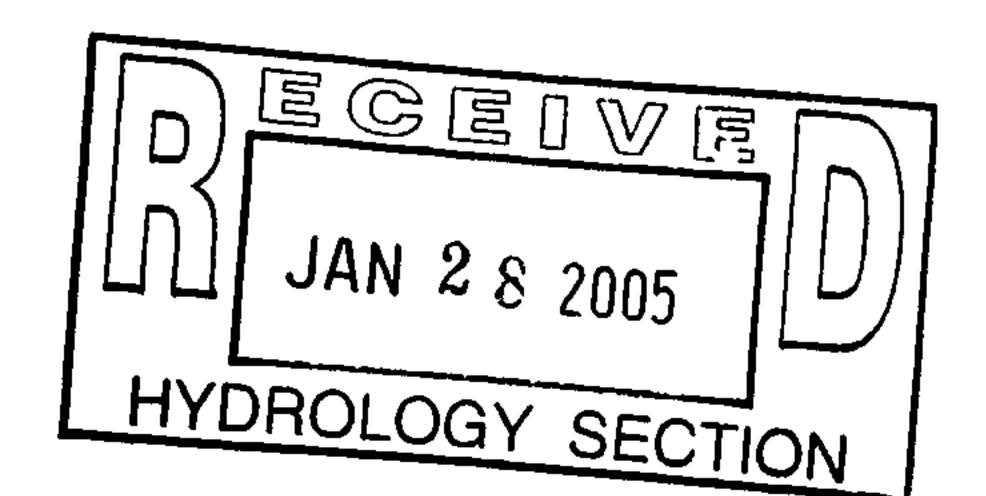
TIERRA WEST, LLC

K-9/D27

8509 Jefferson NE Albuquerque, NM 87113 (505) 858-3100 fax (505) 858-1118 twllc@tierrawestllc.com 1-800-245-3102

January 28, 2005



Ms. Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87113

RE: Family Dollar, 101 86th Street SW, Certificate of Occupancy (K9-D27)

Dear Ms. Metro:

Tierra West, LLC, did not submit any information for a permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannan, PE

JN: 23033 RRB/dg

23033 K Metro Cert. Of Occp Ltr. 0127005

· CITY OF ALBUQUERQUE



January 24, 2005

Ronald Bohannan, P.E. Tierra West, LLC 8509 Jefferson NE Albuquerque, NM 87113

Re: Family Dollar, 101 86th Street SW, Certificate of Occupancy (K9-D27)

Dear Mr. Bohannan,

Based upon the information provided in your submittal received 1-24-05, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

Sincerely,

Kristal D. Metro

If you have any questions, you can contact me at 924-3981.

P.O. Box 1293

Albuquerque

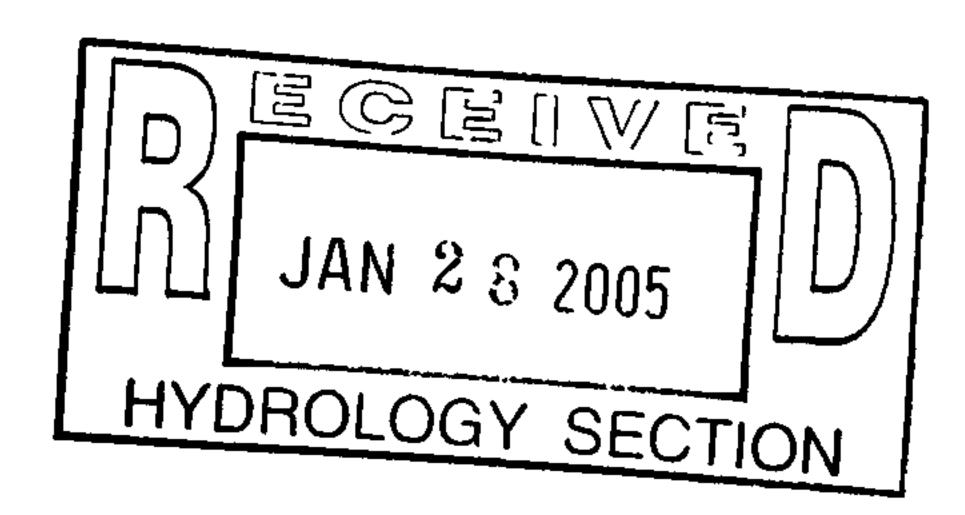
New Mexico 87103

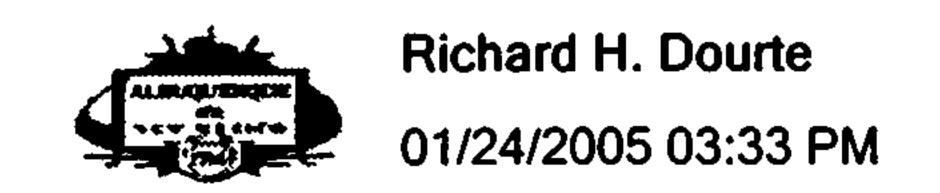
C: Phyllis Villanueva

file

www.cabq.gov

Engineering Associate, Planning Dept.
Development and Building Services





To: Kristal D. Metro/PLN/CABQ@COA, Nilo E. Salgado-Fernandez/PWD/CABQ@COA

cc: Wilfred A. Gallegos/PLN/CABQ@COA, BBingham@cabq.gov@COA Subject: Perm. co for Dollar Store at 86th and Bridge

Kristal, Nilo,

Please provide the letters for the perm. co for the site referenced above.

Thanks, if you have any question let me know.

Richard Dourte Development and Building Services Div. Planning Dept.

CITY OF ALBUQUERQUE



July June 30, 2004

Mr. Ron Bohannan, P.E. TIERRA WEST, LLC 8509 Jefferson St. NE Albuquerque, NM 87113

8/26/04 Extend temp CO for 30 days

22-27

Re:

FAMILY DOLLAR

101 86th ST. SW

Approval of Temporary Certificate of Occupancy (C.O.)

Engineer's Stamp dated 12/19/2003 (K-9/D27)

P.O. Box 1293

Certification dated 07/30/2004

Dear Ron,

Albuquerque

Based upon the information provided in your submittal received 07/30/2004, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

New Mexico 87103

Upon completion of the Exceptions listed in your Drainage Certification, please resubmit an updated certification.

