

GENERAL NOTES:

1. ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 7_K9 HAVING AN ELEVATION OF 5140.082 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

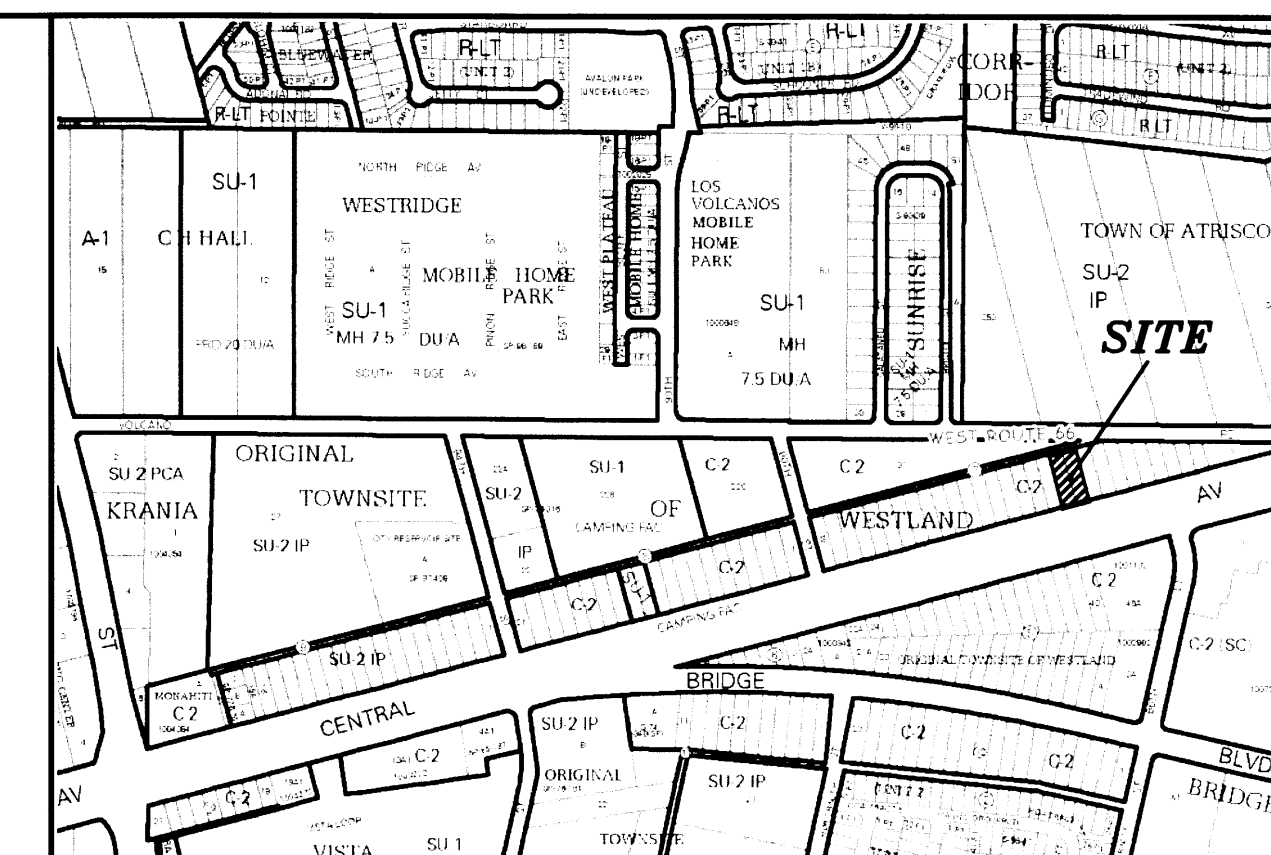
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

LEGEND

- 5100 — EXISTING CONTOUR (MAJOR)
- 5102 — EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- EXISTING FENCE
- PROPOSED GRADE
- EXISTING GRADE (TOP OF ASPHALT)
- EXISTING GRADE (FLOW LINE)
- PROPOSED GRADE



