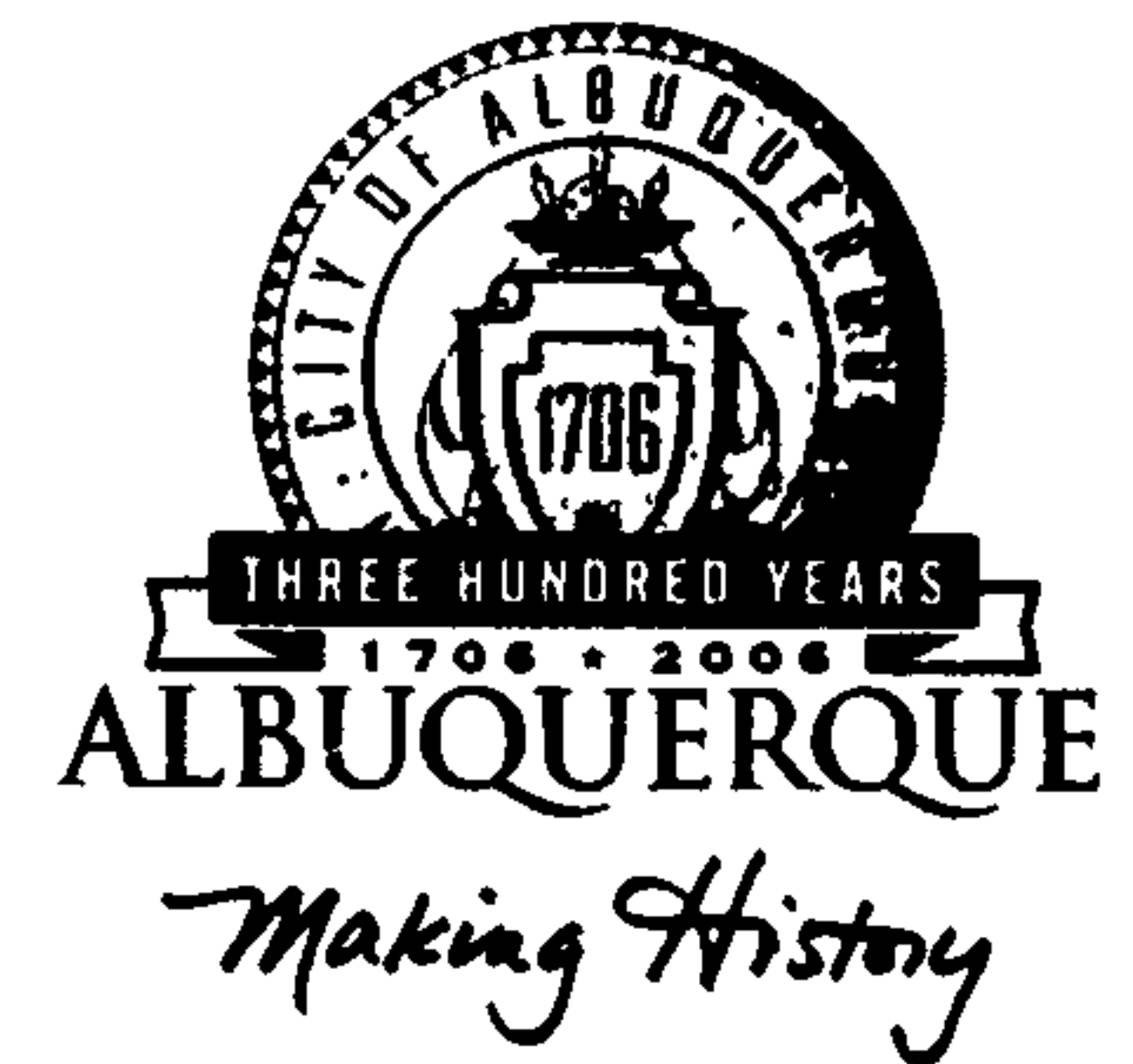
JN: 23033
TA/bf

*Temp CO
extended for
30 days*

230033 Family Dollar Extended Hydrology Cert

*10/5/04 60-Day
Ext. - Verbal*

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 30, 2004

Tyler J. Ashton, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

Re: Approval of Temporary Certificate of Occupancy (C.O.) for
Family Dollar, [K-9 / D27]
101 86th Street
Engineer's Stamp Dated 07/30/04

Dear Mr. Ashton:

Based on the information provided on your submittal dated July 30, 2004, the above referenced project is approved for a 30-day Temporary C.O.