www.cabq.gov

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo

Plan Checker, Planning Dept. - Hydrology Development and Building Services

Bus

C: Phyllis Villanueva

File

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	Family Dollar	ZONE MAP/DRG. FILE #: K-9/D27						
DRB #1002992	EPC #:	WORK ORD	ER #: 7356.81					
LEGAL DESCRIPTION:	Tract A-26-A2A2, Town of Atrisco Grant							
CITY ADDRESS:	101 86th Street SW		· · · · · · · · · · · · · · · · · · ·					
ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOHANNAN OR SARA LAVY					
ADDRESS:	8509 Jefferson NE	PHONE:	(505) 858-3100					
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113					
	Cample Dallas	CONTACT.	• -					
OWNER:	Family Dollar	CONTACT:	Jim Eagan					
ADDRESS:	1021 Old Monroe Rd	PHONE:	520-631-9000					
CITY, STATE:	North Carolina	ZIP CODE:	85711					
ARCHITECT:	Joe Crews	CONTACT:						
ADDRESS:	Rt. 2 Box 327 JB	PHONE:	(002) 702 6261					
		ZIP CODE:	(903) 793-6361					
CITY, STATE:	Texarkana, AR		75501					
SURVEYOR:	Precision Survey	CONTACT:	Russ Hugg					
ADDRESS:	8414-D Jefferson Street NE	PHONE:	(505) 897-3366					
CITY, STATE:	Albuquerque, NM 87113	ZIP CODE:	87114					
OITT, OTATE.	Amadaerdae, Mar O7 110							
CONTRACTOR:	GBH Construction	CONTACT:						
ADDRESS	P.O. Box 3379	PHONE:	(870) 794-4244					
CITY, STATE	Texarkana, AR	ZIP CODE:	75504					
CHECK TYPE OF SUBMIT	<u>TAL:</u>	CHECK TYPE OF AP	PROVAL SOUGHT:					
DRAINAGE REPO	ORT	SIA / FINAN.	ACIAL GUARANTEE RELEASE					
DRAINAGE PLAN	I 1st SUBMITTAL, REQUIRES TCL or equal	PRELIMINAI	RY PLAT APPROVAL					
DRAINAGE PLAN F	RESUBMITTAL	S. DEV. PLA	NN FOR SUB'D. APPROVAL					
	RADING & DRAINAGE PLAN		N FOR BLDG. PERMIT APPROVAL					
GRADING PLAN			AN APPROVAL					
EROSION CONTI			APPROVAL					
	RTIFICATION (HYDROLOGY)		ON PERMIT APPROVAL					
CLOMR/LOMR	ATION LAVOUT (TOL)		PERMIT APPROVAL					
	LATION LAYOUT (TCL) RTIFICATION (TCL)		TE OF OCCUPANCY (PERM.)					
	RTIFICATION (TOL)		TE OF OCCUPANCY (TEMP.) ERMIT APPROVAL					
OTHER	THE TOATION (DIED AFFIN. SITE FLAN)		RMIT APPROVAL					
			ER APPROVAL					
		OTHER (SPI						
WAS A PRE-DESIGN CON	IFERENCE ATTENDED:							
YES								
XNO								
COPY PROVIDED)							
	2 mb 4							
DATE SUBMITTED:	2004 7/30/ 2204	BY: Tyler J. Ashtor	ı, PE					

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 23, 2004

Ronald Bohannan, P.E. Tierra West, LLC 8509 Jefferson NE Albuquerque, NM 87113

Family Dollar, 101 86th Street, Grading and Drainage Plan Re: Engineer's Stamp dated 12-19-03 (K9/D27)

Dear Mr. Bohannan,

Based upon the information provided in your submittal received 2-17-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.

Development and Building Services

C:

Charles Caruso, DMD Storm Drainage Design

File

505-858-1118

K-9/027

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	Family Dollar	 _	ZONE MAP/DRG. FILE #: K-9 WORK ORDER #:					
DRB #1002992	EPC #:							
	Tract A-26-A2A2, Town of Atrisco Grant	Boulovard Albuduarrus NM	101 8674 54					
CITY ADDRESS:	Located North of Quail Road and West of Coors	Bodieraid, Moderaci Initi						
ENGINEERING FIRM:	Tierra West, LLC	CONTACT: RON	ALD R. BOHANNAN OR SARA LAVY					
ADDRESS:	8509 Jefferson NE		858-3100					
CITY, STATE:	Albuquerque, NM	ZIP CODE: <u>8711</u>	<u> </u>					
AMMED.	Family Dollar	CONTACT: Jim E	egan					
OWNER: ADDRESS:			31-9000					
CITY, STATE:		ZIP CODE: 8571	<u> </u>					
A PACUTEAT.		CONTACT: Jim G	ibbany					
ARCHITECT:			371-4902					
ADDRESS: CITY, STATE:		ZIP CODE: 8502						
		CONTACT: Russ	Hugg					
SURVEYOR:	Waylohn Surveying 5643 Paradise Boulevard NW		897-3366					
ADDRESS: CITY, STATE:	Albuquerque, NM	ZIP CODE: 8711						
CONTRACTOR:		CONTACT:						
ADDRESS:		PHONE: ZIP CODE:						
DRAINAGE PLAN	PORT IN 1st Submittal, <i>Requires TCL of equal</i> RESUBMITTAL GRADING & DRAINAGE PLAN	PRELIMINARY PL S. DEV. PLAN FOR S. DEV. PLAN FOR SECTOR PLAN AR FINAL PLAT APPR FOUNDATION PE BUILDING PERMI CERTIFICATE OF	GUARANTEE RELEASE AT APPROVAL R SUB'D. APPROVAL R BLDG. PERMIT APPROVAL PROVAL ROVAL RMIT APPROVAL T APPROVAL OCCUPANCY (PERM.) OCCUPANCY (TEMP.) T APPROVAL APPROVAL PPROVAL					
WAS A PRE-DESIGN CO YES X NO COPY PROVIDE	NFERENCE ATTENDED:		Roman 104					
DATE SUBMITTED:	2/17/2004	BY: <u>Tyler J. Ashton, PE</u>						

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature,

- 1. Conceptual Grading and Drainage Plans Required for approval of Site Development Plans greater than five (5) acres and Sector
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 9, 2004

Ronald Bohannan, P.E. Tierra West, LLC 8509 Jefferson NE Albuquerque, NM 87113

Re: Family Dollar, Bridge Blvd. and 86th Street, Site Development Plan Engineer's Stamp dated 12-19-03 (K9/D27)

Dear Mr. Bohannan,

Based upon the information provided in your submittal received 12-22-03, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, prior to building permit submittal, please address the following comments:

- 1. Please denote all items to be built under a separate work order. Note this information on the site plan and the grading and drainage plan.
- 2. Show more spot elevations.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradt J. Byll

Bradley L. Bingham, PE

Principal Engineer, Planning Dept. Development and Building Services

C: file

K-9/027

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	Family Dollar		DRG. FILE #: K-9 / D27
DRB #:	EPC #:	WORK ORD	E <u>R #:</u>
LEGAL DESCRIPTION:	Tract A-26-A2A2, Town of Atrisco Grant		
CITY ADDRESS:	Located North of Quail Road and West of Coors	s Boulevard, Albuquergue, N	M
		OONTAOT.	
ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOHANNAN OR SARA LAVY
ADDRESS:	8509 Jefferson NE	PHONE: ZIP CODE:	(505) 858-3100 87113
CITY, STATE:	Albuquerque, NM		0/113
OWNER:	Family Dollar	CONTACT:	Jim Eagan
ADDRESS:		PHONE:	520-631-9000
CITY, STATE:		ZIP CODE:	85711
ADCHITECT:		CONTACT:	Jim Gibbany
ARCHITECT: ADDRESS:		PHONE:	(602) 371-4902
CITY, STATE:		ZIP CODE:	85028
OHI, SIAIE.			
SURVEYOR:	Wayjohn Surveying	CONTACT:	Russ Hugg
ADDRESS:	5643 Paradise Boulevard NW	PHONE:	(505) 897-3366
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87114
AANTO AATAD.		CONTACT:	
CONTRACTOR: ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
GRADING PLAN EROSION CONT ENGINEER'S CE CLOMR/LOMR TRAFFIC CIRCU ENGINEERS CE	SRADING & DRAINAGE PLAN I TROL PLAN ERTIFICATION (HYDROLOGY) JLATION LAYOUT (TCL) ERTIFICATION (TCL) ERTIFICATION (DRB APPR. SITE PLAN) ONFERENCE ATTENDED:	S. DEV. PLASECTOR PI SECTOR PI FINAL PLASE FOUNDATION BUILDING I CERTIFICAT CERTIFICAT GRADING I PAVING PE WORK ORD OTHER (SP	AN FOR SUB'D. APPROVAL AN FOR BLDG. PERMIT APPROVAL LAN APPROVAL ON PERMIT APPROVAL PERMIT APPROVAL TE OF OCCUPANCY (PERM.) TE OF OCCUPANCY (TEMP.) PERMIT APPROVAL RIGHT APPROVAL DER APPROVAL DER APPROVAL DECIFY) Drainage Approval
1. Conceptual Grand	Site Development Plans and/or Subdivision Plats ading and Drainage Plans: Required for approves: Required for building permits, grading permits, ort: Required for subdivisions containing more that	ral of Site Development Plans paving permits and site plan	Irainage submittal. The particular nature, s greater than five (5) acres and Sector s less than five (5) acres.
			HYDROLOGY SECTION

TRANSMISSION OK

TX/RX NO

0832

CONNECTION TEL

98581118

SUBADDRESS CONNECTION ID

ST. TIME

02/10 08:21

USAGE T

00'33

PGS.