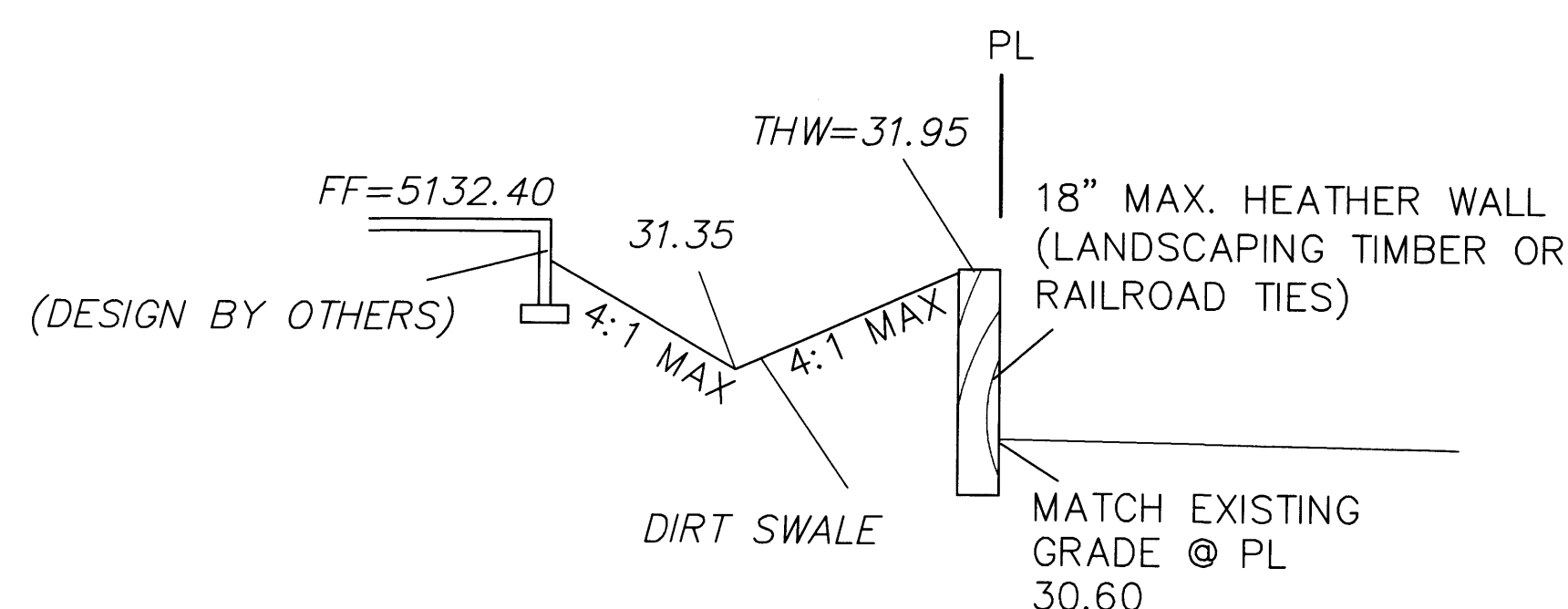
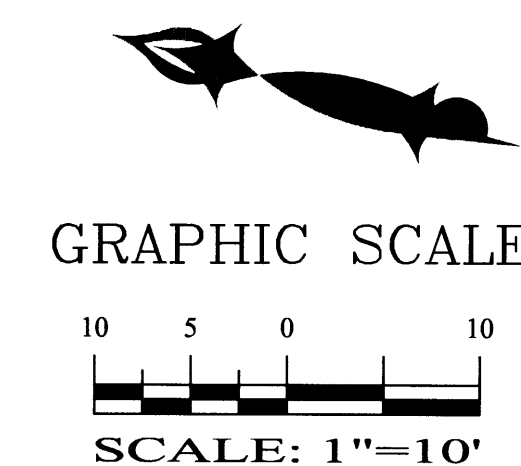
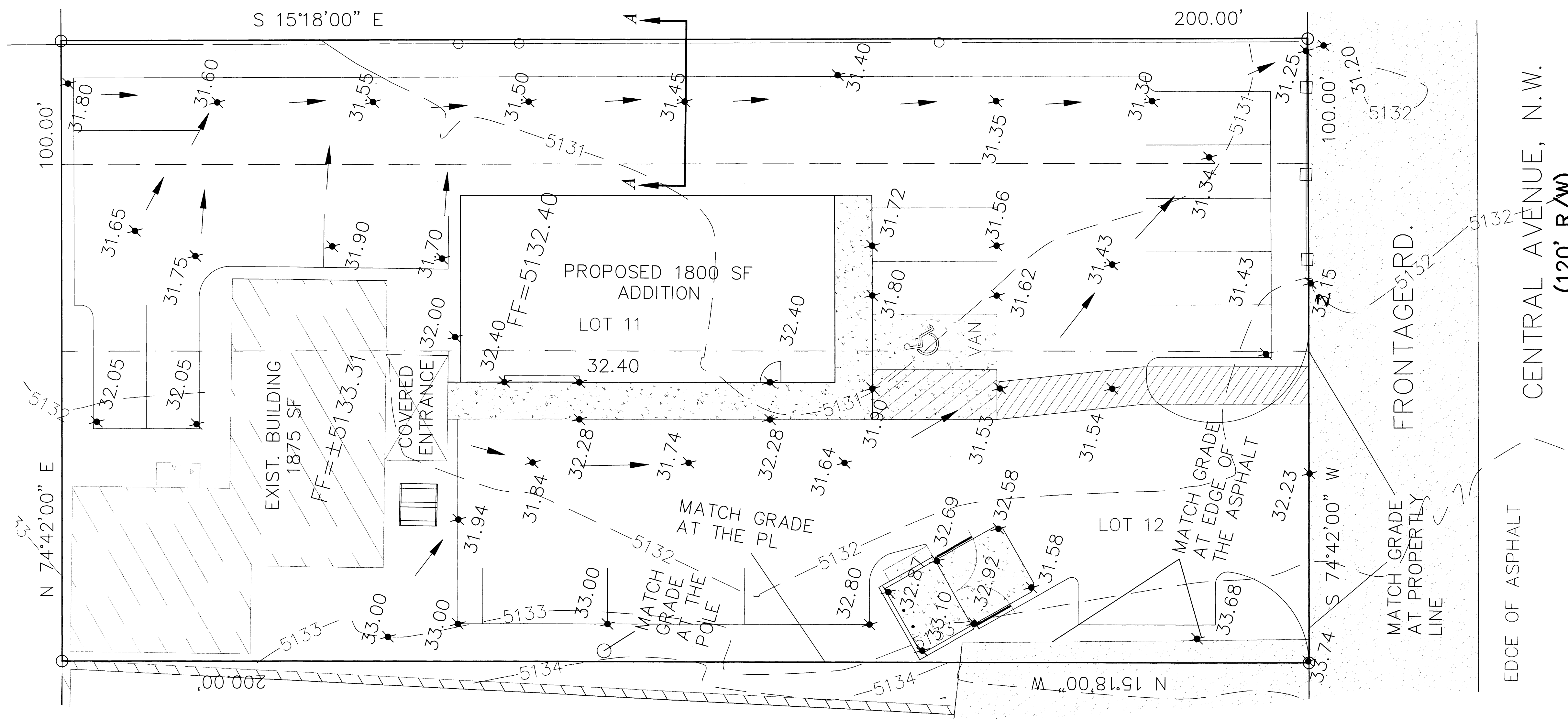
VICINITY MAP:

K-9-Z

LEGAL DESCRIPTION:

LOT 11 AND 12, BLOCK 7, ORIGINAL TOWNSITE AT WESTLAND CONTAINING 20,000.00 S.F. (0.4500 ACRES) MORE OR LESS

ZONING: C-1 USES



SECTION A-A

NTS

ROUGH GRADING APPROVAL

DATE

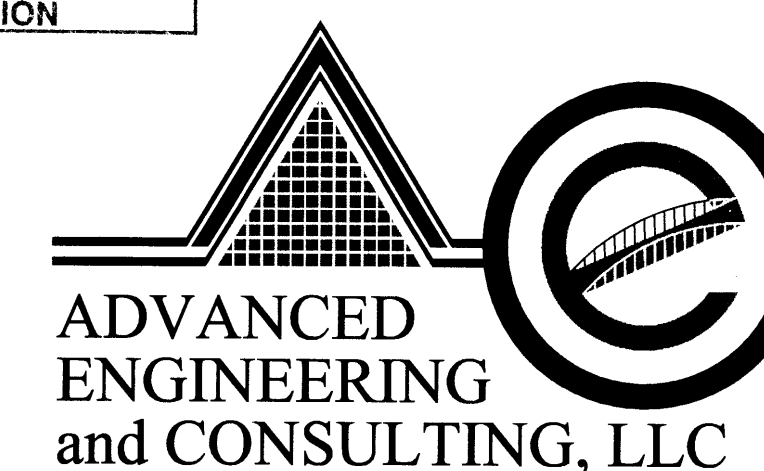
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JUN 21 2010

HYDROLOGY
SECTION



SHAHAB BIAZAR
P.E. #13479



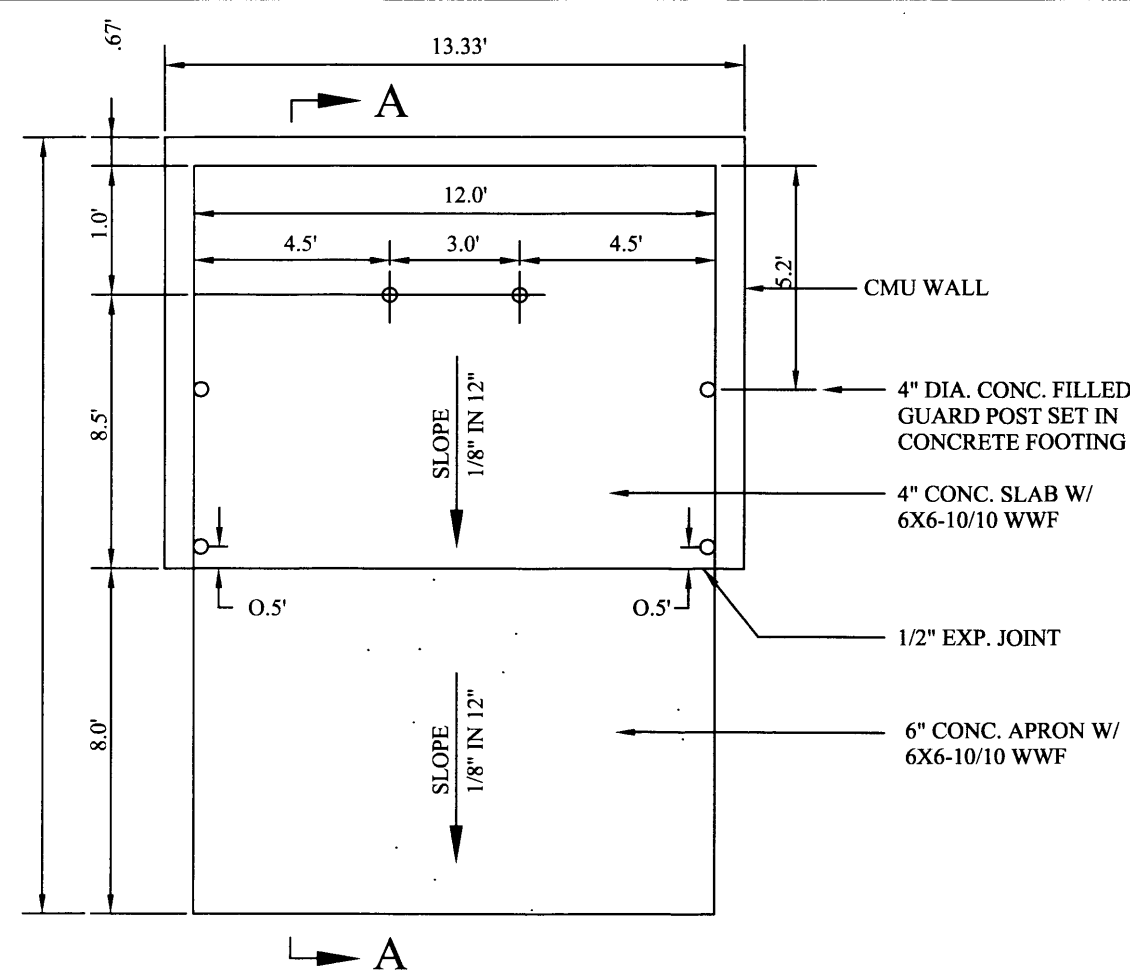
10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505) 899-5570

