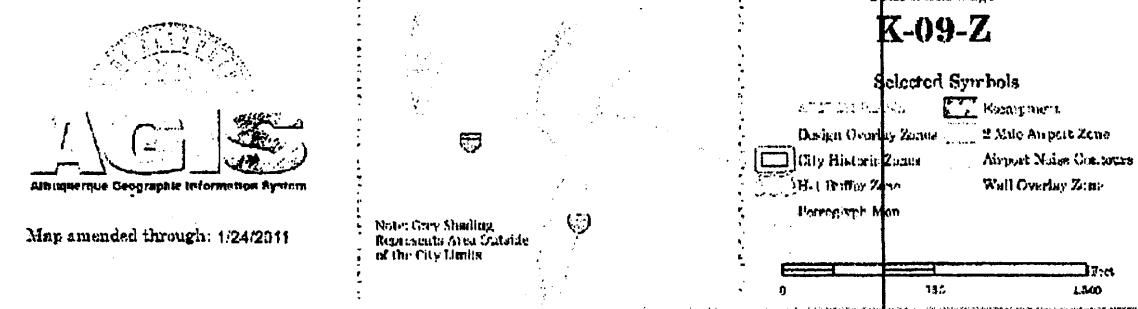
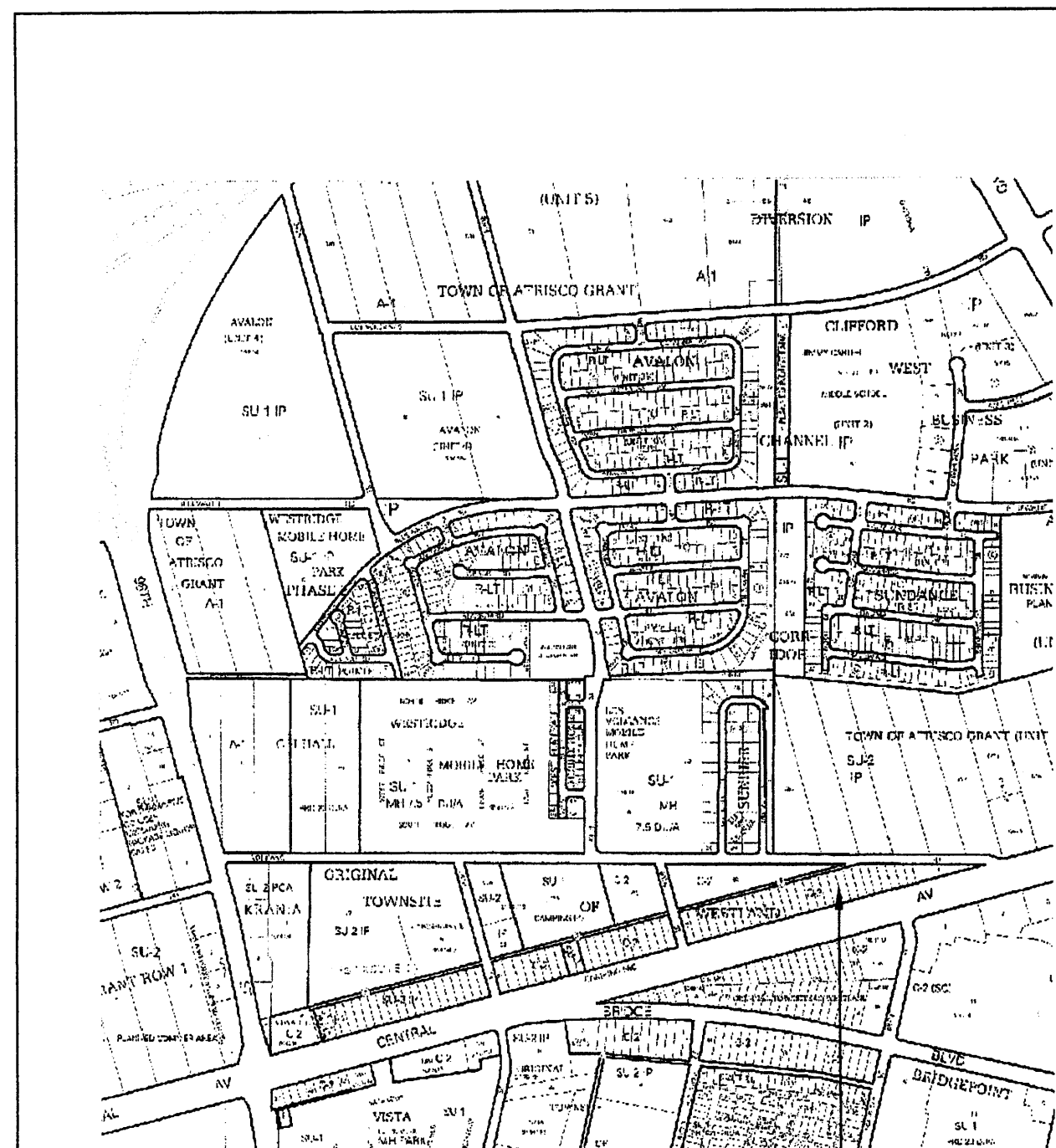
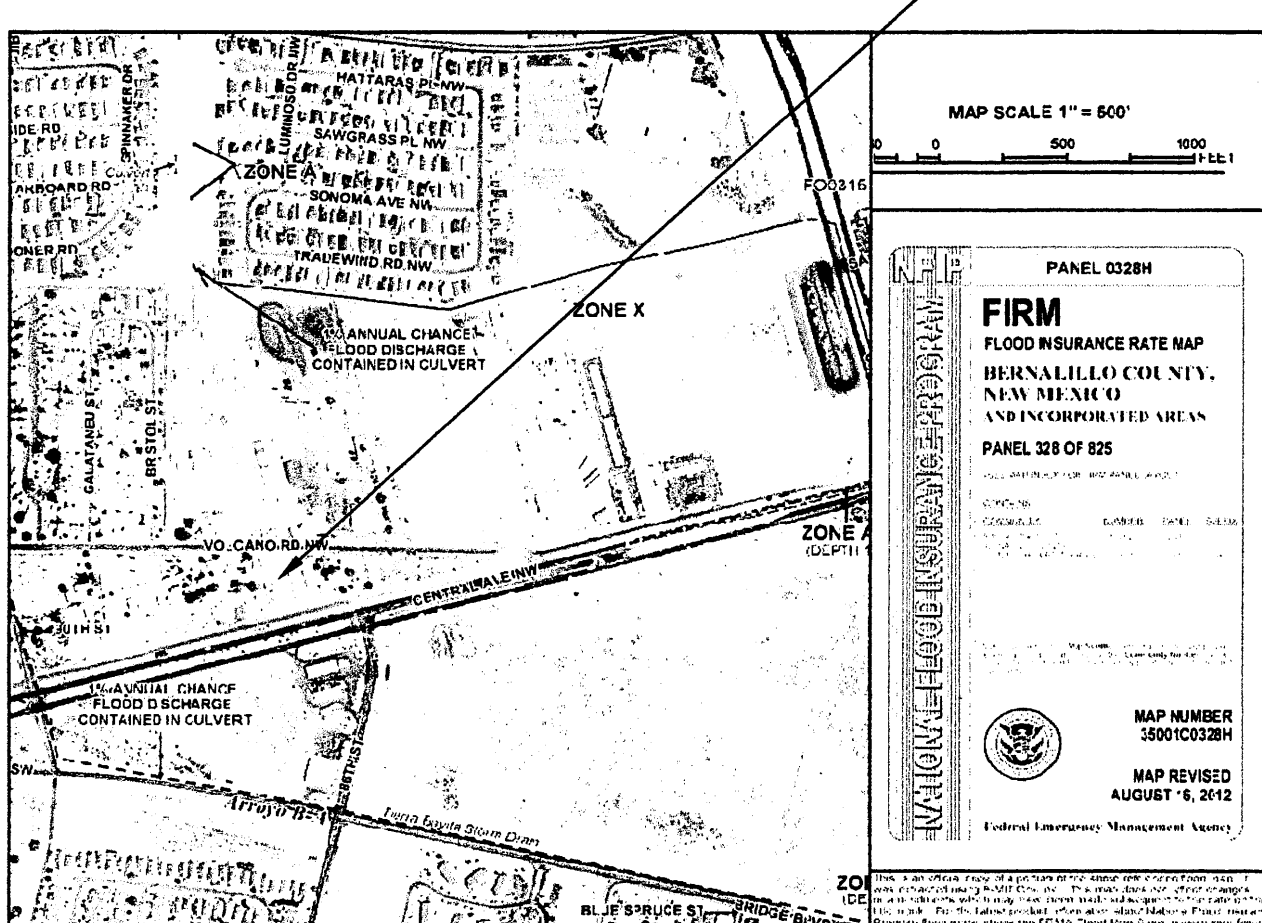