2

RESULT OK

City of Albuquerque
Planning Department
505-924-3900 (main number)
505-924-3864 (fax number - 2nd Level)
505-924-3440 (fax number - 4th Floor)
Development and Building Services (One Stop Shop)
600 2nd Street NW
Albuquerque, NM 87102

City of Albuquerque Planning Dept. Dev. & Bldg. Srvcs.



To:	Ron Bohannan	From:		Kristal Metro				
Fax:	858-1118	Pages	Sent	(including this page)	2			
Phone	Phones			February 10,	2004			
	ent For Review	☐ Please Comment		ase Reply	□ Please Recycle			
Comn	nents:							
	Family Dollar Site D	evelopment Plan Sub	<u>mittal</u>					
	<u> </u>	· · · - · · · · · · · · · · · · · · · ·			· •• •••••••••••••••••••••••••••••••••			
			<u>.</u>		<u> </u>			
			***	<u>. </u>				

5710

LETTER OF TRANSMITTAL

		Herra West	, LLC.		DATE: 12/	22/03	JOB NO:	230033	
					ATTENTION:	Brad Bing	ham		_
		(505) 858-3	100						<u> </u>
•	8509 Je	,	uerque, NM 87113	3	RE: Family D	Oollar Drain	age Report	<u></u>	
		,						·	
ТО	Brad Binghan	n				<u>-</u>		<u> </u>	
	City of Albuq			·				····	
	Plaza Del Sol			·		<u>-</u>			
	600 N. Second		· ·					<u>. </u>	
	Albuquerque,		(505) 924-3986						
WE A	ARE SENDING Y		Attached		Under Separate o	over vie		tha fallaccina itam	
** L. ?	<u> </u>				Under Separate c	over via		the following item	is:
	Shop drawings		Prints		Plans		Samples	Specification	ons
	Copy of letter		Change order						
	CODIEC		NtO			DECCD	IDTION	· · · · · · · · · · · · · · · · · · ·	
<u></u>	COPIES	DATED	NO.			DESCR	IPTION		
	l copy			Family	Dollar Drainage Re	eport			
	· · · · · · · · · · · · · · · · · · ·			_					
							<u>,</u>		
		·							
							<u>, </u>		
							<u> </u>		
	<u> </u>	<u> </u>							
									
THE	ESE ARE TRA	NSMITTED as che	ecked below:						
X	For approval		Approved as submit	tad Date	FOR SIGNATUR	DE/C)			
	Tor approvar		Approved as submit		FUR SIGNATUR	XE(S)			
X	For your use		Approved as noted						
v	-]		D. 4						
Λ	As requested		Returned for correct	tions					
	For review and	comments							
]	<u></u>							
	FOR BIDS DU	E	20		PRINTS RETU	URNED A	AFTER LOA	NTOUS	
		REMARKS			T (C)	S U V	国力		
				<u>-</u> "			-1111		
					11-51	2 2 2003	3 1 1		
					TITI DE C			-·	
					HYDROL	SCV SE	CTION		
					HYDROL				
COP	Y TO								
						Deb	bie Gale for		
REC	EIVED BY				SIGNE	ED Tyle	er J. Ashton, l	PE	
			· ·					···	

DRAINAGE REPORT

for

Family Dollar Northwestern corner of Bridge Boulevard and 86th Street Albuquerque, New Mexico

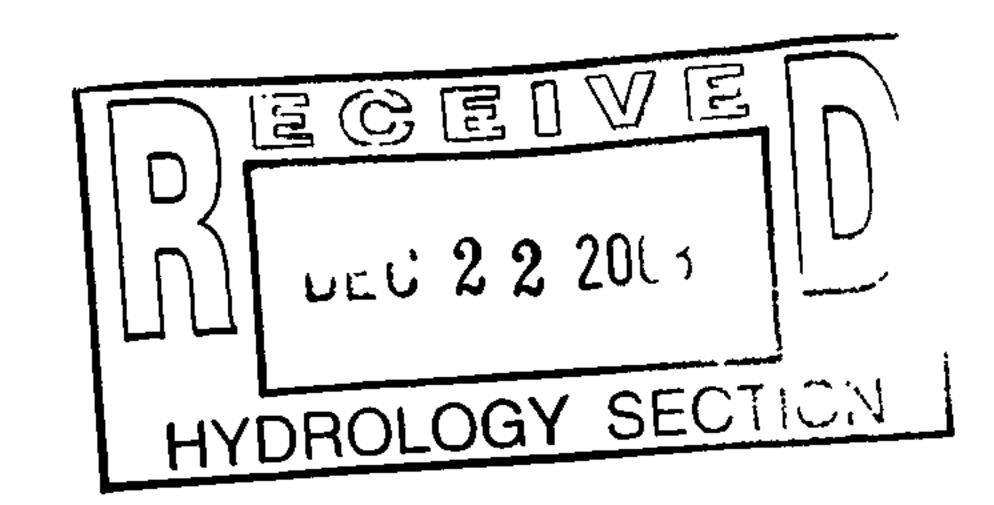
Prepared by:

Tierra West, LLC 8509 Jefferson NE Albuquerque, New Mexico 87113

December, 2003

I certify that this report was prepared under my supervision, and I am a registered professional engineer in the State of New Mexico in good standing.

Job No 230033



-Ronald R/Bohannan

PE NO. 7868

TABLE OF CONTENTS

Purpose	•
Introduction	******
Vicinity Map, Exhibit A	2
FIRM Map, Exhibit B	· · · · ·
Existing Conditions	6
Proposed Conditions	6
Summary	6
Runoff Calculations	7-8
Map Pockets	
Site Grading and Drainage Plan, Map Pocket A	A
Developed Conditions Basin, Map Pocket B	B

PURPOSE

The purpose of this report is to provide the drainage management plan for the development of Lots 1-3 along Bridge Boulevard, Block 5 of the original townsite of westland A-26-A2A2 within the Town of Atrisco Grant. This plan will be utilized for the development of the subject property as a Family Dollar store. This plan is in accordance with the DPM, Chapter 22, Hydrology Section. The purpose of this report is to provide the drainage analysis and management plan for the new store.

INTRODUCTION

The subject of this report, as shown on the Exhibit A vicinity map, is a 1.12-acre parcel of land located at the northwest corner of Bridge Blvd. and 86th St.. The site is in the City of Albuquerque, Bernalillo County, New Mexico and is currently undeveloped. The legal description of the property is Lots 1-3 along Bridge Boulevard, Block 5 of the original townsite of westland A-26-A2A2 within the Town of Atrisco Grant. As shown on FIRM map 35001C0328D, the site does

not lie within any flood zone.