LOTS 11 AND 12, BLOCK 7 GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
2010-MH-GR.dwg	SBB	06-04-10	C103

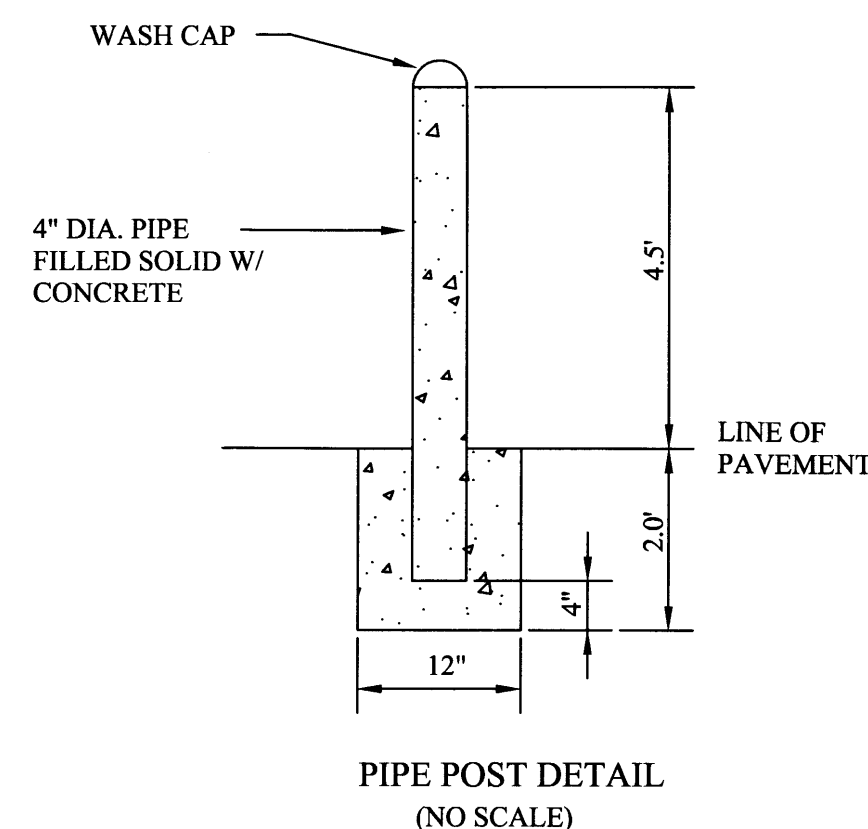
LAST REVISION: 06/17/10

K09/D036



NOTE: CHAIN LINKED FENCE WITH SLATS WILL BE USED FOR THE CONSTRUCTION OF THE DUMPSTER ENCLOSURE.

DUMPSTER ENCLOSURE DETAIL



SITE DATA

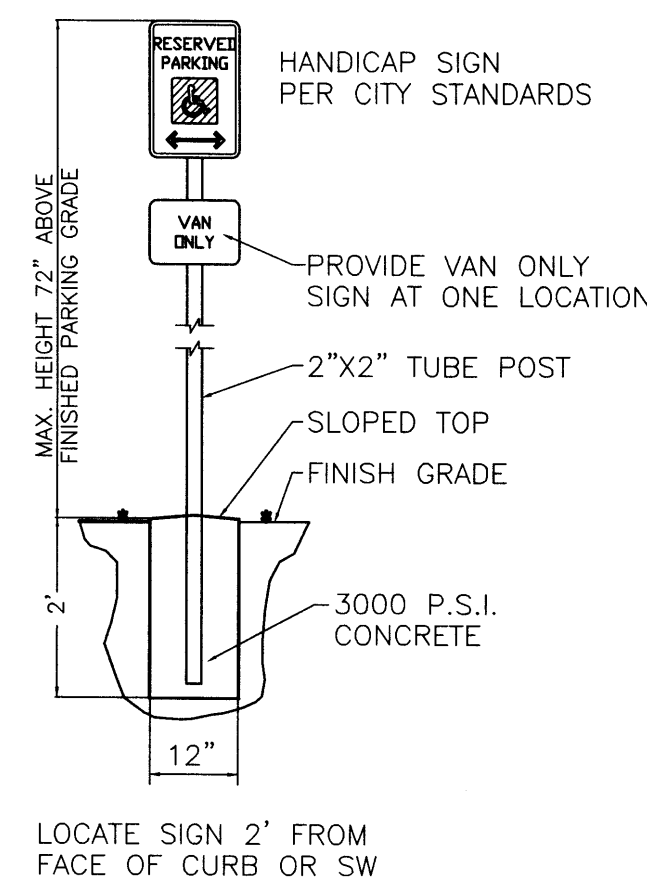
LOT AREA: 20,000.00 S.F. (0.4507 ACRE)
 EXIST. BUILDING AREA: 1,875.00 S.F.
 NEW BUILDING AREA: 1,800.00 S.F.