LOCATION SITE



EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT OF WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN-OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH AND SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL DISTURBED AREAS MUST BE REVEGETATED.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 10A OF THE FIRST REPLAT OF BLOCK SEVEN OF THE ORIGINAL TOWNSITE OF THE TOWN OF WESTLAND (8705 CENTRAL AVENUE N.W.) BERNALILLO COUNTY, NEW MEXICO, IS CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.4585 ACRES AND IS LOCATED BETWEEN 86 TH AND 90 TH STREET ON THE NORTH SIDE OF CENTRAL AVENUE. THE SITE DRAINS FROM WEST TO EAST THEN SOUTH TO THE FRONTAGE ROAD. ACCORDING TO THE FLOOD INSURANCE RATE MAP, 0328G, WITH REVISION DATE OF SEPTEMBER 26, 2008, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 2000 SQ. FT. METAL BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ALL DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS CENTRAL FRONTAGE ROAD N.W.. THE CALCULATIONS WHICH APPEAR HEREON; ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS; AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.4585 ac.
L & C TRANSPORT
ZONE 1
PRECIPITATION: 360 = 2.20 in.
1440 = 2.66 in.
10day = 3.67 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.44 in.	1.29 cfs/ac.
TREATMENT B 0.67 in.	2.03 cfs/ac.
TREATMENT C 0.99 in.	2.87 cfs/ac.
TREATMENT D 1.97 in.	4.37 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0.062 ac.
TREATMENT C 0.4585 ac.	0.2867 ac.
TREATMENT D 0 ac.	0.1098 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.44 x 0.00) + (0.67 x 0.00) + (0.99 x 0.46) + (1.97 x 0.00) / 0.46 ac.
= 0.99 in.
V100-360 = (0.99 x 0.46) / 12 = 0.037826 ac-ft = 1648 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.29 x 0.00) + (2.03 x 0.00) + (2.87 x 0.46) + (4.37 x 0.00) = 1.32 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.44 x 0.00) + (0.67 x 0.06) + (0.99 x 0.29) + (1.97 x 0.11) / 0.46 ac.
= 1.18 in.

V100-360 = (1.18 x 0.46) / 12.0 = 0.045140 ac-ft = 1966 CF

V100-1440 = (0.05) + (0.11) x (2.66 - 2.20) / 12 = 0.049349 ac-ft = 2150 CF

V100-10day = (0.05) + (0.11) x (3.67 - 2.20) / 12 = 0.058590 ac-ft = 2552 CF

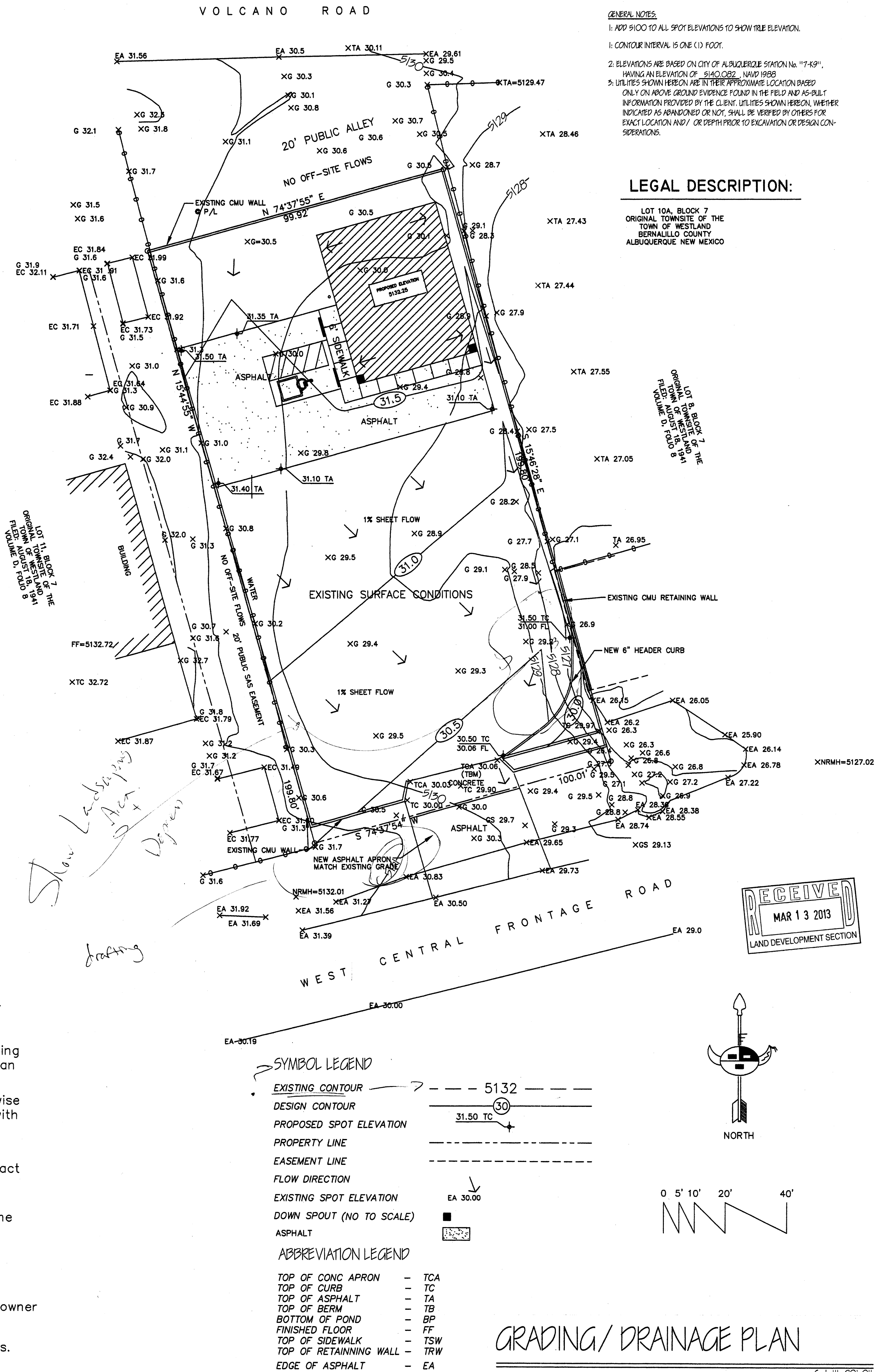
PROPOSED PEAK DISCHARGE:

Q100 = (1.29 x 0.00) + (2.03 x 0.06) + (2.87 x 0.29) + (4.37 x 0.00) = 1.43 CFS

INCREASE 1.43 CFS - 1.32 CFS = .11 CFS

NOTICE TO CONTRACTOR

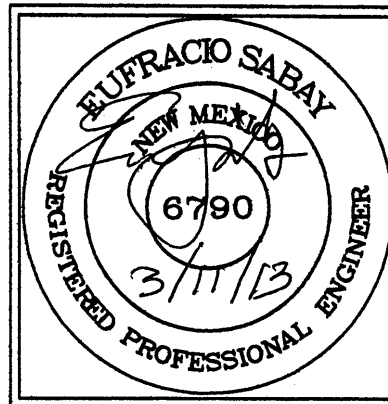
1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction 1985.
3. Two working days prior to any excavation, contractor must contact New Mexico one call for locating service, 260-1990 or "811" for location of existing services.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of this facilities shall be the responsibility of the owner of the property served.
7. Work on arterial streets shall be performed on a 24-hour basis.



GENERAL NOTES:
1. ADD 9100 TO ALL SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "17-K9", HAVING AN ELEVATION OF 5140.082 NAVD 1988
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND / OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.

LEGAL DESCRIPTION:

LOT 10A, BLOCK 7 OF THE ORIGINAL TOWNSITE OF THE TOWN OF WESTLAND BERNALILLO COUNTY ALBUQUERQUE, NEW MEXICO



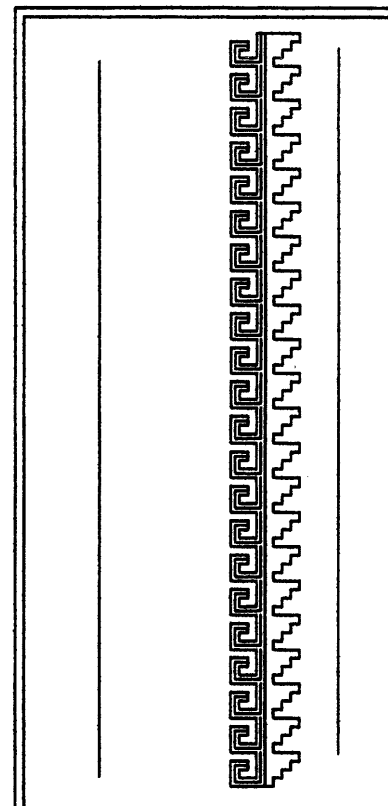
JOB NO:	XXXXXXXXXX
DATE:	FEBRUARY 2013
REVISIONS:	