Exhibit A- Vicinity Map

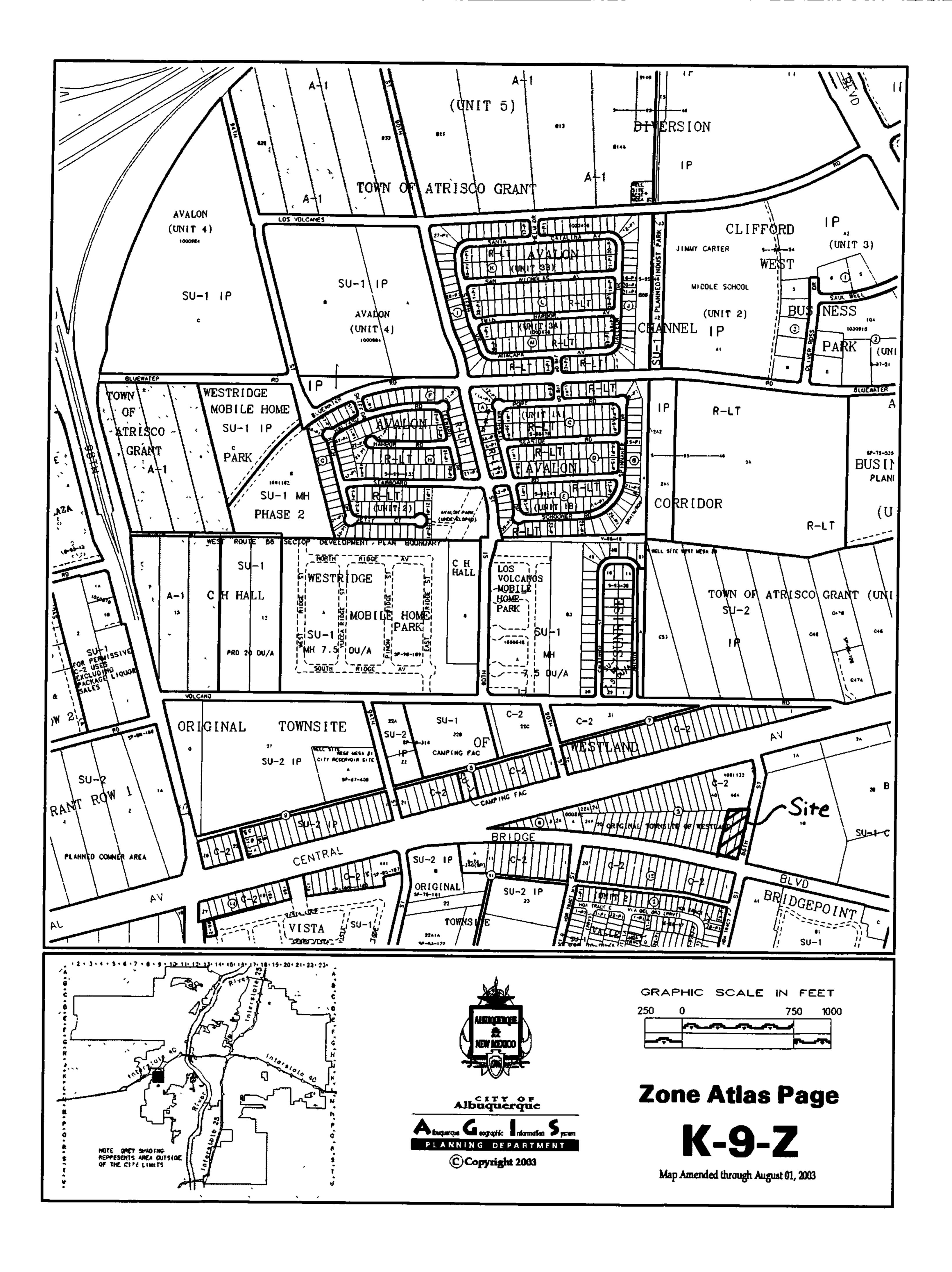
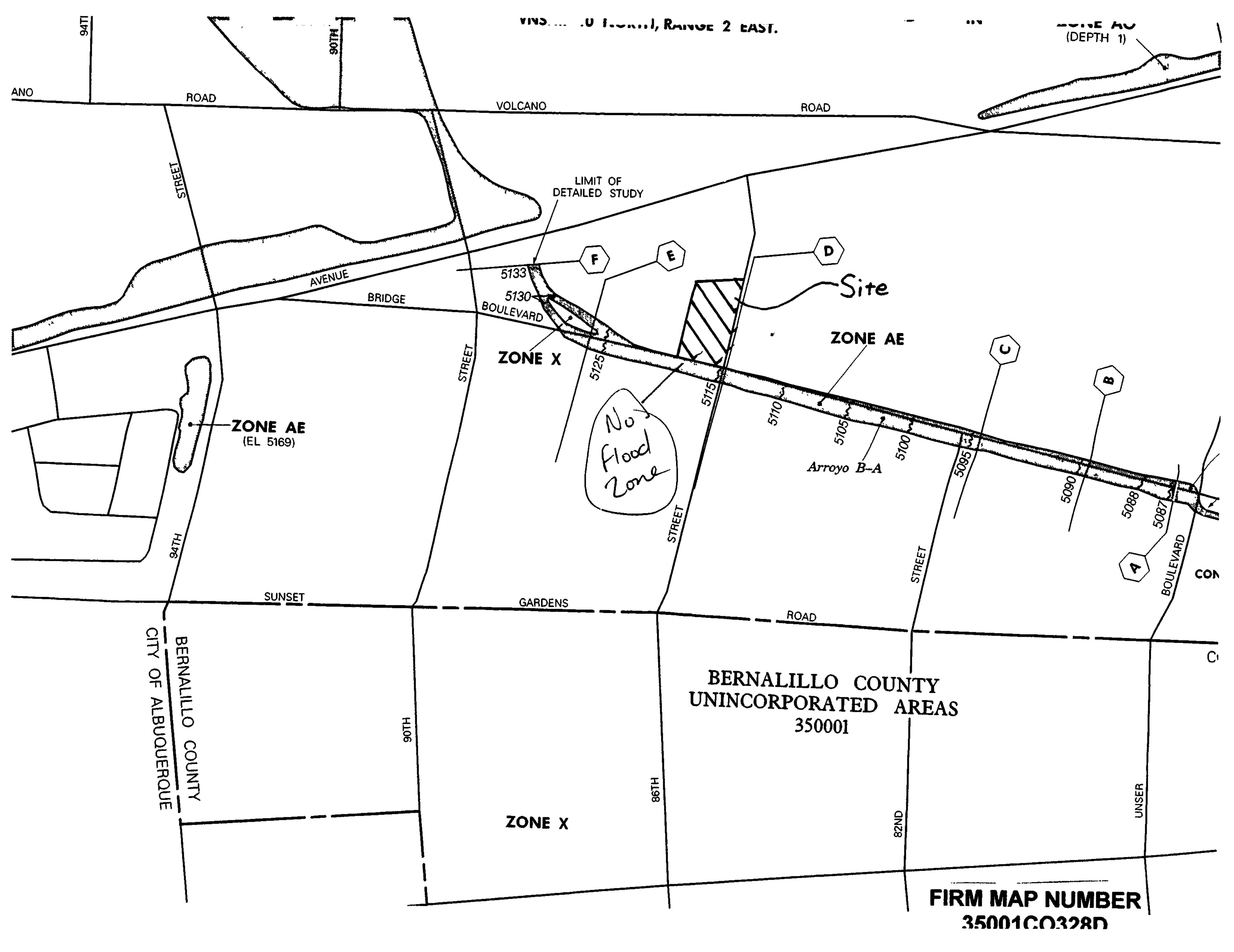


Exhibit B – FIRM Map



EXISTING CONDITIONS

The site is currently undeveloped and slopes from northwest to southeast. The 1.12-acre site currently drains into a storm drain in Bridge Boulevard. The property to the north of the site is a Phillips 66 gas station and freely discharges into 86th street and into the storm drain in Bridge. The rest of the land around the property is undeveloped and also drains to the Bridge storm drain.