LANDSCAPE CALCULATIONS:
 NET LOT AREA: 20,000.00 SF ±
 LANDSCAPING REQUIRED: 15% OF 18,200.00 SF
 LANDSCAPE PROVIDED: 2,450.00 SF ±

PARKING CALCULATIONS:
 PARKING REQUIRED:
 WAREHOUSE: 1,875.00 SF/2000 1 SPACES
 ADDITION: 1,800.00 SF/200 9 SPACES
 TOTAL PARKING PROVIDED: 10 SPACES

HC PARKING REQUIRED: 1 SPACES (1 VAN)
 HC PARKING PROVIDED: 1 SPACES (1 VAN)

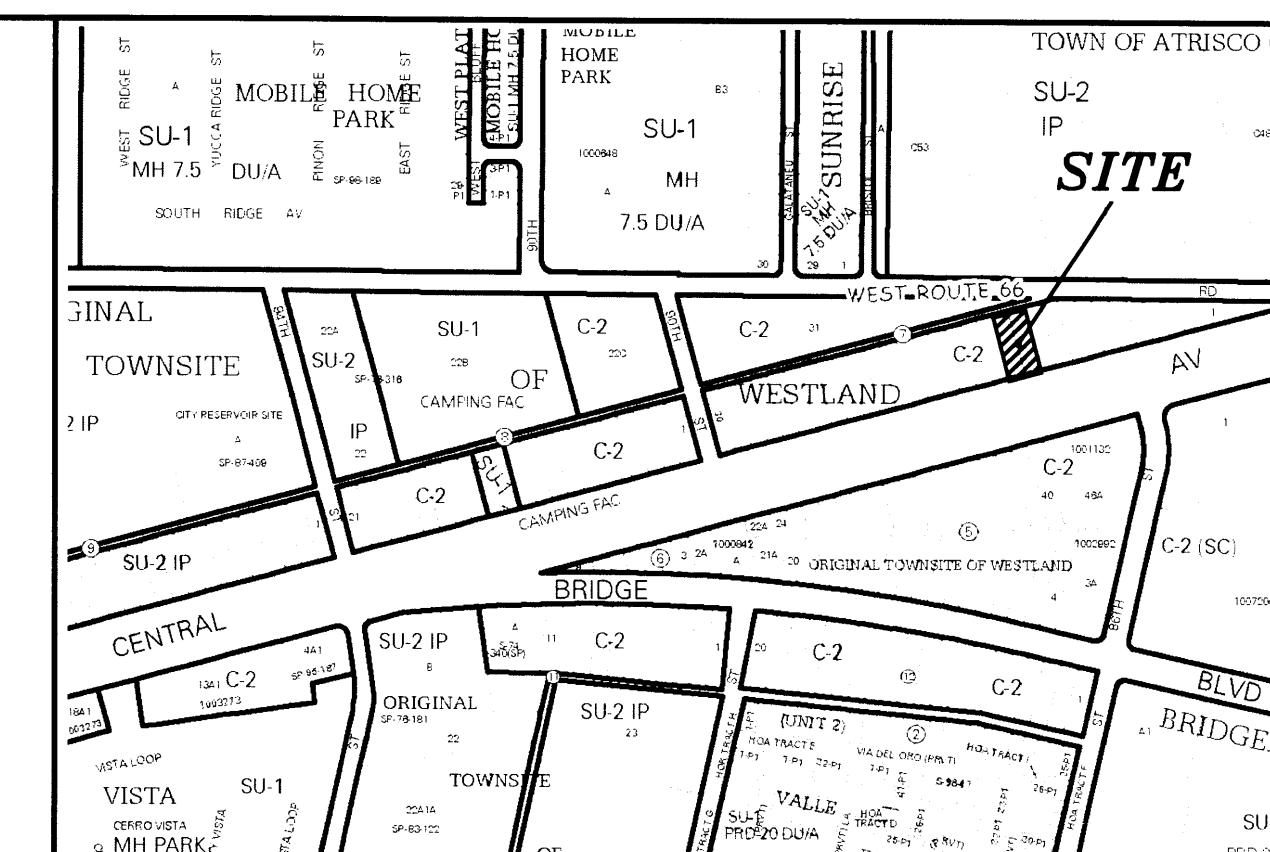
MOTORCYCLE SPACES REQUIRED: 1 SPACES
 MOTORCYCLE SPACES PROVIDED: 1 SPACES



HANDICAP SIGN DETAIL

LEGEND

- BOUNDARY LINE
- BUILDING
- EASEMENT LINE
- PROPOSED CURB ON SITE
- NUMBER PARKING SPACES
- PROPOSED CONCRETE AREA
- PROPOSED GRAVEL AREA



VICINITY MAP:

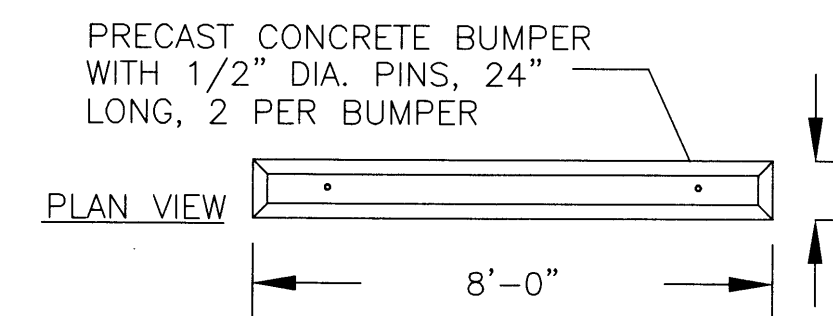
K-9-Z

LEGAL DESCRIPTION:

LOT 11 AND 12, BLOCK 7, ORIGINAL TOWNSITE AT WESTLAND CONTAINING 20,000.00 S.F. (0.4500 ACRES)
 ZONING: C-2 USES

ADDRESS

8705 CENTRAL AVE. NW, ALBUQUERQUE, NM 87121

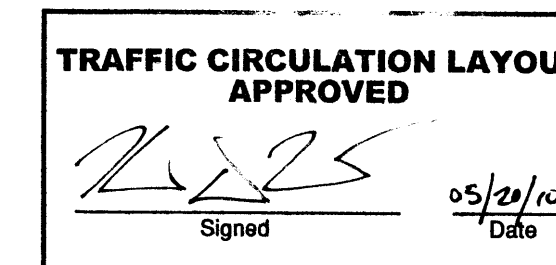


PARKING BUMPER DETAIL

N.T.S.

KEYED NOTES:

1. PROPOSED BASE COARSE AREA
2. PROPOSED NEW 6' SIDEWALK AND ADA ACCESSIBLE PEDESTRIAN PATHWAY FROM ADA PARKING SPACE TO THE BUILDING
3. EXISTING POWER POLE
4. EXISTING WALL
5. EXISTING PAVING
6. EXISTING FENCE
7. HANDICAP SIGN
8. TRASH ENCLOSURE
9. PROPOSED LANDSCAPE AREA
10. PROPOSED NEW MOTORCYCLE PARKING
11. PROPOSED NEW ENTRANCE
12. EXISTING ENTRANCE/DRIVEWAY
13. EXISTING LOT LINE TO BE ELIMINATED BY REPLAT PRIOR TO FINAL CERTIFICATION OF OCCUPANCY.
14. HC PARKING FLUSH WITH SIDEWALK
15. BUMPER TO BE PLACED 2' FROM SIDEWALK
16. 2' X 8' PAD FOR RECYCLE AREA



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

SHEET INDEX

- C101. SITE PLAN
- C102. FOUNDATION PLAN
- C103. GRADING AND DRAINAGE PLAN
- C104. ELEVATIONS

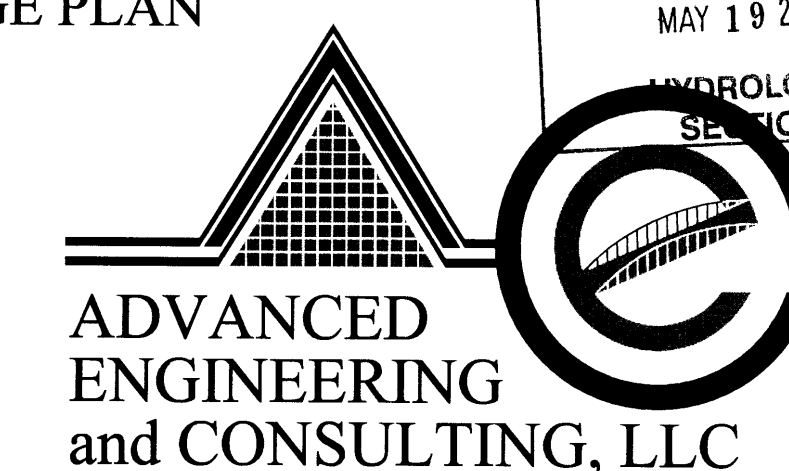
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HYDROLOGY SECTION