Sheet Title

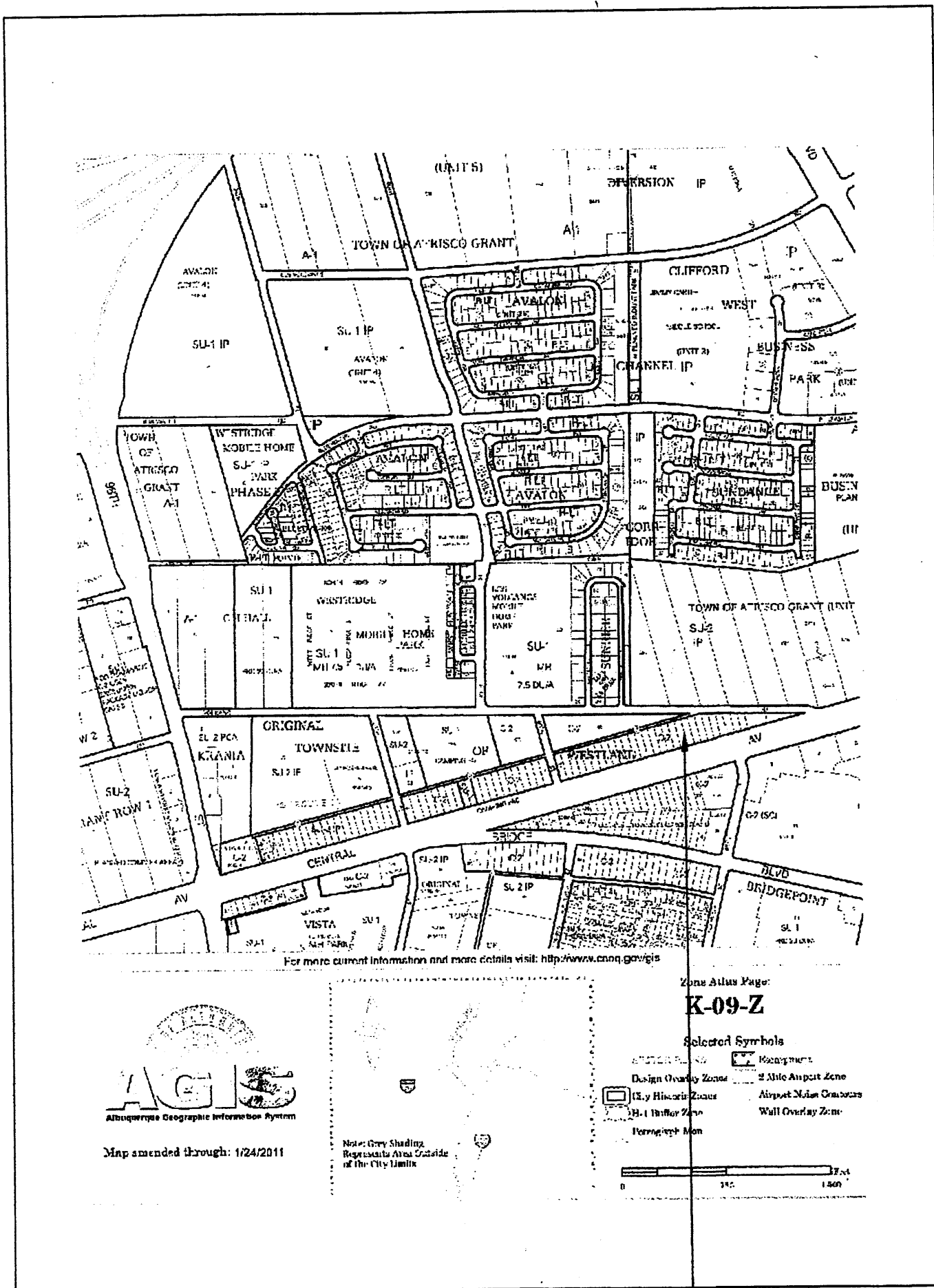
GRADING AND DRAINAGE PLAN

Drawn By: H. Head & B. Montoya

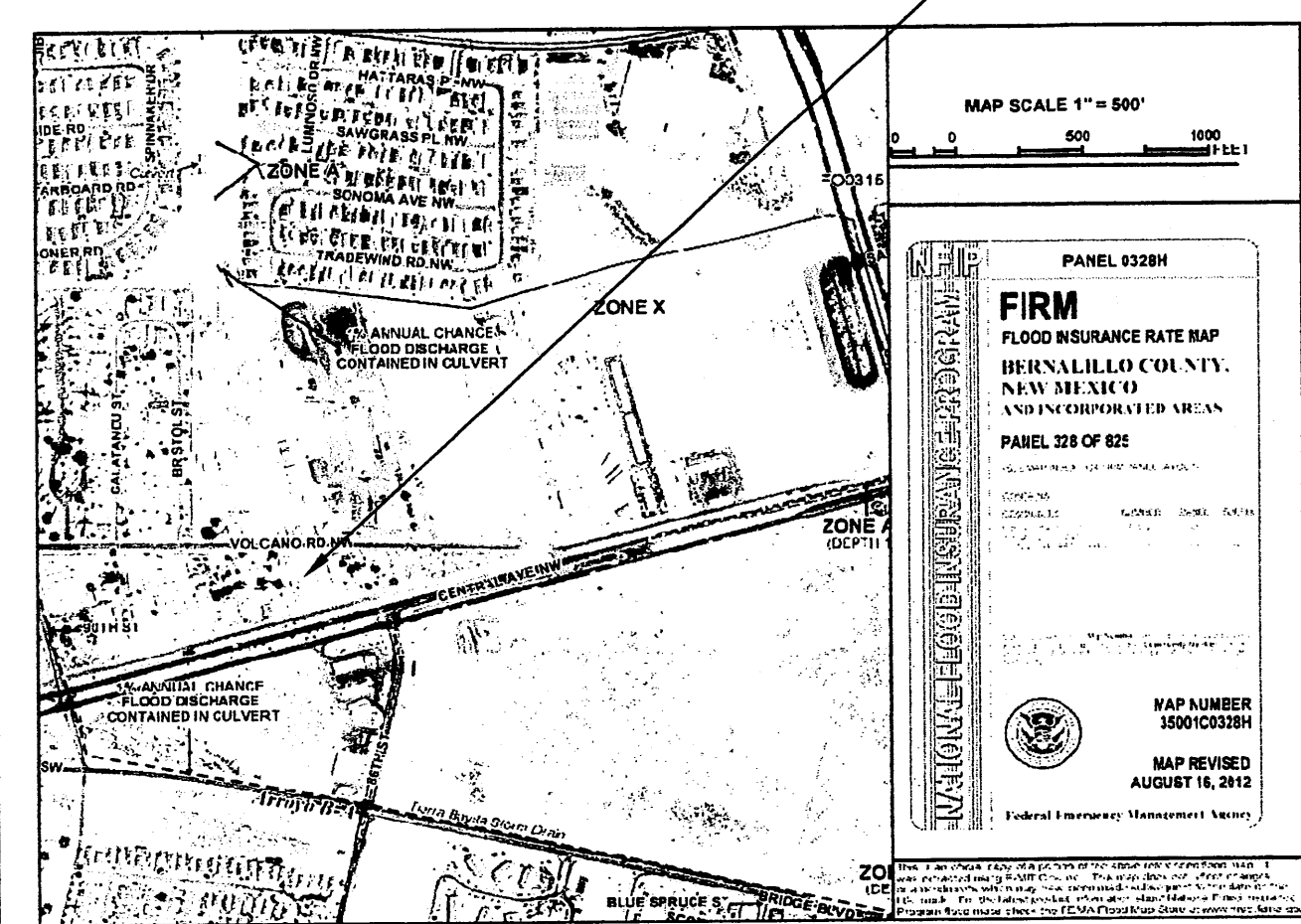
Checked By: ES



Project Name
METAL PRIVATE GARAGE FOR L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W. ALBUQUERQUE, NEW MEXICO



LOCATION SITE



EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT OF WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN-OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH AND SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL DISTURBED AREAS MUST BE REVEGETATED.

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 10A OF THE FIRST REPLAT OF BLOCK SEVEN OF THE ORIGINAL TOWNSITE OF THE TOWN OF WESTLAND (8705 CENTRAL AVENUE N.W.) BERNALILLO COUNTY, NEW MEXICO, IS CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.4585 ACRES AND IS LOCATED BETWEEN 86 TH AND 90 TH STREET ON THE NORTH SIDE OF CENTRAL AVENUE. THE SITE DRAINS FROM WEST TO EAST THEN SOUTH TO THE FRONTAGE ROAD. ACCORDING TO THE FLOOD INSURANCE RATE MAP, 0328G, WITH REVISION DATE OF SEPTEMBER 26, 2008, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 2000 SQ. FT. METAL BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ALL DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS CENTRAL FRONTAGE ROAD N.W.. THE CALCULATIONS WHICH APPEAR HEREON, ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS; AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.4585 ac.
L & C TRANSPORT
PRECIPITATION: 360 = 2.20 in.
1440 = 2.66 in.
10day = 3.67 in.

	EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A	0.44 in.	1.29 cfs/ac.
TREATMENT B	0.67 in.	2.03 cfs/ac.
TREATMENT C	0.99 in.	2.87 cfs/ac.
TREATMENT D	1.97 in.	4.37 cfs/ac.

	EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A	0 ac.	0 ac.
TREATMENT B	0 ac.	0.062 ac.
TREATMENT C	0.4585 ac.	0.2072 ac.
TREATMENT D	0 ac.	0.1893 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.44) x (0.00) + (0.67) x (0.00) + (0.99) x (0.46) + (1.97) x (0.00) / 0.05 ac.
= 9.90 in.
V100-360 = (9.90) x (0.05) / 12 = 0.037826 ac-ft = 1648 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.29) x (0.00) + (2.03) x (0.00) + (2.87) x (0.46) + (4.37) x (0.00) = 1.32 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.44) x (0.00) + (0.67) x (0.06) + (0.99) x (0.21) + (1.97) x (0.19) / 0.05 ac.
= 13.51 in.
V100-360 = (13.51) x (0.05) / 12.0 = 0.051632 ac-ft = 2249 CF

V100-1440 = (0.05) + (0.19) x (2.66 - 2.20) / 12 = 0.058889 ac-ft = 2565 CF

V100-10day = (0.05) + (0.19) x (3.67 - 2.20) / 12 = 0.074822 ac-ft = 3259 CF

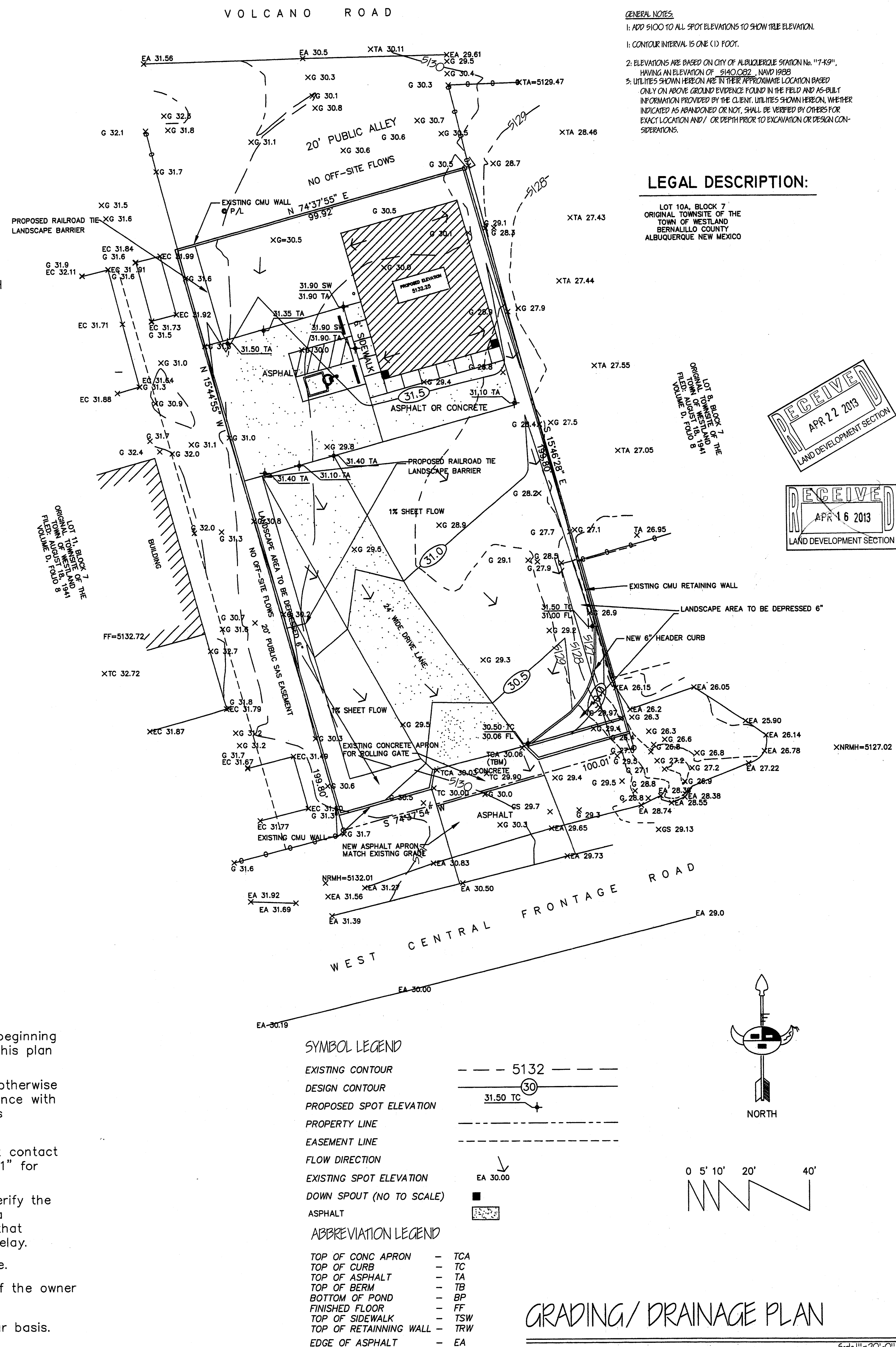
PROPOSED PEAK DISCHARGE:

Q100 = (1.29) x (0.00) + (2.03) x (0.06) + (2.87) x (0.21) + (4.37) x (0.00) = 1.55 CFS

INCREASES 1.55 CFS - 1.32 CFS = 0.23 CFS

NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction 1985.
3. Two working days prior to any excavation, contractor must contact New Mexico one call for locating service, 260-1990 or "811" for location of existing services.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of this facilities shall be the responsibility of the owner of the property served.
7. Work on arterial streets shall be performed on a 24-hour basis.

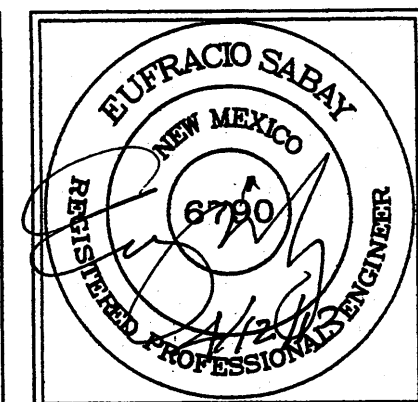
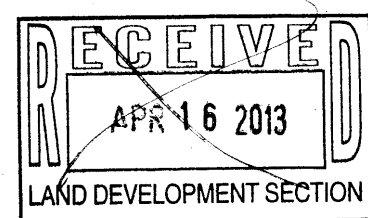


GENERAL NOTES

1. ADD 5100 TO ALL SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION # "7-43", HAVING AN ELEVATION OF 5140.022, JANUARY 1985.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROPRIATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND / OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.