PROPOSED CONDITIONS

The proposed improvements consist of the construction of a 9,180 square foot Family Dollar store and its associated parking lot. The site has been split into 2 basins, the storm runoff from these basins will flow to the south and east into Bridge Boulevard and 86th Street and into the existing storm drain system in Bridge.

Basin 1 includes the north parking area and the north half of the roof, and generates 2.63 cfs. The runoff from the basin will flow into 86th Street and south to a catch basin and into the Bridge storm drain system. A land treatment of 21%B and 79% D was used to generate the runoff numbers for basin 1.

Basin 2 includes the paved delivery area and the south half of the roof and generates 1.55 cfs. A portion of the runoff from the basin will flow east to 86th Street and a portion will flow south to Bridge into catch basins that will be constructed. A land treatment of 37%B and 63% D was used to generate the runoff numbers for basin 2.

SUMMARY AND RECOMMENDATIONS

This site freely discharges into the Bridge storm drain, which currently ends at the property. Storm drain infrastructure will be constructed to convey these flows along with existing flows into the system. The development of this site is consistent with the DPM, Chapter 22, Hydrology section. It is recommended this development be approved for rough grading and Site Plan for Building Permit.

<u>CALCULATIONS</u>

EXISTING CONDITION

Total Area = 48786 sf Impervious Area = 48786 sf Pervious Area = 0 sf

DEVELOPED CONDITION

Total Area = 48,786 sf Impervious Area = 35,284 sf Pervious Area = 13,502 sf

Basin 1

Total Area = 29,497 sf Impervious Area = 23,311 sf Pervious Area = 6,816 sf

Basin 2

Total Area = 19,289 sf Impervious Area = 12,153 sf Pervious Area = 7,136 sf

Weighted E Method

Zone #1

Developed Basins

			· · · · · · · · · · · · · · · · · · ·										100-Year			10-Year	
Basin	Area	Area	Area	Treat	ment A	Treat	ment B	Treat	ment C	Treat	ment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
	(sf)	(acres)	(sq miles)	%	(acres)	%	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)	(ac-ft)	cfs
1	29497.00	0.677	0.00106	0%			0.142	0%	0	79%	0.535	1.697	0.096	2.63		0.058	
2	19289.00	0.443	0.00069	0%	0	37%	0 164	0%	0	63%	0.279	1.489	0.055	1.55	0.863		1.6
											<u> </u>		0.000	1.00	0.003	0.032	0.9
	48786.00	1.12		- <u>-</u>	0.00		0.31		0 00		0.81		0.15	4.18			——————————————————————————————————————

Existing Basins

						-							100-Year			10-Year	
Basin	Area	Area	Area	Treat	ment A	Trea	tment B	Trea	tment C	Treat	ment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow
	(sf)	(acres)	(sq miles)	%	(acres)	%_	(acres)	%	(acres)	%	(acres)	(ac-ft)	(ac-ft)	cfs	(ac-ft)	(ac-ft)	
1	48786.00	1.120	0.00175	0%	0	0%		100%	1 119972	0%	0.000	0.990	0.092	3.21	0.440	0.041	<u> </u>
	48786 00	1.12			0.00		0.00		1 12		0.00		0.09	3.21	<u> </u>	0.041	1.67

Equations:

Weighted E = Ea*Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

MAP POCKET A

SITE GRADING AND DRAINAGE PLAN Family Dollar

MAP POCKET B Proposed Basin Map

Family Dollar

10

TIERRA WEST, LLC

8509 Jefferson NE Albuquerque, NM 87113

(505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

HYDROLOGY SECTION

AUG 2 6 2004

国(]国)

August 26, 2004

Mr. Nilo Salgado-Fernandez, PE Development and Building Services Public Works Department PO Box 1293

Albuquerque, NM 87103

RE:

TCL Certification for 30-Day Extension of the Temporary Certificate of Occupancy

Family Dollar

101 86th Street SW, Albuquerque, NM (K-9/D27)

Dear Nilo:

Tierra West, LLC, requests a 30-Day Extension of the Temporary Certification of the Approved Traffic Control Layout for the Family Dollar located at 101 86th Street SW. Due to a required design change for the City of Albuquerque work order portion of the project, it will be necessary to extend the length of the Temporary Certificate of Occupancy for an additional 30 days. The revised design is currently in the approval process and we expect to complete all work associated with the project as soon as possible. The purpose of this request is to allow the store to continue operations while this process is completed.

The following item needs to be completed prior to Final Certification:

(1) Revised design change approval by City of Albuquerque DRC

(2) Complete 86th & Bridge work order & complete final inspection with City of Albuquerque Public Works.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Tyler Ashton, PE

Enclosure/s

cc: GBH Construction

JN: 230033 TA/bf 15/04 60-Day

Ext.-Verbal

16205

8509 Jefferson NE Albuquerque, NM 87113

(505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

August 26, 2004

Ms. Kristal Metro / Engineering Associate Development and Building Services Public Works Department PO Box 1293 Albuquerque, NM 87103

Hydrology Certification 30-day Extension of Temporary Certificate of Occupancy RE:

Family Dollar

101 86th Street SW, Albuquerque, NM (K-9/D27)

extended for

30 days

Dear Kristal:

Due to a required design change for the City of Albuquerque work order portion of the project, it is necessary to extend the length of the Temporary Certificate of Occupancy for an additional 30 days. The revised design is currently in the approval process and we expect to complete all work associated with the project as soon as approval is granted. The purpose of this request is to allow the store to continue operations while this process is completed. All onsite work is substantially complete. Traffic control is in place on 86th Street and the majority if work remaining is on Bridge Avenue.

We are, therefore, requesting a 30- day extension of the Hydrology Certification of the Approved Grading and Drainage.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Tyler Ashton, PE

Enclosure/s

cc: GBH Construction

JN: 23033

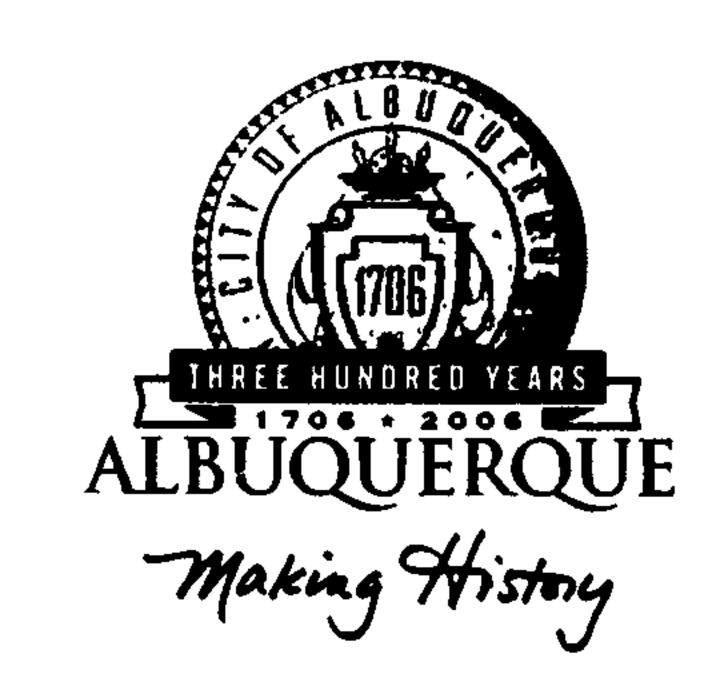
TA/bf

230033 Family Dollar Extended Hydrology Cert

16205

10/5/04 60-Day Ext.-Verbal

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services Section

July 30, 2004

Tyler J. Ashton, P.E. Tierra West, LLC 8509 Jefferson NE Albuquerque, NM 87113

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

Family Dollar, [K-9 / D27]

101 86th Street

Engineer's Stamp Dated 07/30/04

Dear Mr. Ashton:

Based on the information provided on your submittal dated July 30, 2004, the above referenced project is approved for a 30-day Temporary C.O.