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 P.E. #13479



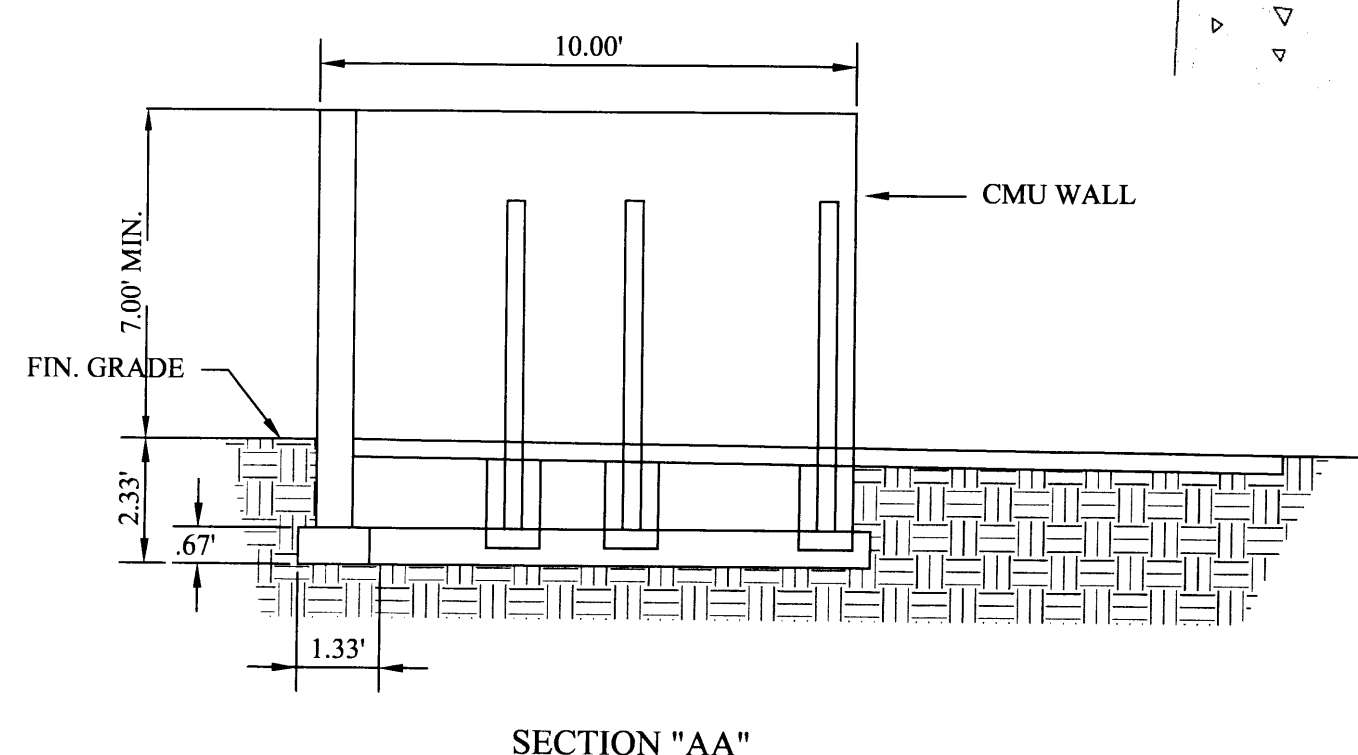
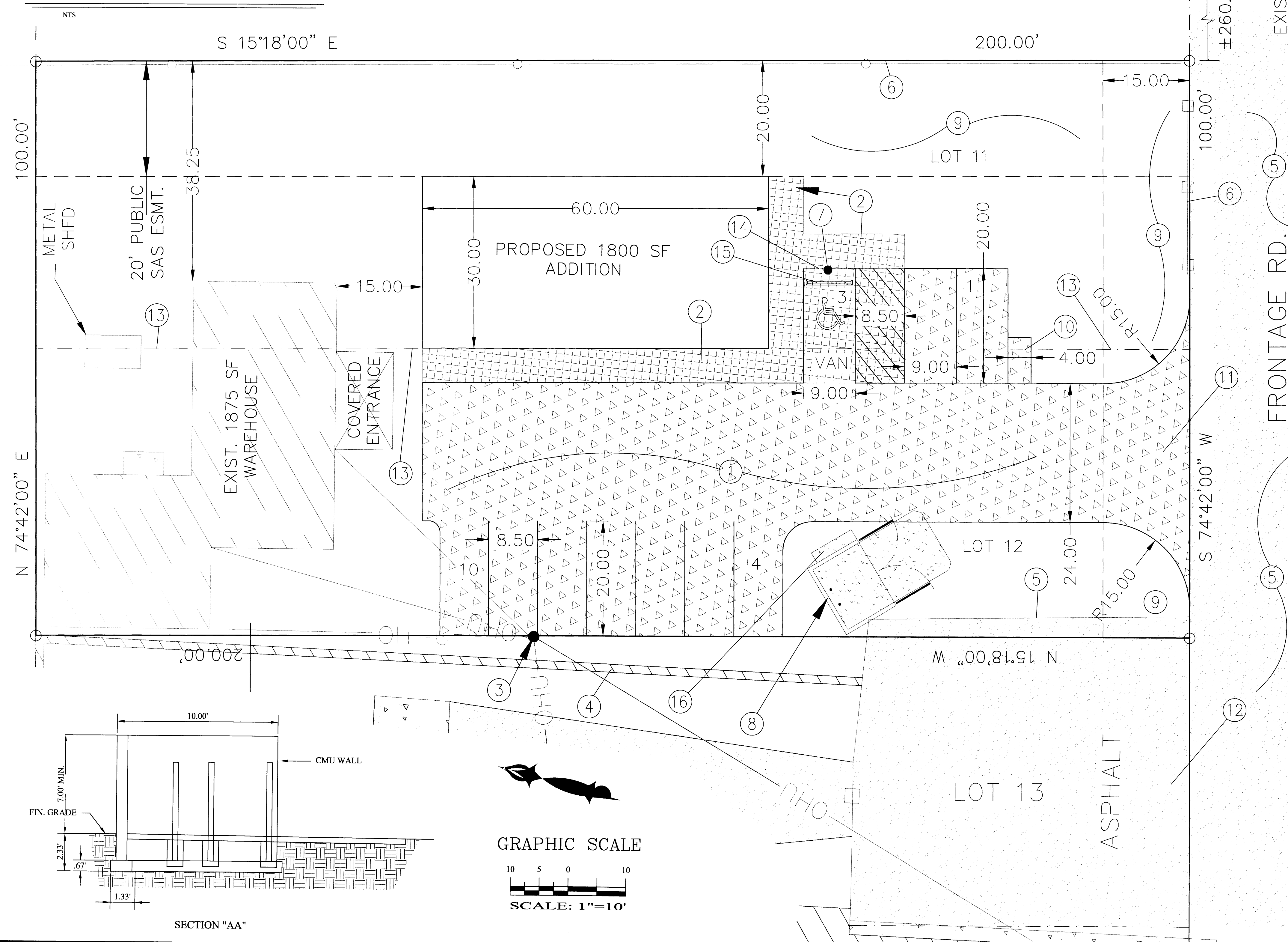
ADVANCED
 ENGINEERING
 and CONSULTING, LLC