A Temporary C.O. has been issued allowing issues, per Certification request, to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an exact copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
cHydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Family Dollar
DRB # 1002992 EPC #: _____

ZONE MAP/DRG. FILE #: K-9/D27
WORK ORDER #: 7356.81

LEGAL DESCRIPTION: Tract A-26-A2A2, Town of Atrisco Grant
CITY ADDRESS: 101 86th Street SW

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 8509 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY
PHONE: (505) 858-3100
ZIP CODE: 87113

OWNER: Family Dollar
ADDRESS: 1021 Old Monroe Rd.
CITY, STATE: North Carolina

CONTACT: Jim Eagan
PHONE: 520-631-9000
ZIP CODE: 85711

ARCHITECT: Joe Crews
ADDRESS: Rt 2 Box 327 JB
CITY, STATE: Texarkana, AR

CONTACT: _____
PHONE: (903) 793-6361
ZIP CODE: 75501

SURVEYOR: Precision Survey
ADDRESS: 8414-D Jefferson Street NE
CITY, STATE: Albuquerque, NM 87113

CONTACT: Russ Hugg
PHONE: (505) 897-3366
ZIP CODE: 87114

CONTRACTOR: GBH Construction
ADDRESS: P.O. Box 3379
CITY, STATE: Texarkana, AR

CONTACT: _____
PHONE: (870) 794-4244
ZIP CODE: 75504

CHECK TYPE OF SUBMITTAL:

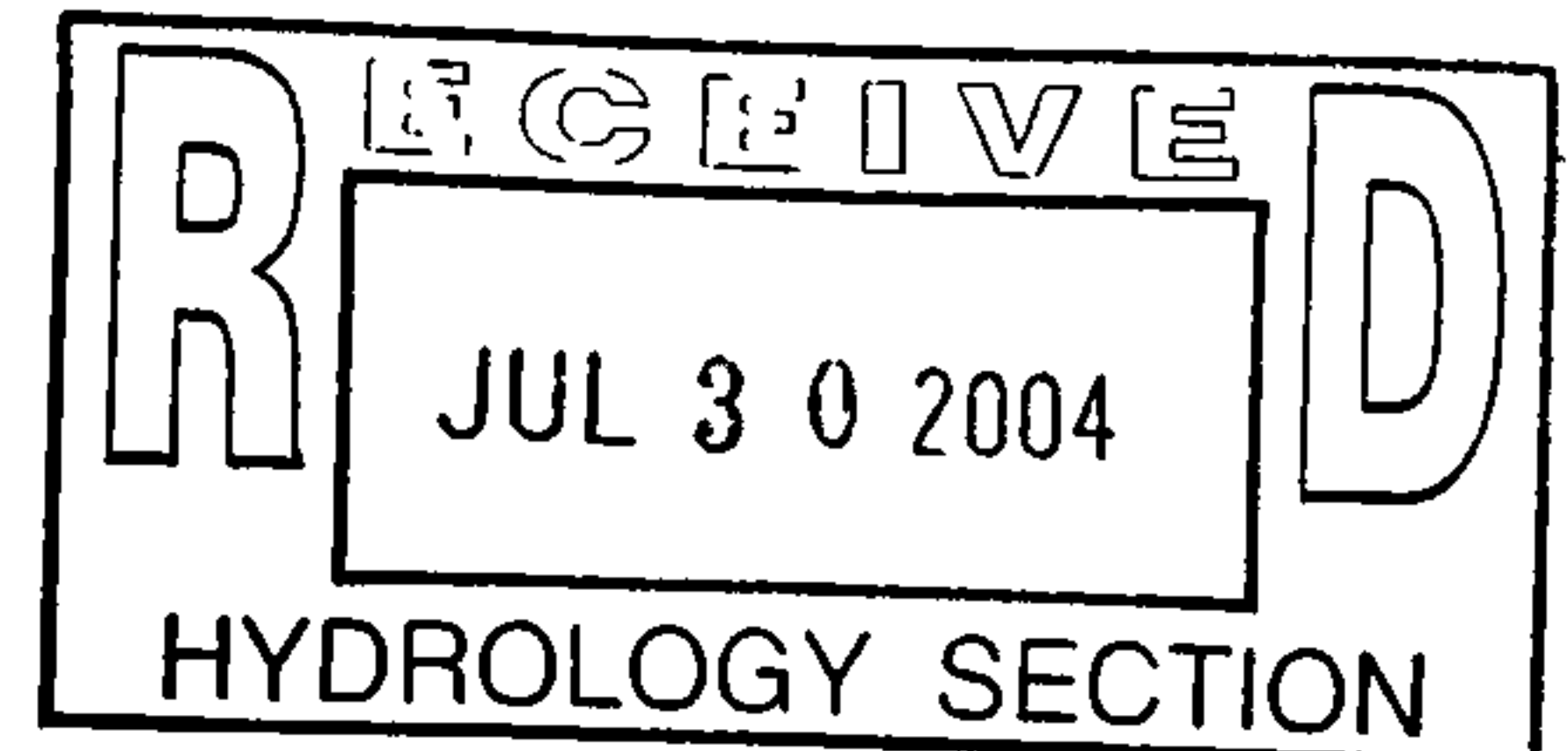
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☒ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 7/30/2204 BY: Tyler J. Ashton, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

July 30, 2004

Mr. Nilo Salgado-Fernandez, PE
Development and Building Services
Public Works Department
PO Box 1293
Albuquerque, NM 87103

**RE: Family Dollar TCL Certification for 30-Day Temporary Certificate of Occupancy
101 86th Street SW, Albuquerque, NM (K-9/D27)**

Dear Nilo:

Tierra West, LLC, requests a 30-Day Temporary Certification of the Approved Traffic Control Layout for the Family Dollar located at 101 86th Street SW. Enclosed please find the information sheet and as-built Traffic Control Layout for the site. The following item needs to be completed prior to Final Certification:

- 1: Complete 86th & Bridge work order & complete final inspection with City of Albuquerque Public Works.