P.O. Box 1293

A Temporary C.O. has been issued allowing issues, per Certification request, to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

Albuquerque

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed

Drainage Information Sheet to front counter personnel for log in and evaluation by

www.cabq.gov

New Mexico 87103

If you have any questions, please call me at 924-3630.

Sincerely,

Transportation.

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer
CHydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	Family Dollar	ZONE MAP/DRG. FILE #: <u>K-9/D27</u>						
DRB #1002992	EPC #:	WORK ORD	ER #: 7356.81					
LEGAL DESCRIPTION:	Tract A-26-A2A2, Town of Atrisco Grant							
CITY ADDRESS:	101 86th Street SW		<u> </u>					
ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOHANNAN OR SARA LAVY					
ADDRESS:	8509 Jefferson NE	PHONE:	<u>(505) 858-3100</u>					
CITY, STATE:	Albuquerque, NM	ZIP CODE:	<u>87113</u>					
OWNER:	Family Dollar	CONTACT:	Jım Eagan					
ADDRESS:	1021 Old Monroe Rd.	PHONE:	520-631-9000					
CITY, STATE:	North Carolina	ZIP CODE:	85711					
ADCHITECT:		00117107						
ARCHITECT:	Joe Crews	CONTACT:						
ADDRESS:	Rt 2 Box 327 JB	PHONE:	(903) 793-6361					
CITY, STATE:	Texarkana, AR	ZIP CODE:	75501					
SURVEYOR:	Precision Survey	CONTACT:	Russ Hugg					
ADDRESS:	8414-D Jefferson Street NE	PHONE:	(505) 897-3366					
CITY, STATE:	Albuquerque, NM 87113	ZIP CODE:	87114					
CONTRACTOR:								
CONTRACTOR:	GBH Construction	CONTACT:						
ADDRESS:	P.O. Box 3379	PHONE:	(870) 794-4244					
CITY, STATE:	Texarkana, AR	ZIP CODE:	75504					
DRAINAGE PLAN F CONCEPTUAL G GRADING PLAN EROSION CONT ENGINEER'S CE CLOMR/LOMR TRAFFIC CIRCUI ENGINEERS CE	ORT N 1st SUBMITTAL, <i>REQUIRES TCL or equal</i> RESUBMITTAL RADING & DRAINAGE PLAN	PRELIMINA S. DEV. PLA S. DEV. PLA SECTOR PLA FINAL PLAT FOUNDATIO BUILDING F CERTIFICA X CERTIFICA GRADING F PAVING PE	IACIAL GUARANTEE RELEASE IRY PLAT APPROVAL AN FOR SUB'D. APPROVAL AN FOR BLDG. PERMIT APPROVAL LAN APPROVAL ON PERMIT APPROVAL PERMIT APPROVAL TE OF OCCUPANCY (PERM.) TE OF OCCUPANCY (TEMP.) PERMIT APPROVAL RMIT APPROVAL RMIT APPROVAL RMIT APPROVAL					
WAS A PRE-DESIGN CON YES X NO COPY PROVIDED			JUL 3 0 2004 HYDROLOGY SECTION					
DATE SUBMITTED:	7/30/2204	BY: Tyler J. Ashtor	n. PE					

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular

- 1. Conceptual Grading and Drainage Plans: Required for approval of Site Development Plans greater than five (5) acres and Sector
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

8509 Jefferson NE Albuquerque, NM 87113 (505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

July 30, 2004

Mr. Nilo Salgado-Fernandez, PE Development and Building Services Public Works Department PO Box 1293 Albuquerque, NM 87103

RE: Family Dollar TCL Certification for 30-Day Temporary Certificate of Occupancy 101 86th Street SW, Albuquerque, NM (K-9/D27)

Dear Nilo:

Tierra West, LLC, requests a 30-Day Temporary Certification of the Approved Traffic Control Layout for the Family Dollar located at 101 86th Street SW. Enclosed please find the information sheet and as-built Traffic Control Layout for the site. The following item needs to be completed prior to Final Certification:

1: Complete 86th & Bridge work order & complete final inspection with City of Albuquerque Public Works.

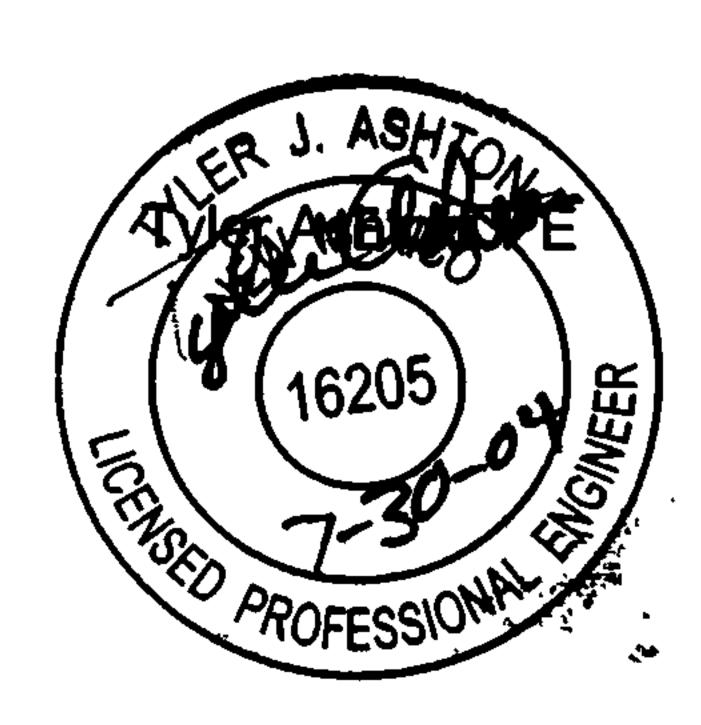
If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

Enclosure/s

cc: GBH Construction

JN: 230033 TA/cla



230033 Family Dollar Temp TCL cert.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 23, 2004

Ronald Bohannan, P.E. Tierra West, LLC 8509 Jefferson NE Albuquerque, NM 87113

Re: Family Dollar, 101 86th Street, Traffic Circulation Layout

Engineer's Stamp dated 2-19-04 (K9/D27)

Dear Mr. Bohannan,

The TCL submittal received 2-23-04 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation</u> <u>Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.