4416 ANAHEIM AVE., NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505) 899-5570

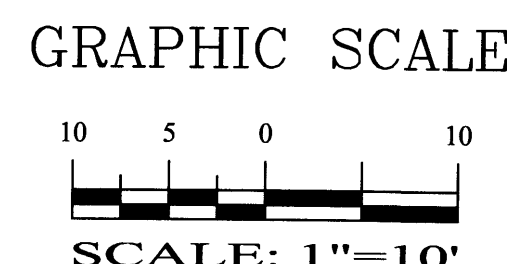
LOTS 11 & 12, BLOCK 7, ORIGINAL TOWNSITE AT WESTLAND
 SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201001-SP.DWG	SB	04-5-2010	C101

LAST REVISION: 05-19-10

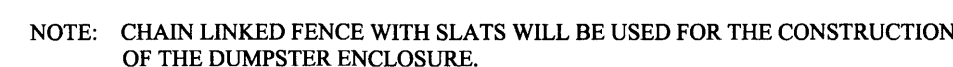


SECTION "AA"



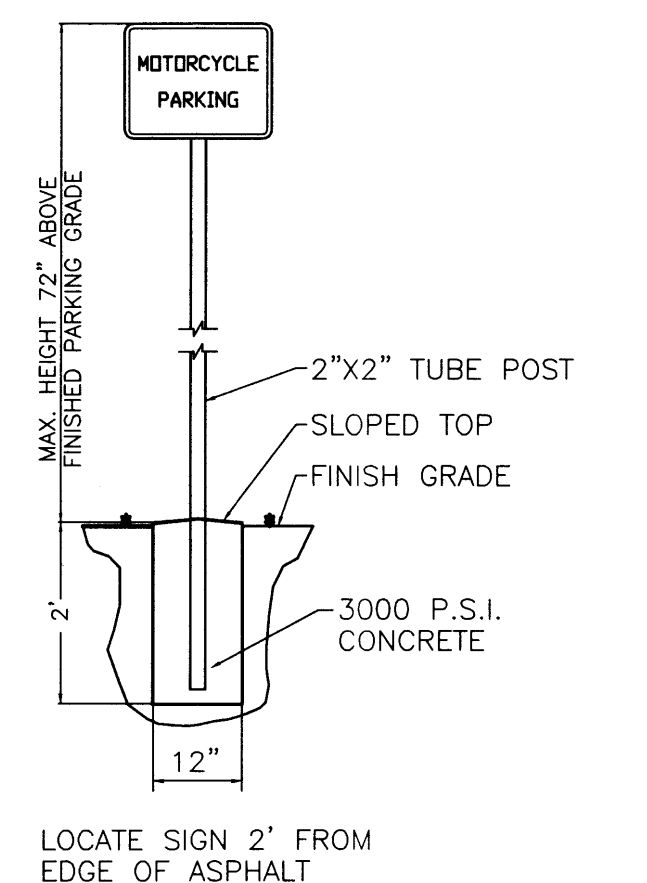
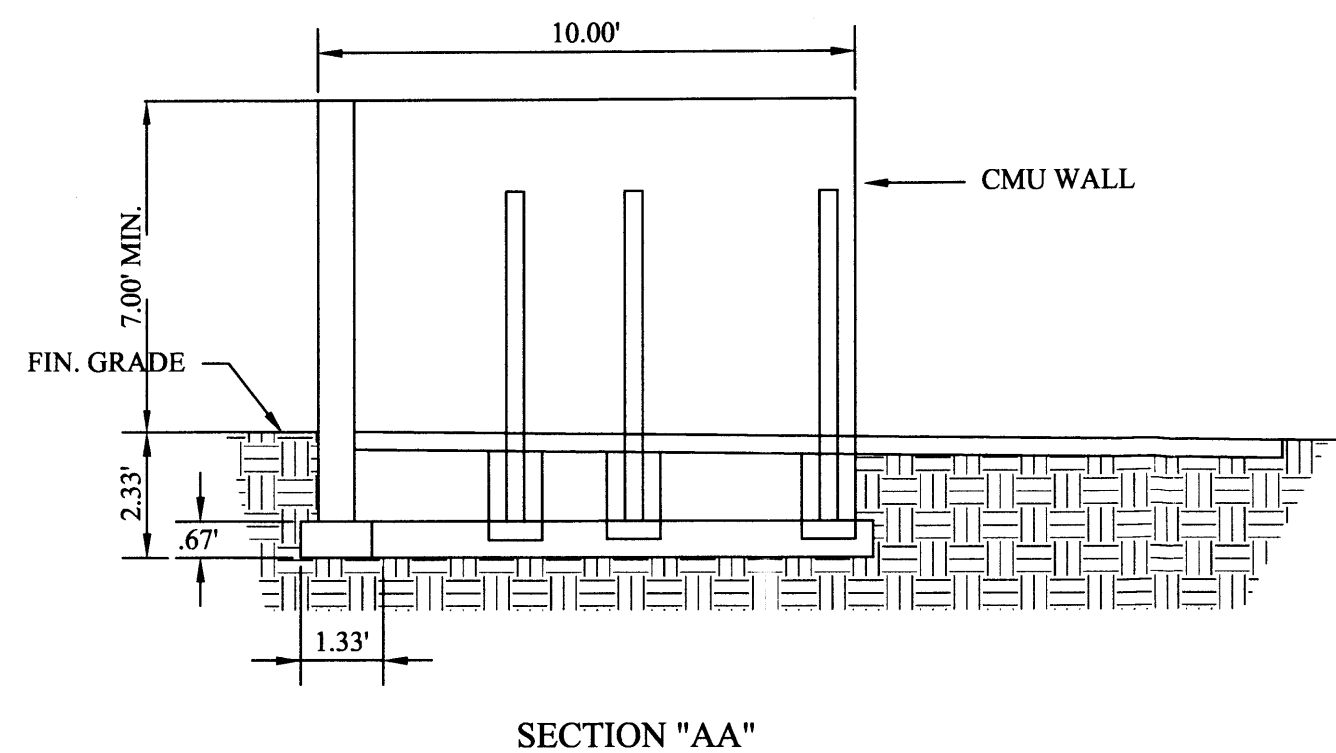
LOT AREA: 20,000.00 S.F. (0.4507 ACRE)
EXIST. BUILDING AREA: 1,875.00 S.F.
NEW BUILDING AREA: 1,800.00 S.F.