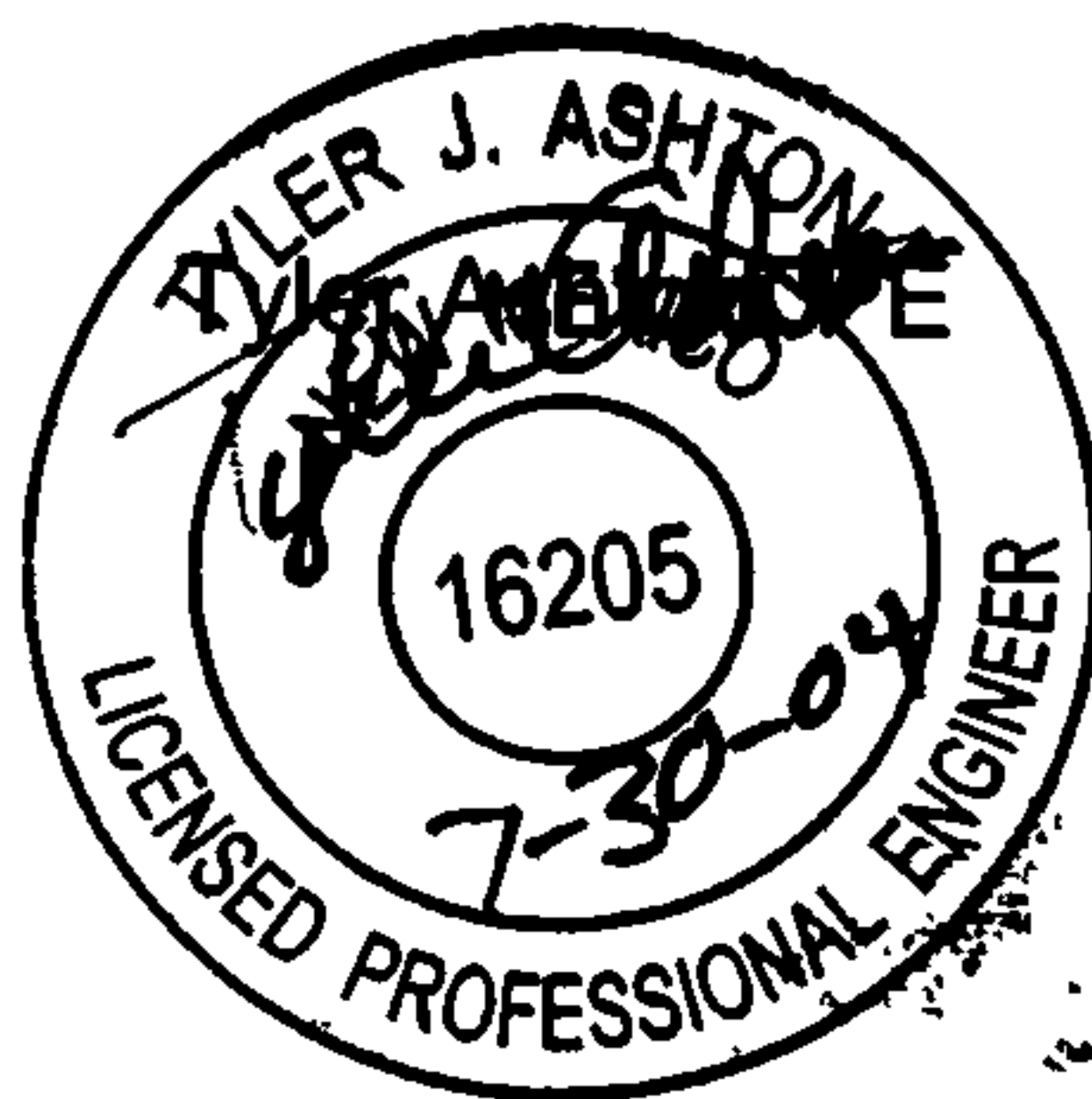
If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Enclosure/s

cc: GBH Construction

JN: 230033
TA/cia



230033 Family Dollar Temp TCL cert.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 23, 2004

Ronald Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

**Re: Family Dollar, 101 86th Street, Traffic Circulation Layout
Engineer's Stamp dated 2-19-04 (K9/D27)**

Dear Mr. Bohannon,

The TCL submittal received 2-23-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept. 
Development and Building Services

cc: file

K-9/027

DRAINAGE AND TRANSPORTATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Family Dollar
DRB # 1002992 EPC #: _____

ZONE MAP/DRG. FILE #: K-9
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract A-26-A2A2, Town of Atrisco Grant
CITY ADDRESS: Located North of Quail Road and West of Coors Boulevard, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 8509 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY
PHONE: (505) 858-3100
ZIP CODE: 87113

OWNER: Family Dollar
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jim Eagan
PHONE: 520-631-9000
ZIP CODE: 85711