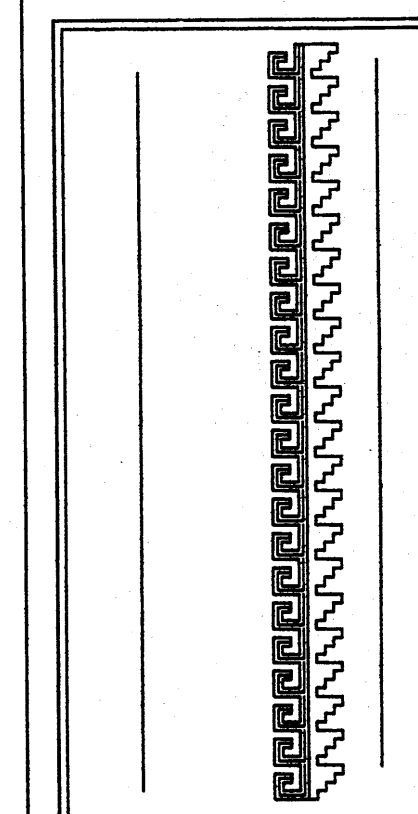
LEGAL DESCRIPTION:

LOT 10A, BLOCK 7
ORIGINAL TOWNSITE OF THE
TOWN OF WESTLAND
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO



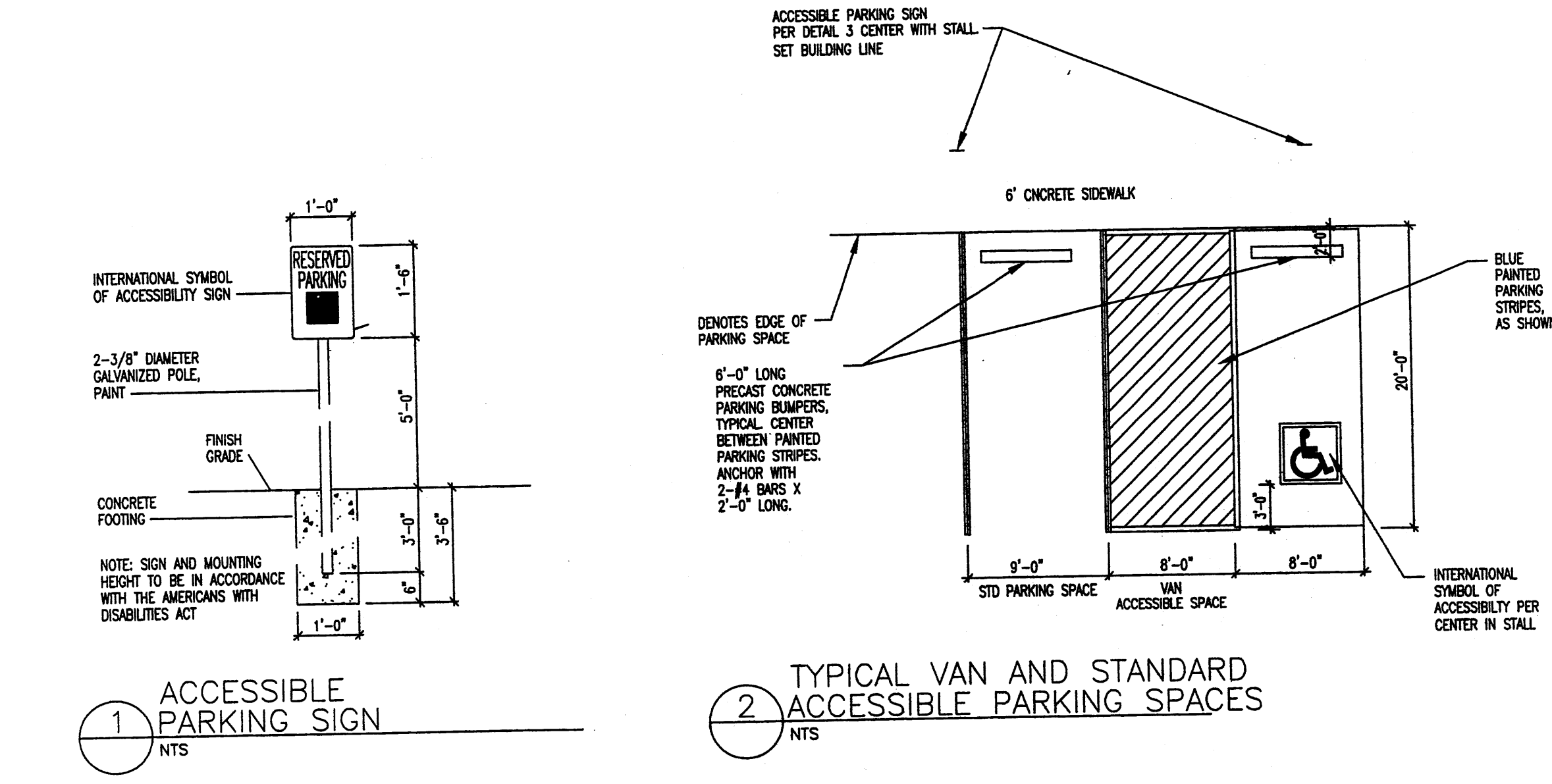
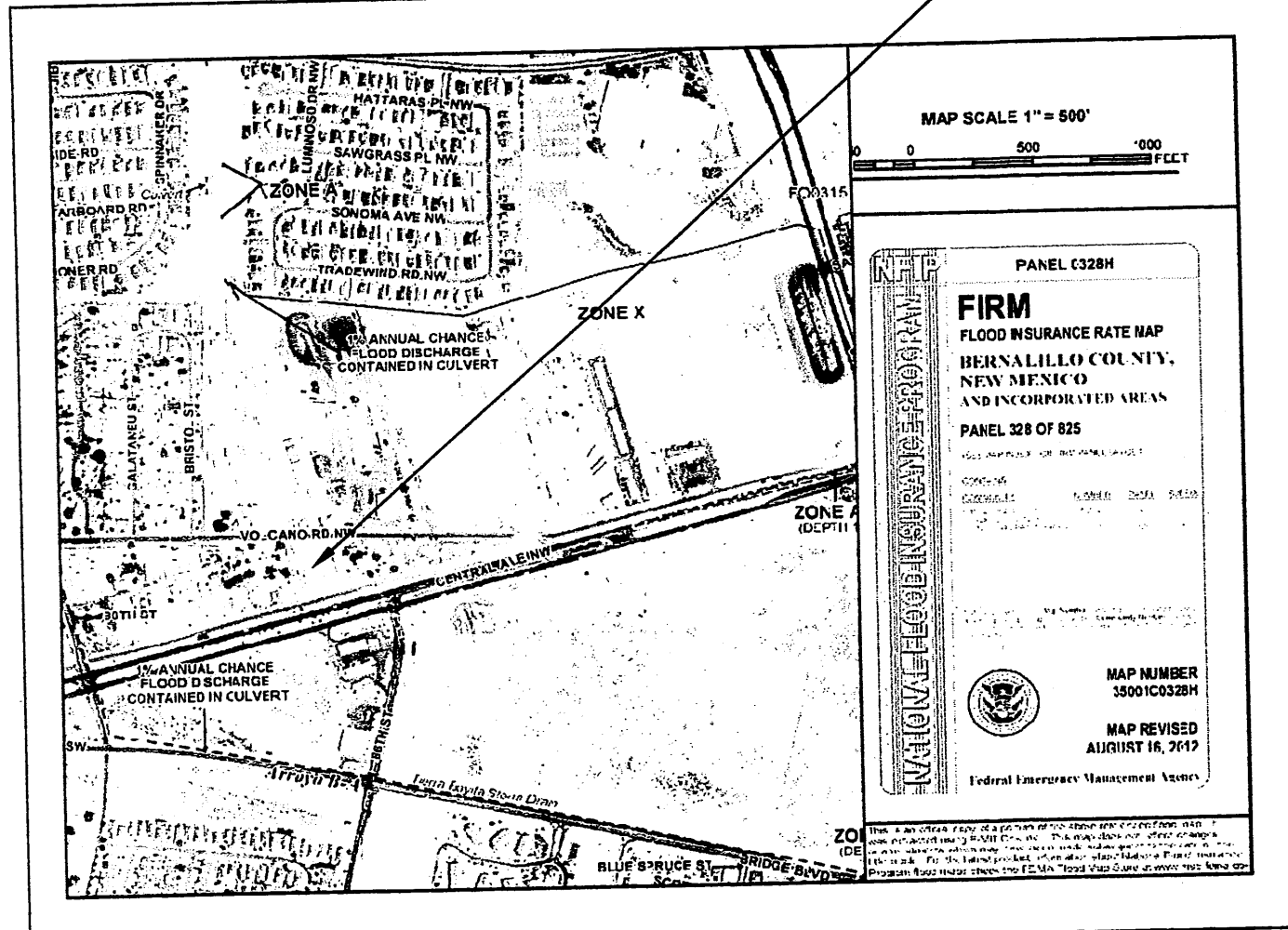
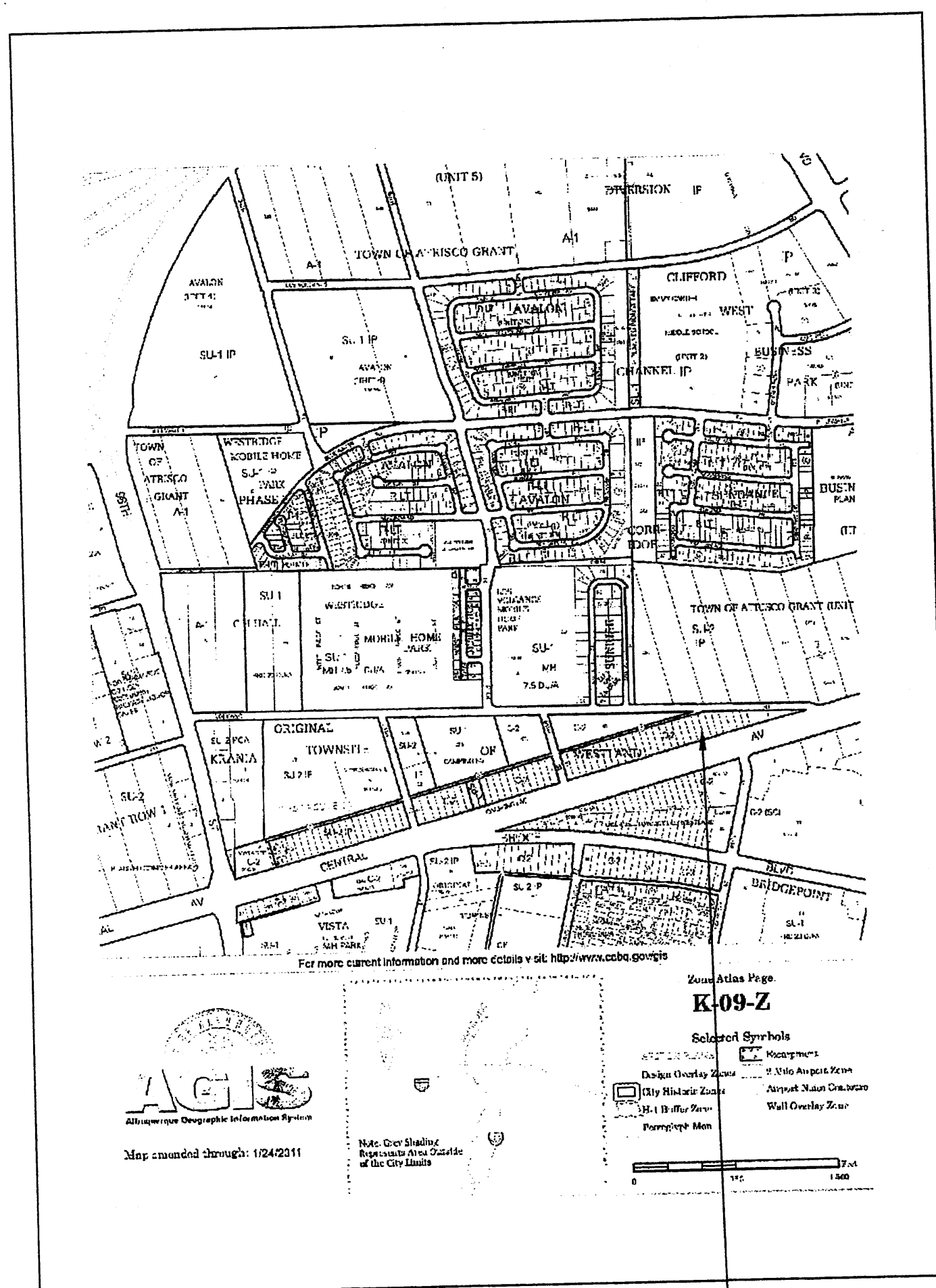
JOB NO:	XXXXXXXXX
DATE:	APRIL 2013
REVISIONS:	

GRADING AND DRAINAGE PLAN
Checked By: ES
Drawn By: H Head & B Montoya



Project Name
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 1 OF 1
GD



- SYMBOL LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - BUILDING LINE
 - DOWN SPOUT (NOT TO SCALE)
 - ASPHALT
 - WIRE FENCE WITH FENCE POSTS

SITE DATA

LOT AREA	19,972.26 S.F.
NEW BUILDING AREA	2,000 S.F.