PARKING REQUIRED:	
TOTAL BUILDING:	18 SPACES
10% DISCOUNT FOR BUS ROUTE	~2 SPACES
TOTAL PARKING REQUIRED:	16 SPACES
TOTAL PARKING PROVIDED:	16 SPACES
HC PARKING REQUIRED:	1 SPACES (1 VAN)
HC PARKING PROVIDED:	1 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:	1 SPACES
MOTORCYCLE SPACES PROVIDED:	1 SPACES

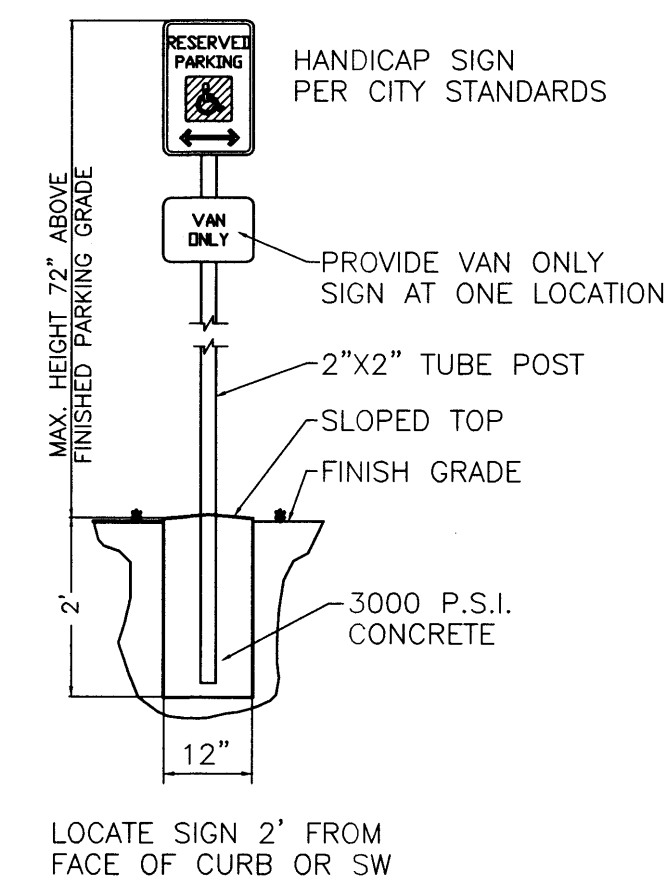


DUMPSTER ENCLOSURE DETAIL

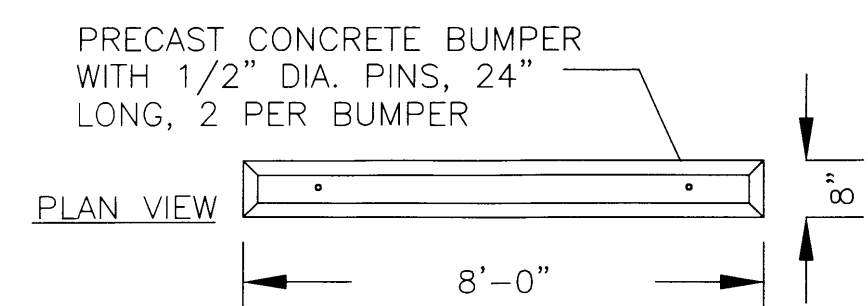
NTS



MOTORCYCLE PARKING SIGN DETAIL
NTS

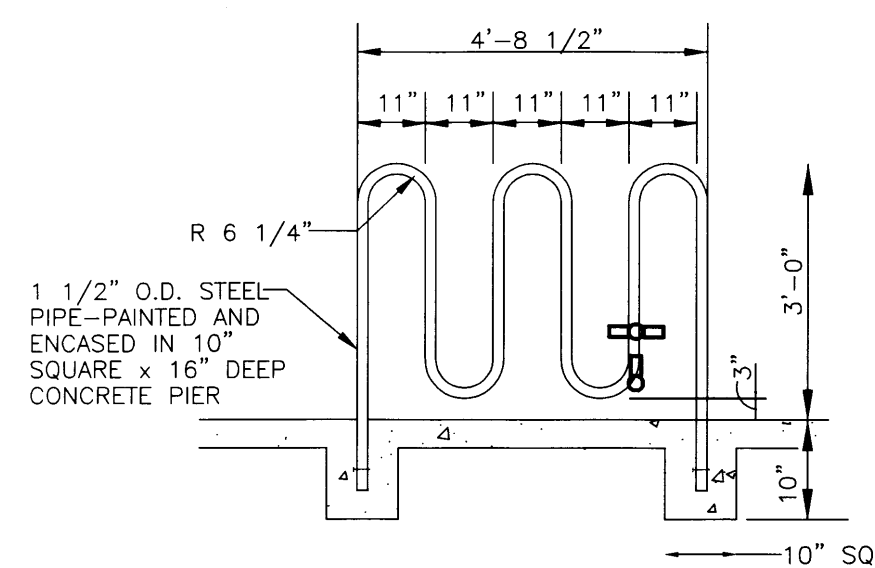


HANDICAP SIGN DETAIL



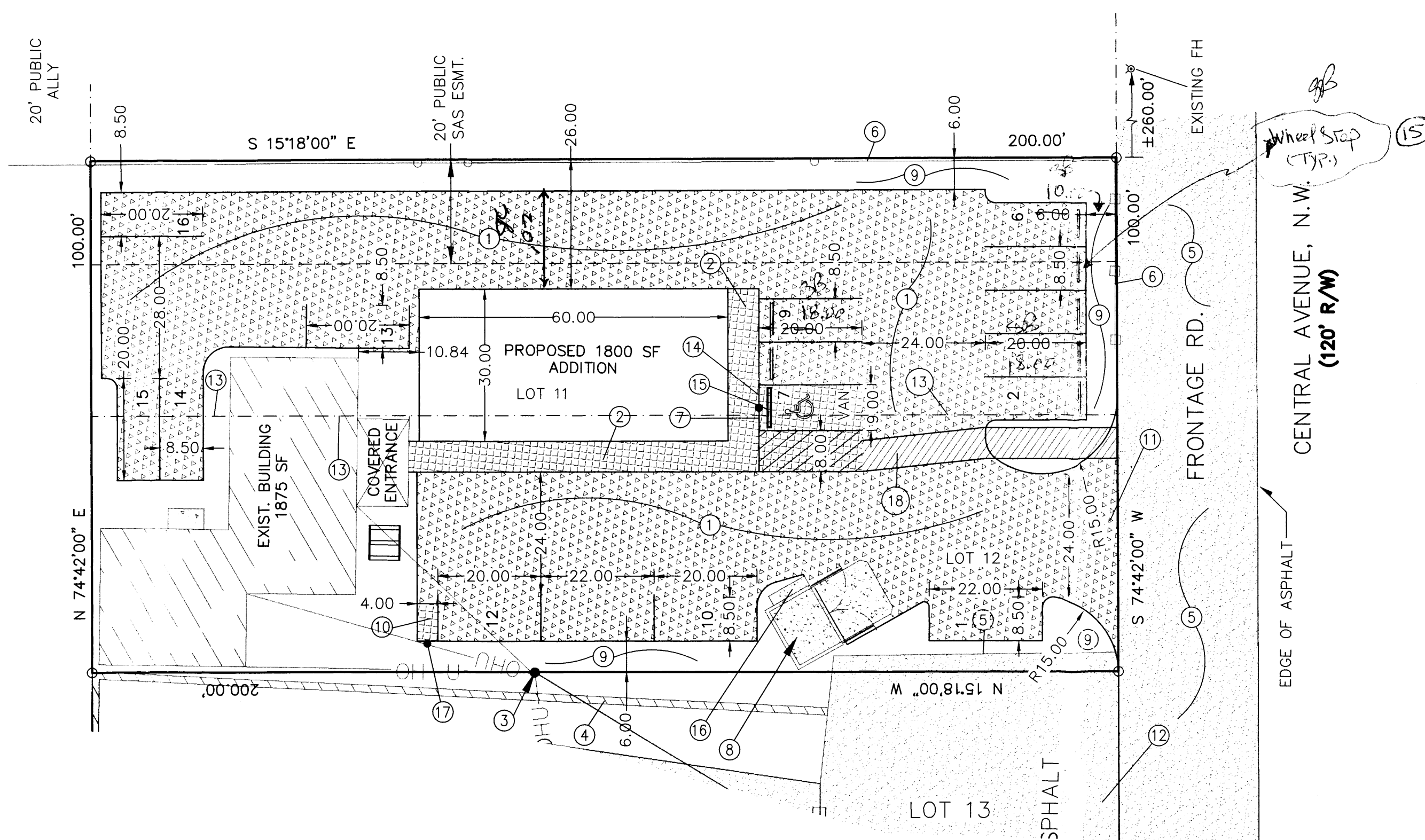
PARKING BUMPER DETAIL

N.T.S.