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jim Gibbany
PHONE: (602) 371-4902
ZIP CODE: 85028

SURVEYOR: Wayjohn Surveying
ADDRESS: 5643 Paradise Boulevard NW
CITY, STATE: Albuquerque, NM

CONTACT: Russ Hugg
PHONE: (505) 897-3366
ZIP CODE: 87114

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

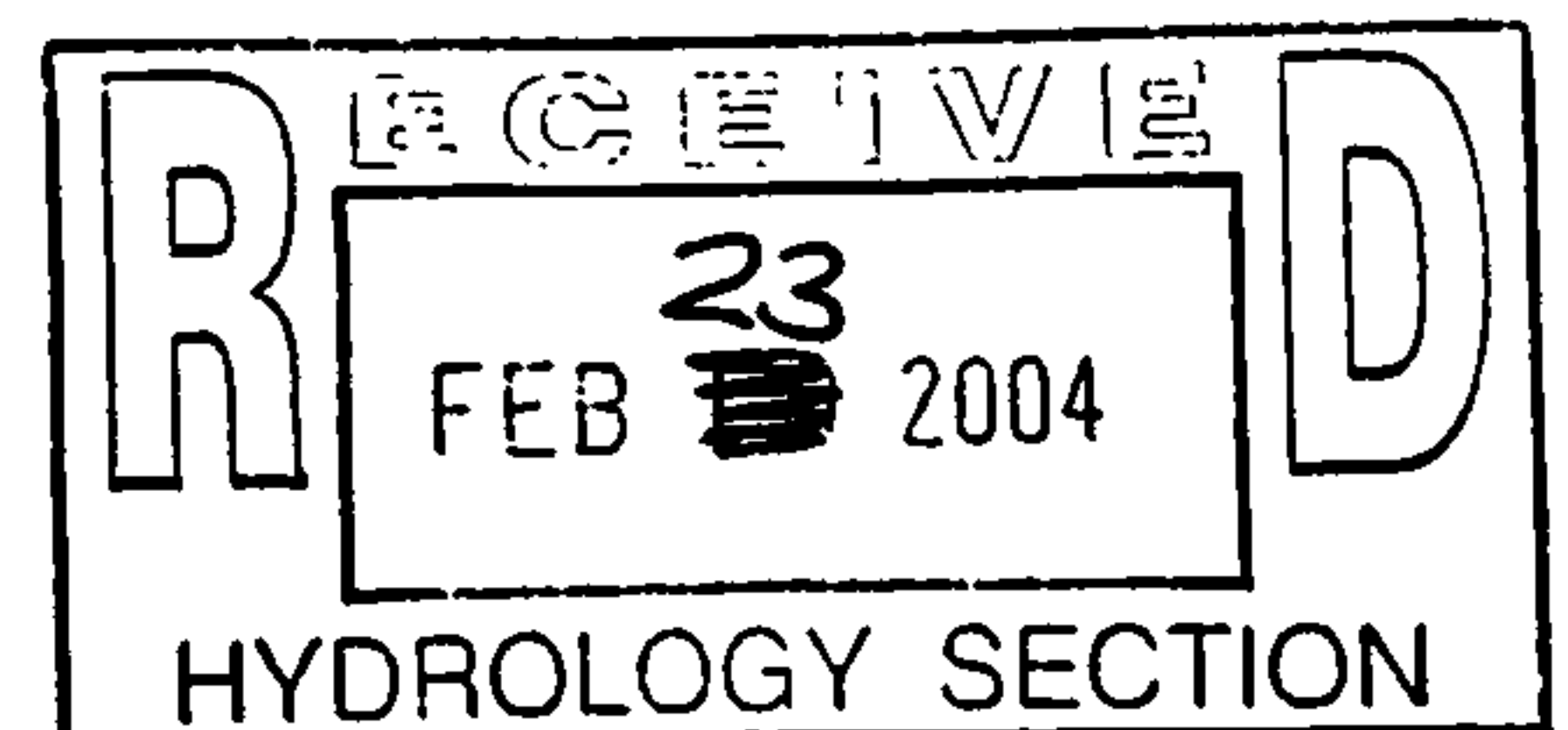
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) Drainage Approval

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/23/04 ~~2/9/2004~~ BY: Tyler J. Ashton, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature,

1. **Conceptual Grading and Drainage Plans** Required for approval of Site Development Plans greater than five (5) acres and Sector
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Tierra West, LLC.