Development and Building Services

cc: file

K-9/D27

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	Family Dollar	ZONE MAP/DRG. FILE #: K-9							
DRB # 1002992	EPC #:	WORK ORD	ER#:						
			101	S1. Hu 51					
	Tract A-26-A2A2, Town of Atrisco Grant			00 07.					
CITY ADDRESS:	Located North of Quail Road and West of Coors	Boulevard, Albuquerque,	, NM						
ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOH	HANNAN OR SARA LAVY					
ADDRESS:	8509 Jefferson NE	PHONE:	<u>(505) 858-3100</u>						
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113						
OWNER:	Family Dollar	CONTACT:	Res Essas						
ADDRESS:	ramily Dollar	PHONE:	Jim Eagan						
CITY, STATE:	——————————————————————————————————————	ZIP CODE:	<u>520-631-9000</u>						
OILI, SIAIL.	——————————————————————————————————————	ZIP CODE.	<u>85711</u>						
ARCHITECT:		CONTACT:	Jim Gibbany						
ADDRESS:		PHONE:	(602) 371-4902						
CITY, STATE:		ZIP CODE:	85028						
SURVEYOR:	Wayjohn Surveying	CONTACT:	Russ Hugg						
ADDRESS:	5643 Paradise Boulevard NW	PHONE:	<u>(505)</u> 897-3366						
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87114						
CONTRACTOR:		CONTACT							
ADDRESS:		CONTACT: PHONE:		· ···					
CITY, STATE:	······································	ZIP CODE:							
OITT, STATE.									
CHECK TYPE OF SUBMI	TTAL:	CHECK TYPE OF AF	PROVAL SOUGI	<u>HT:</u>					
DRAINAGE REP	ORT		ACIAL GUARAN						
DRAINAGE PLAI	N 1st SUBMITTAL, REQUIRES TCL or equal	PRELIMINA	RY PLAT APPRO	DVAL					
DRAINAGE PLAN I	RESUBMITTAL	S. DEV. PL	AN FOR SUB'D. A	APPROVAL					
	RADING & DRAINAGE PLAN	S. DEV. PL	AN FOR BLDG. P	PERMIT APPROVAL					
GRADING PLAN		SECTOR P	LAN APPROVAL						
EROSION CONT		FINAL PLA	T APPROVAL						
	RTIFICATION (HYDROLOGY)	FOUNDATI	ON PERMIT APP	ROVAL					
CLOMR/LOMR			PERMIT APPROV						
	LATION LAYOUT (TCL)		TE OF OCCUPA						
	RTIFICATION (TCL)		TE OF OCCUPA	•					
• - · ·	RTIFICATION (DRB APPR. SITE PLAN)		PERMIT APPROV						
OTHER			RMIT APPROVA	L					
			DER APPROVAL						
		OTHER (SF	PECIFY)	Drainage Approval					
WAS A PRE-DESIGN CO	NFERENCE ATTENDED:		<u></u>						
YES									
X NO				23					
COPY PROVIDE	iD			FFB 2004					
				7 LED - 7004 -					
	2/23/04								
DATE SUBMITTED:	2/9/200 4	BY: Tyler J. Ashto		YDROLOGY SECTION					

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature,

- 1. Conceptual Grading and Drainage Plans Required for approval of Site Development Plans greater than five (5) acres and Sector
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



LETTER OF TRANSMITTAL Tierra West, LLC. DATE: JOB NO: 230033 2/23/04 ATTENTION: Mr. Wilfred Griegos (505) 858-3100 _ 8509 Jefferson NE, Albuquerque, NM 87113 Family Dollar RE: Bridge and 86th Mr. Wilfred Griegos City of Albuquerque WE ARE SENDING YOU Under Separate cover via _____ Attached the following items: Shop drawings **Prints Plans Specifications** Samples Copy of letter Change order **COPIES** NO. **DESCRIPTION DATED** Family Dollar - Bridge & 86th Resubmittal of Traffic Circulation Layout [:, (C) [] W [] THESE ARE TRANSMITTED as checked below: FOR SIGNATURE(S) For approval Approved as submitted FEB 2 3 2004 For your use Approved as noted HYDROLOGY SECTION As requested Returned for corrections For review and comments FOR BIDS DUE PRINTS RETURNED AFTER LOAN TO US 20_ REMARKS COPY TO Debbie Gale for

RECEIVED BY

Tyler J. Ashton, PE

SIGNED



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 10, 2004

Ronald Bohannan, P.E. Tierra West, LLC 8509 Jefferson NE Albuquerque, NM 87113

Re: Family Dollar, Bridge Blvd. and 86th Street, Traffic Circulation Layout Engineer's Stamp dated 2-09-04 (K9/D27)

Dear Mr. Bohannan,

Based upon the information provided in your submittal received 2-10-04, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. List the address of the site.

2. Please show the width of the 2% sloped section of the unidirection ramp detail.

3. Provide directional signing for the southern one way entrance on 86th Street.

Install bumpers at the handicapped spaces to prevent encroaching on the sidewalk.

5. Show a detail for the handicap access ramps in the northeast corner of the proposed building.

A five foot keyway is required for deadend parking aisles.

If you have any questions, you can contact me at 924-3991.

Provide directional striping

Sincerely,

Wilfred A. Gallegos, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C: file

K-9/D27

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	Family Dollar		DRG. FILE #: <u>K-9</u>
DRB #	EPC #:	WORK ORD	E <u>R #:</u>
LEGAL DESCRIPTION:	Tract A-26-A2A2, Town of Atrisco Grant		
CITY ADDRESS:	Located North of Quail Road and West of Coors B	loulevard, Albuquerque,	NM
ENGINEERING FIRM:	Tierra West, LLC	CONTACT:	RONALD R. BOHANNAN OR SARA LAVY
ADDRESS:	8509 Jefferson NE	PHONE:	(505) 858-3100
CITY, STATE:	Albuquerque, NM	ZIP CODE:	87113
OWNER:	Family Dollar	CONTACT:	Jim Eagan
ADDRESS:		PHONE:	520-631-9000
CITY, STATE:		ZIP CODE:	85711
ARCHITECT:		CONTACT:	Jım Gibbany
ADDRESS:		PHONE:	(602) 371-4902
CITY, STATE		ZIP CODE:	85028
SURVEYOR:	Wayjohn Surveying	CONTACT:	
ADDRESS:	5643 Paradise Boulevard NW	PHONE:	Russ Hugg
CITY, STATE:	Albuquerque, NM	ZIP CODE:	(505) 897-3366 87114
CONTRACTOR:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
DRAINAGE PLAN R CONCEPTUAL GI GRADING PLAN EROSION CONTE ENGINEER'S CEE CLOMR/LOMR X TRAFFIC CIRCUL ENGINEERS CER	ORT 1st SUBMITTAL, <i>REQUIRES TCL or equal</i> ESUBMITTAL RADING & DRAINAGE PLAN	PRELIMINAL S. DEV. PLA S. DEV. PLA S. DEV. PLA SECTOR PL FINAL PLAT FOUNDATIO BUILDING P CERTIFICAT GRADING P PAVING PER	ACIAL GUARANTEE RELEASE RY PLAT APPROVAL AN FOR SUB'D. APPROVAL AN FOR BLDG. PERMIT APPROVAL AN APPROVAL CAPPROVAL CON PERMIT APPROVAL CON PERMIT APPROVAL CON COUPANCY (PERM.) CON COUPANCY (TEMP.)
WAS A PRE-DESIGN CON YES X NO COPY PROVIDED			D
DATE SUBMITTED:	2/9/2004	BY: <u>Tyler J. Ashtor</u>	HYDROLOGY SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature,

- 1. Conceptual Grading and Drainage Plans Required for approval of Site Development Plans greater than five (5) acres and Sector
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