BIKE RACK

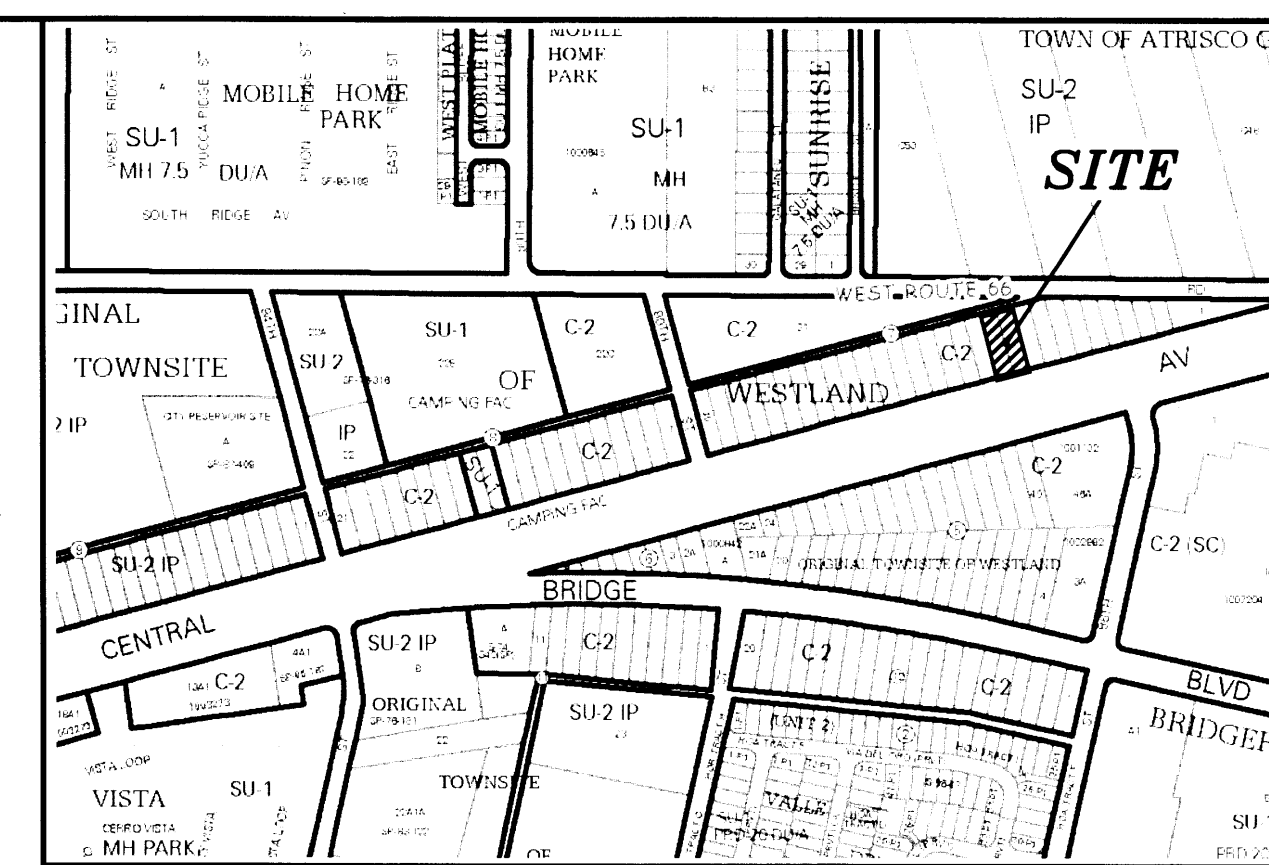
NTS



The diagram shows a proposed parking lot layout. At the top, there are two horizontal lines representing the boundary. Below these is a dashed line representing the building. Under the dashed line is the number '11', indicating 11 parking spaces. Below the number is a row of 11 small rectangles representing bike racks. Below the bike racks is a row of 11 larger rectangles representing proposed concrete areas. At the bottom is a row of 11 triangles representing proposed gravel areas.

BOUNDARY LINE
BUILDING
EASEMENT LINE
NUMBER PARKING SPACES
BIKE RACK
PROPOSED CONCRETE AREA
PROPOSED GRAVEL AREA

C101. SITE PLAN
C102. FOUNDATION PLAN
C103. GRADING AND DRAINAGE PLAN
C104. ELEVATIONS
C105. LANDSCAPING PLAN



VICINITY MAP:

LEGAL DESCRIPTION:

LOT 11 AND 12, BLOCK 7, ORIGINAL TOWNSITE AT WESTLAND
CONTAINING 20,000.00 S.F. (0.4500 ACRES)
ZONING: C-2 USES

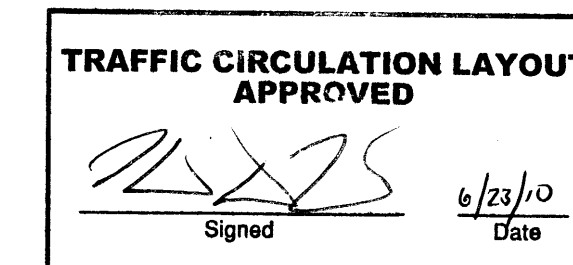
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○ KEYED NOTES:

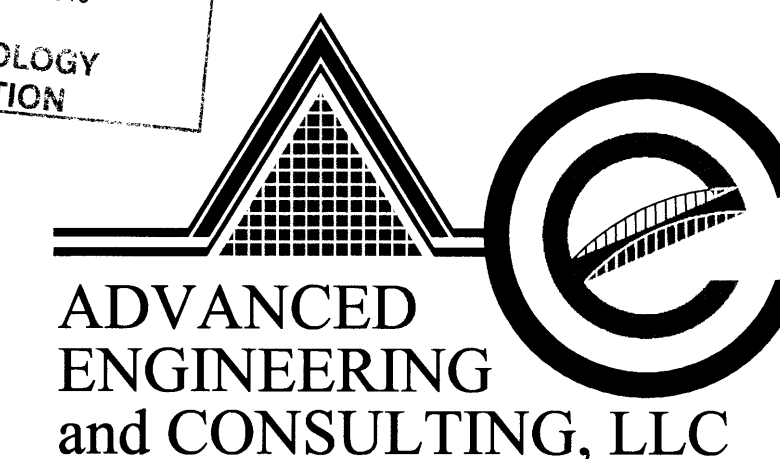
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14. HC PARKING FLUSH WITH SIDEWALK
15. BUMPER TO BE PLACED 2' FROM SIDEWALK
16. 2' X 8' PAD FOR RECYCLE AREA
17. MOTORCYCLE PARKING SIGN
18. 6' PEDESTRIAN WALKWAY TO CENTRAL (ASPHALT PAVEMENT OR CONCRETE WITH STRIPPING)

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HYDROLOGY
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D ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.



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LOTS 11 & 12, BLOCK 7, ORIGINAL TOWNSITE AT WESTLAND
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201001-SP.DWG	SB	06-4-2010	1

C101

LAST REVISION: 06-17-10