(505) 858-3100

8509 Jefferson NE, Albuquerque, NM 87113

TO Mr. Wilfred Griegos
City of Albuquerque

LETTER OF TRANSMITTAL

DATE: 2/23/04 JOB NO: 230033

ATTENTION: Mr. Wilfred Griegos

RE: Family Dollar
Bridge and 86th

WE ARE SENDING YOU

☒

Attached

☐

Under Separate cover via _____ the following items:

☐

Shop drawings

☐

Prints

☐

Plans

☐

Samples

☐

Specifications

☐

Copy of letter

☐

Change order

☐

COPIES	DATED	NO.	DESCRIPTION
2			Family Dollar - Bridge & 86th
			Resubmittal of Traffic Circulation Layout

THESE ARE TRANSMITTED as checked below:

☐

For approval

☐

Approved as submitted

☐

FOR SIGNATURE(S)

☒

For your use

☐

Approved as noted

☐☒

As requested

☐

Returned for corrections

☐

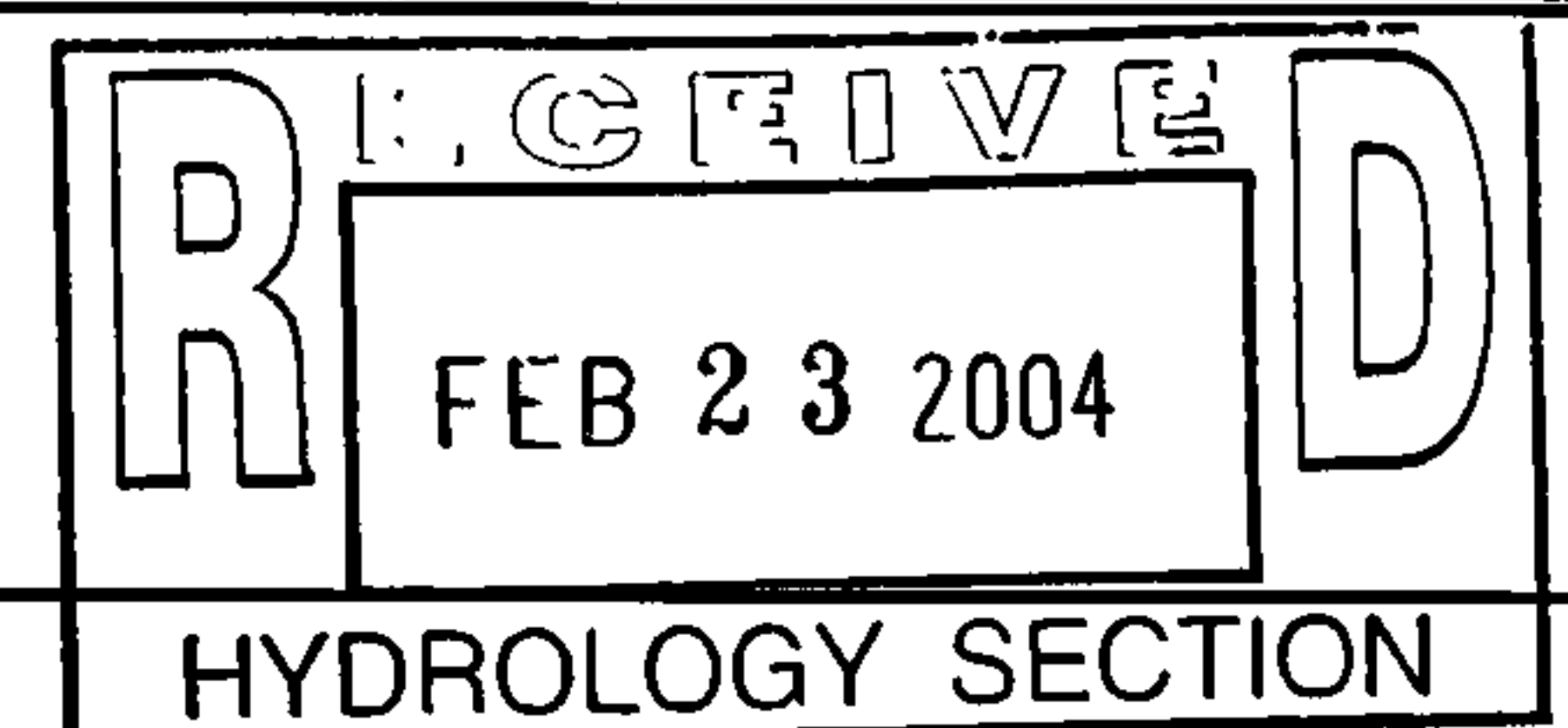
For review and comments

☐☐

FOR BIDS DUE _____ 20 _____

☐

PRINTS RETURNED AFTER LOAN TO US



REMARKS

COPY TO _____

RECEIVED BY _____

SIGNED

Debbie Gale for
Tyler J. Ashton, PE



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 10, 2004

Ronald Bohannon, P.E.
Tierra West, LLC
8509 Jefferson NE
Albuquerque, NM 87113

**Re: Family Dollar, Bridge Blvd. and 86th Street, Traffic Circulation Layout
Engineer's Stamp dated 2-09-04 (K9/D27)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 2-10-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- ✓ 1. List the address of the site.
2. Please show the width of the 2% sloped section of the unidirection ramp detail.
- ✓ 3. Provide directional signing for the southern one way entrance on 86th Street.
- ✓ 4. Install bumpers at the handicapped spaces to prevent encroaching on the sidewalk.
5. Show a detail for the handicap access ramps in the northeast corner of the proposed building.
- ✓ 6. A five foot keyway is required for deadend parking aisles.

If you have any questions, you can contact me at 924-3991.