LETTER OF TRANSMITTAL

(505) 858-3100 8509 Jefferson NE, Albuquerque, NM 87113 TO Mr. Tony Loyd, PE Transportation Development Section City of Albuquerque Development and Building Services 600 Zad Street NW, 87102 WE ARE SENDING YOU Shop drawings Prints Plans Shop drawings Prints Plans Shop drawings Prints Plans Samples Specifications Plans Secription Letter Desirage and Transporation Sheet Traffic Circulation Layout THESE ARE TRANSMITTED as checked below: For approval Approved as submitted As requested Returned for corrections For review and comments For review and comments For Review and comments For Returned Comments REMARKS Melissa J. Rathiff for RECEIVED BY Melissa J. Rathiff for SIGNED Tyler Ashton, P.E.			Tierra West	LLC.		DATE:	2/9/2004	JOB NO:	230033
RE: Family Dollar RE: Family Dollar						ATTENTIC	N: Mr. To	ony Loyd, PE	
TO Mr. Tony Loyd, PE Transportation Development Section City of Albuquerque Development and Building Services 600 2nd Street NW, 87102 WE ARE SENDING YOU X Attached			•					· · · · · · · · · · · · · · · · · · ·	
Transportation Development Section City of Albuquerque Development and Building Services 600 2nd Street NW, 87102 WE ARE SENDING YOU I Attached Under Separate cover via		8509 Jef	fferson NE, Albuqu	erque, NM 87113	3	RE: Fa	mily Dollar		
Transportation Development Section City of Albuquerque Development and Building Services 600 2nd Street NW, 87102 WE ARE SENDING YOU WE ARE SENDING YOU Copy of letter Change order COPIES DATED NO. DESCRIPTION Letter Traffic Circulation Layout THESE ARE TRANSMITTED as checked below: For approval As requested As requested As requested Returned for corrections FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS Melissa J. Rathiff for	TO	Mr. Tony Love	d. PE					<u>_</u>	
City of Albuquerque Development and Building Services 600 2nd Street NW, 87102 WE ARE SENDING YOU Shop drawings	10			tion					
Development and Building Services 600 2nd Streen NW, 87102 WE ARE SENDING YOU X Attached							 		
WE ARE SENDING YOU X Attached Under Separate cover via the following items: Shop drawings Prints Plans Samples Specifications Copy of letter Change order COPIES DATED NO. DESCRIPTION Letter I Drainage and Transporation Sheet I Traffic Circulation Layout THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) For your use Approved as noted As requested Returned for corrections FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for				ces		· ····································			
Shop drawings Prints Plans Samples Specifications Copy of letter Change order COPIES DATED NO. DESCRIPTION 1 Letter 1 Drainage and Transporation Sheet 1 Traffic Circulation Layout THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for			~~~~~ ~						
COPY TO COPIES DATED NO. DESCRIPTION Letter Lorianage and Transporation Sheet Traffic Circulation Layout Traffic Circulation Layout For approval Approved as submitted FOR SIGNATURE(S) As requested Returned for corrections For review and comments FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS Melissa J. Ratliff for	WE A	RE SENDING Y	OU X	Attached		Under Sepa	arate cover via	a	the following items:
COPIES DATED NO. DESCRIPTION 1		Shop drawings		Prints		Plans		Samples	Specifications
Letter Drainage and Transporation Sheet Traffic Circulation Layout	<u> </u>	Copy of letter		Change order				·- <u>·</u> -	
Drainage and Transporation Sheet		COPIES	DATED	NO.			DES	CRIPTION	
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted For SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted As requested Returned for corrections For review and comments FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for	1						· · · · · · · · · · · · · · · · · · ·		
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted As requested Returned for corrections For review and comments FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for	1						•	<u>t </u>	
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted Returned for corrections For review and comments PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for	1				Traffic Cir	rculation La	yout		
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted Returned for corrections For review and comments PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for			· · · · · · · · · · · · · · · · · · ·	<u> </u>				. <u> </u>	
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted Returned for corrections For review and comments PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for									
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted As requested Returned for corrections For review and comments POR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for									<u>-</u>
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted Approved as noted Returned for corrections For review and comments Por BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for	<u> </u>	· · · · · · · · · · · · · · · · · · ·							
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted Approved as noted Returned for corrections For review and comments Por BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for		· · · · · · · · · · · · · · · · · · ·							
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted As requested Returned for corrections For review and comments POR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for					· · · · · · · · · · · · · · · · · · ·				
THESE ARE TRANSMITTED as checked below: For approval Approved as submitted FOR SIGNATURE(s) HYDROLOGY SECTION For your use Approved as noted Returned for corrections For review and comments Proceedings FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for			<u></u>			· · · · · · · · · · · · · · · · · · ·		\ \[\frac{1}{5}\] (c)	2 [c¹ [] [] []
For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted Returned for corrections For review and comments POR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for			<u> </u>		<u> </u>	<u> </u>			
For approval Approved as submitted FOR SIGNATURE(S) HYDROLOGY SECTION For your use Approved as noted Returned for corrections For review and comments POR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for	TUE	CE ADE TD AR	VICIAITTED on oho	okod bolowy			·	FEE	3 1 0 2004
For your use Approved as noted As requested Returned for corrections For review and comments FOR BIDS DUE	INC	SE AKE IKAI	NOIVILLED as che						
As requested Returned for corrections For review and comments FOR BIDS DUE	- <u>-</u>	For approval		Approved as submi	itted	FOR SIGN	ATURE(S)	LHYDROL	OGY SECTION
For review and comments FOR BIDS DUE 20 PRINTS RETURNED AFTER LOAN TO US REMARKS COPY TO Melissa J. Ratliff for		For your use		Approved as noted					
FOR BIDS DUE		As requested		Returned for correct	ctions				
FOR BIDS DUE		For review and	comments						
REMARKS COPY TO Melissa J. Ratliff for		<u>.</u> 1		20		PRINTS	RETURNE	D AFTER LOA	NTOIIS
COPY TO Melissa J. Ratliff for	<u> </u>	I TOK DIDS DOI	 <u></u> _			11(1111)			14 10 05
Melissa J. Ratliff for			REMARKS	•					
Melissa J. Ratliff for						<u> </u>			
Melissa J. Ratliff for						•			
Melissa J. Ratliff for									
Melissa J. Ratliff for				· -	<u> </u>		·		
Melissa J. Ratliff for		··	·						······································
Melissa J. Ratliff for	COP	Y TO							
RECEIVED BY SIGNED Tyler Ashton, P.E.								Melissa J. Ratlif	f for
	REC	EIVED BY				5	SIGNED	Tyler Ashton, P.	E.

8509 Jefferson NE Albuquerque, NM 87113

(505) 858-3100 fax (505) 858-1118

twllc@tierrawestllc.com 1-800-245-3102

TICE IVE

HYDROLOGY SECTION

February 9, 2004

Mr. Tony Loyd, PE Transportation Development Section. City of Albuquerque Development and Building Services 600 2nd Street NW, 87102

RE: Family Dollar TCL # 1002992

Dear Mr. Loyd:

The proposed Family Dollar is located at the northwest corner of 86th Street and Bridge Boulevard. This development will consist of a 9,180 square foot retail store. The traffic circulation for the site is as follows: employees and customers will use the northern entrance on 86th, and the southern one-way entrance on 86th will be used for deliveries and refuse pick-up only. Currently the only developed site bordering the proposed store is a Phillips 66 to the north; this development will not impact that site. A driveway variance was obtained from DRB (Project #1002992).

The development of this site is consistent with the DPM, Chapter 23, Transportation section. It is recommended this TCL be approved for Building Permit.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Tyler J. Ashton, PE

Enclosure/s

JN: 230033

TA/db

230033 T Loyd TCL 2904