*Provide directional
striping*

Sincerely,

Wilfred A. Gallegos, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: file

K-9/D27

DRAINAGE AND TRANSPORTATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: Family Dollar
DRB # 1002992 EPC #: _____

ZONE MAP/DRG. FILE #: K-9
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract A-26-A2A2, Town of Atrisco Grant
CITY ADDRESS: Located North of Quail Road and West of Coors Boulevard, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 8509 Jefferson NE
CITY, STATE: Albuquerque, NM

CONTACT: RONALD R. BOHANNAN OR SARA LAVY
PHONE: (505) 858-3100
ZIP CODE: 87113

OWNER: Family Dollar
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jim Eagan
PHONE: 520-631-9000
ZIP CODE: 85711

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: Jim Gibbany
PHONE: (602) 371-4902
ZIP CODE: 85028

SURVEYOR: Wayjohn Surveying
ADDRESS: 5643 Paradise Boulevard NW
CITY, STATE: Albuquerque, NM

CONTACT: Russ Hugg
PHONE: (505) 897-3366
ZIP CODE: 87114

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

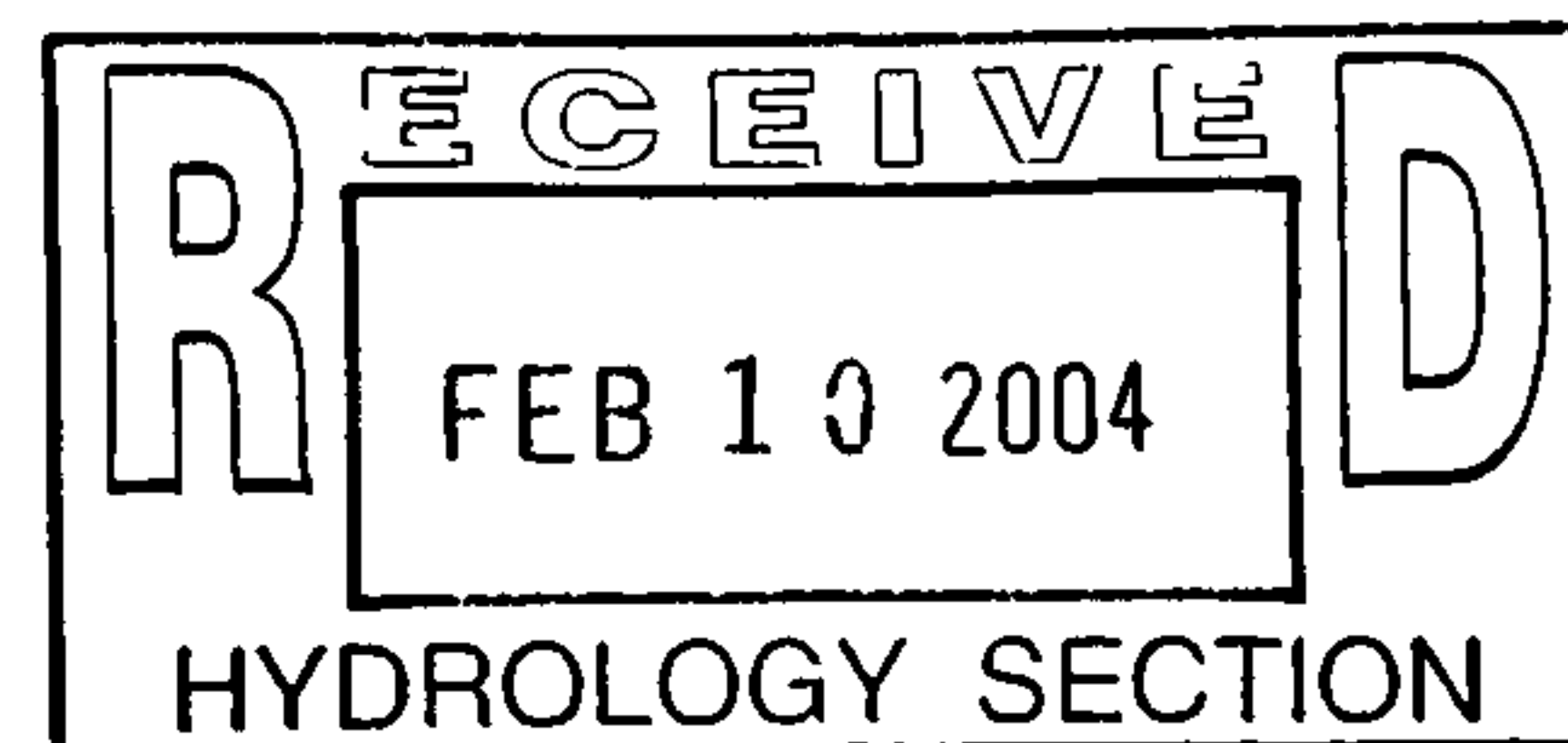
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
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☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) Drainage Approval

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 2/9/2004 BY: Tyler J. Ashton, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature,
1. **Conceptual Grading and Drainage Plans** Required for approval of Site Development Plans greater than five (5) acres and Sector
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



Tierra West, LLC.

(505) 858-3100

8509 Jefferson NE, Albuquerque, NM 87113

TO Mr. Tony Loyd, PE

Transportation Development Section

City of Albuquerque

Development and Building Services

600 2nd Street NW, 87102

LETTER OF TRANSMITTAL

DATE: 2/9/2004	JOB NO: 230033
ATTENTION: Mr. Tony Loyd, PE	
RE: Family Dollar	

WE ARE SENDING YOU ☒ Attached ☐ Under Separate cover via _____ the following items:

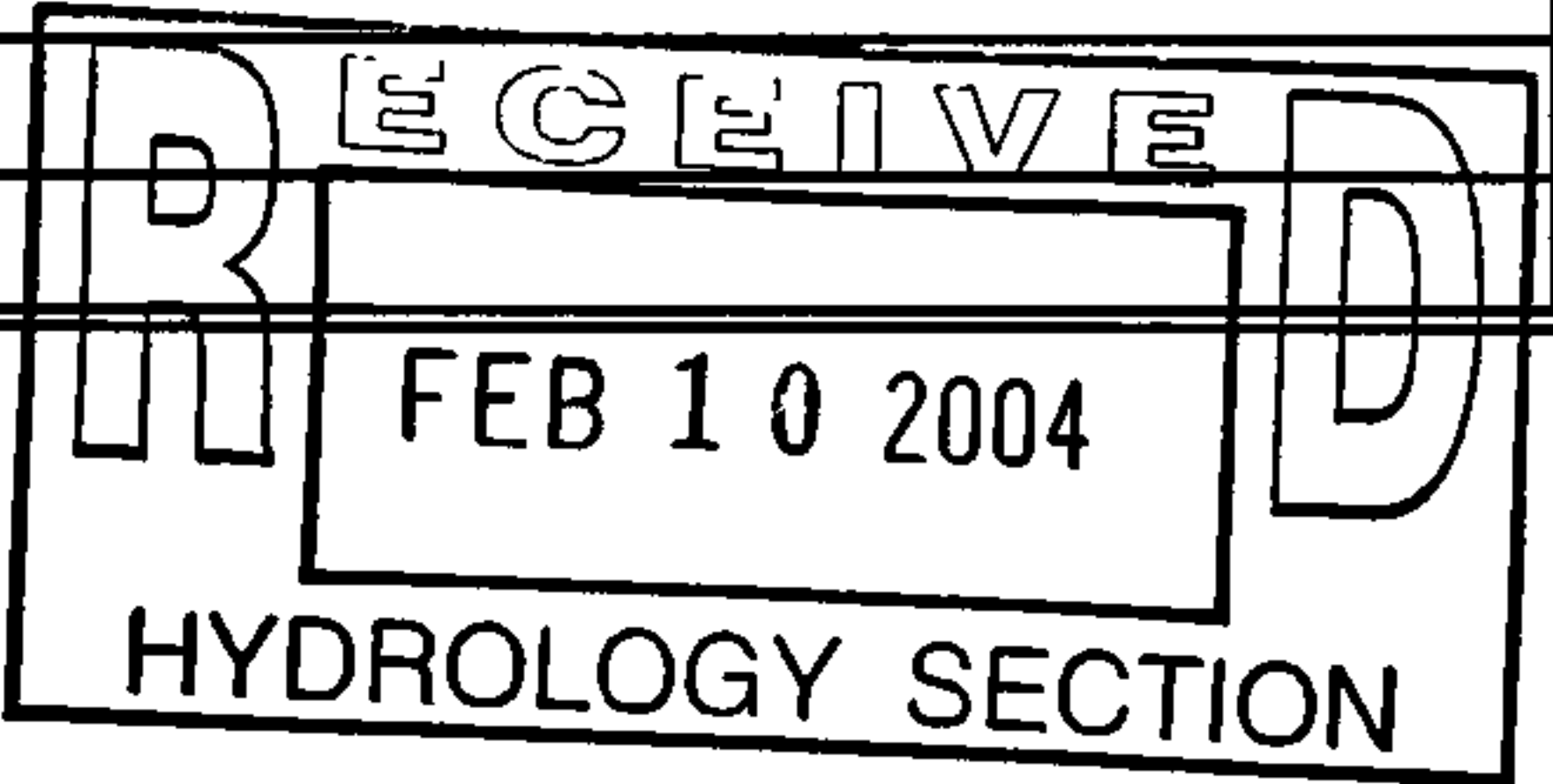
☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications

☐ Copy of letter ☐ Change order ☐ _____

COPIES	DATED	NO.	DESCRIPTION
1			Letter
1			Drainage and Transporation Sheet
1			Traffic Circulation Layout

THESE ARE TRANSMITTED as checked below:

<input type="checkbox"/> For approval	<input type="checkbox"/> Approved as submitted	<input type="checkbox"/> FOR SIGNATURE(S)
<input type="checkbox"/> For your use	<input type="checkbox"/> Approved as noted	<input type="checkbox"/> _____
<input type="checkbox"/> As requested	<input type="checkbox"/> Returned for corrections	
<input type="checkbox"/> For review and comments	<input type="checkbox"/> _____	
<input type="checkbox"/> FOR BIDS DUE _____ 20 _____	<input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US	



REMARKS

COPY TO _____

RECEIVED BY _____

SIGNED Melissa J. Ratliff for
Tyler Ashton, P.E.

TIERRA WEST, LLC

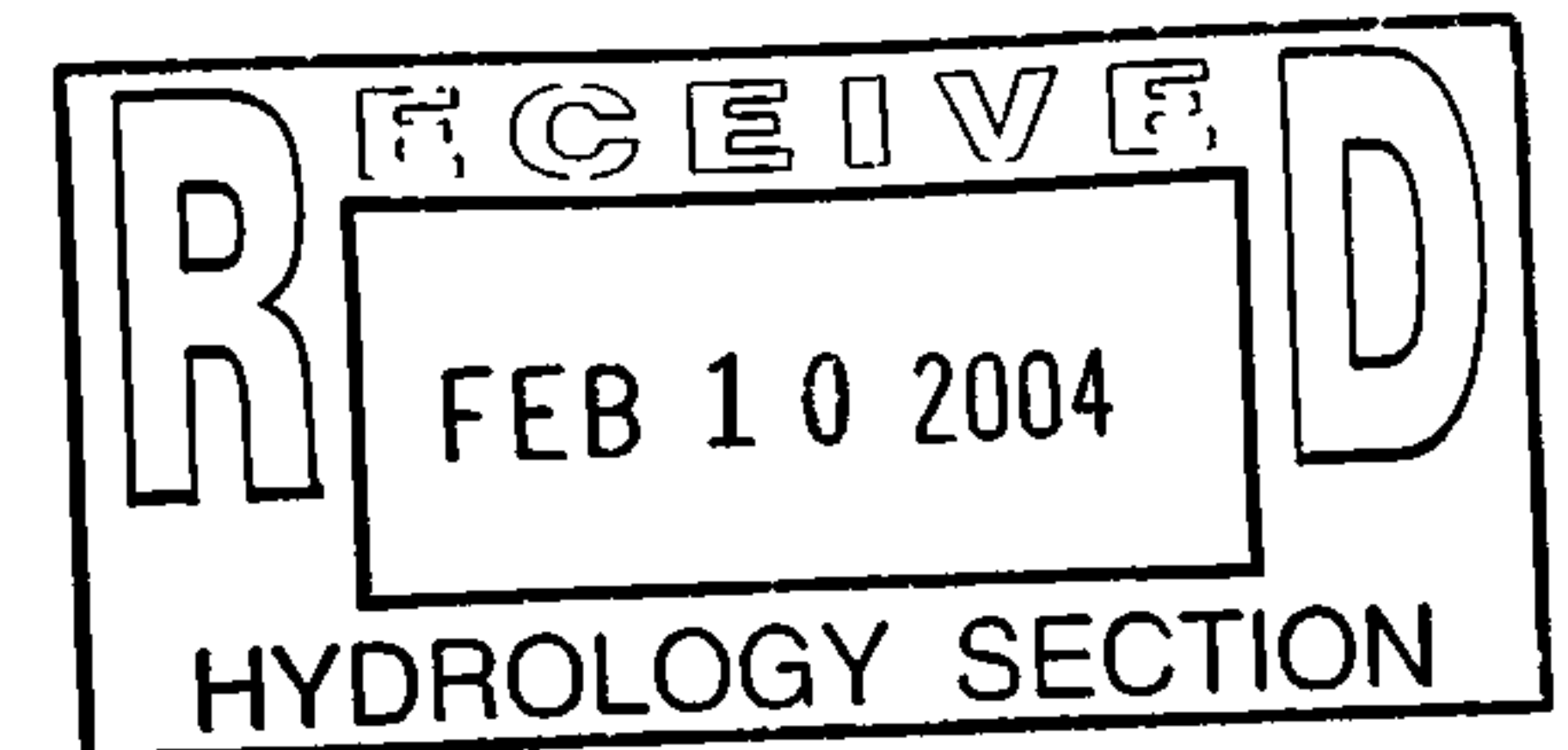
8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

February 9, 2004

Mr. Tony Loyd, PE
Transportation Development Section.
City of Albuquerque
Development and Building Services
600 2nd Street NW, 87102



RE: Family Dollar TCL # 1002992

Dear Mr. Loyd:

The proposed Family Dollar is located at the northwest corner of 86th Street and Bridge Boulevard. This development will consist of a 9,180 square foot retail store. The traffic circulation for the site is as follows: employees and customers will use the northern entrance on 86th, and the southern one-way entrance on 86th will be used for deliveries and refuse pick-up only. Currently the only developed site bordering the proposed store is a Phillips 66 to the north; this development will not impact that site. A driveway variance was obtained from DRB (Project #1002992).

The development of this site is consistent with the DPM, Chapter 23, Transportation section. It is recommended this TCL be approved for Building Permit.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink that reads "Tyler Ashton".

Tyler J. Ashton, PE

Enclosure/s

JN: 230033
TA/db

230033 T Loyd TCL 2904