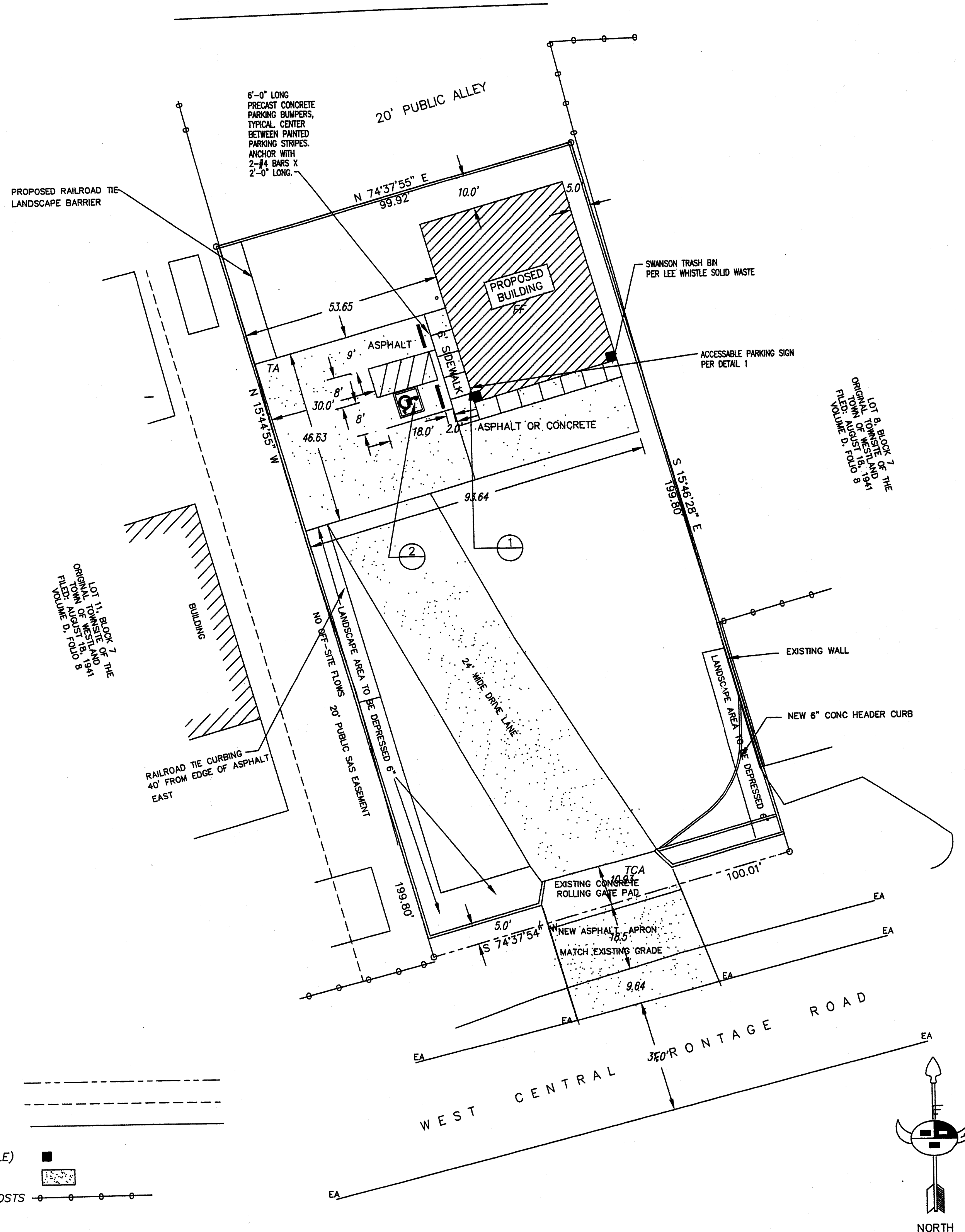
LANDSCAPE CALCULATIONS:

NET LOT AREA	19,972.26 S.F.
LANDSCAPING REQUIRED	$19,972.26 - 2000 = 17,972.26$
LANDSCAPING PROVIDED	$17,972.26 \times 15\% = 2,695.84$ S.F.

PER SECTION 14-16-1 OFF STREET PARKING REGULATIONS

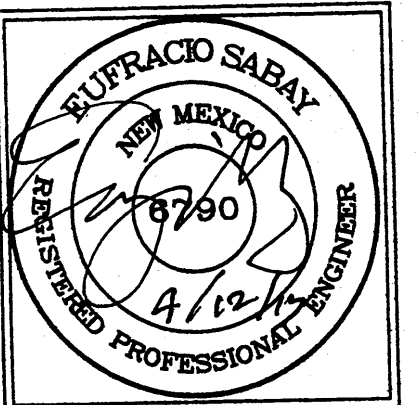
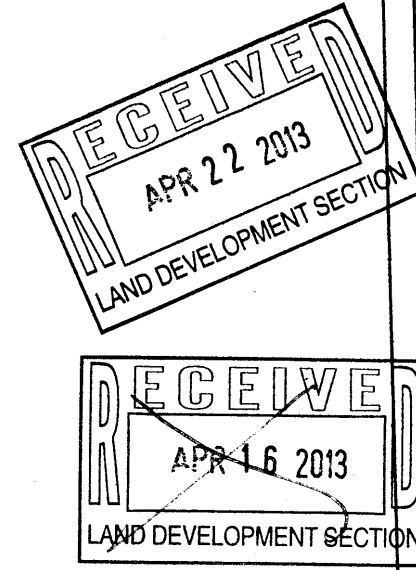
- ONE SPACE PER 2000 SQ. FT. OF BUILDING AREA
- ONE SPACE REQUIRED
- ONE SPACE PROVIDED PLUS ONE HANDICAP STALL ALSO

- ABBREVIATION LEGEND**
- TOP OF CONC APRON - TCA
 - TOP OF CURB - TC
 - TOP OF ASPHALT - TA
 - FINISHED FLOOR - FF
 - TOP OF RETAINING WALL - TRW
 - EDGE OF ASPHALT - EA



LEGAL DESCRIPTION:

LOT 10A, BLOCK 7
ORIGINAL TOWNSITE OF THE
TOWN OF WESTLAND
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO



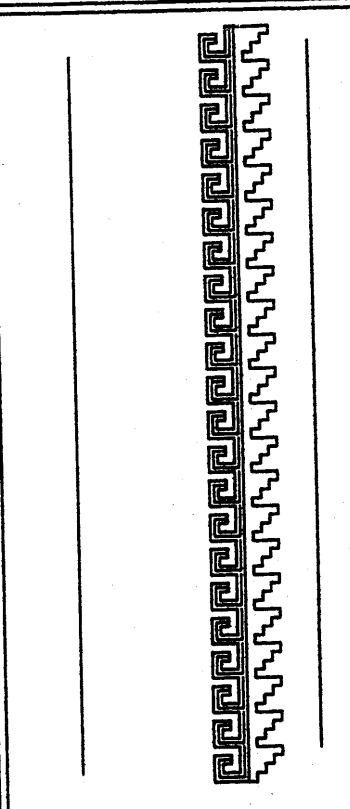
JOB NO. XXXXXXXX

APRIL 2013

REVISIONS

TRAFFIC CIRCULATION LAYOUT

Drawn By: H. H. H. & B. J. Montoya
Checked By: MB



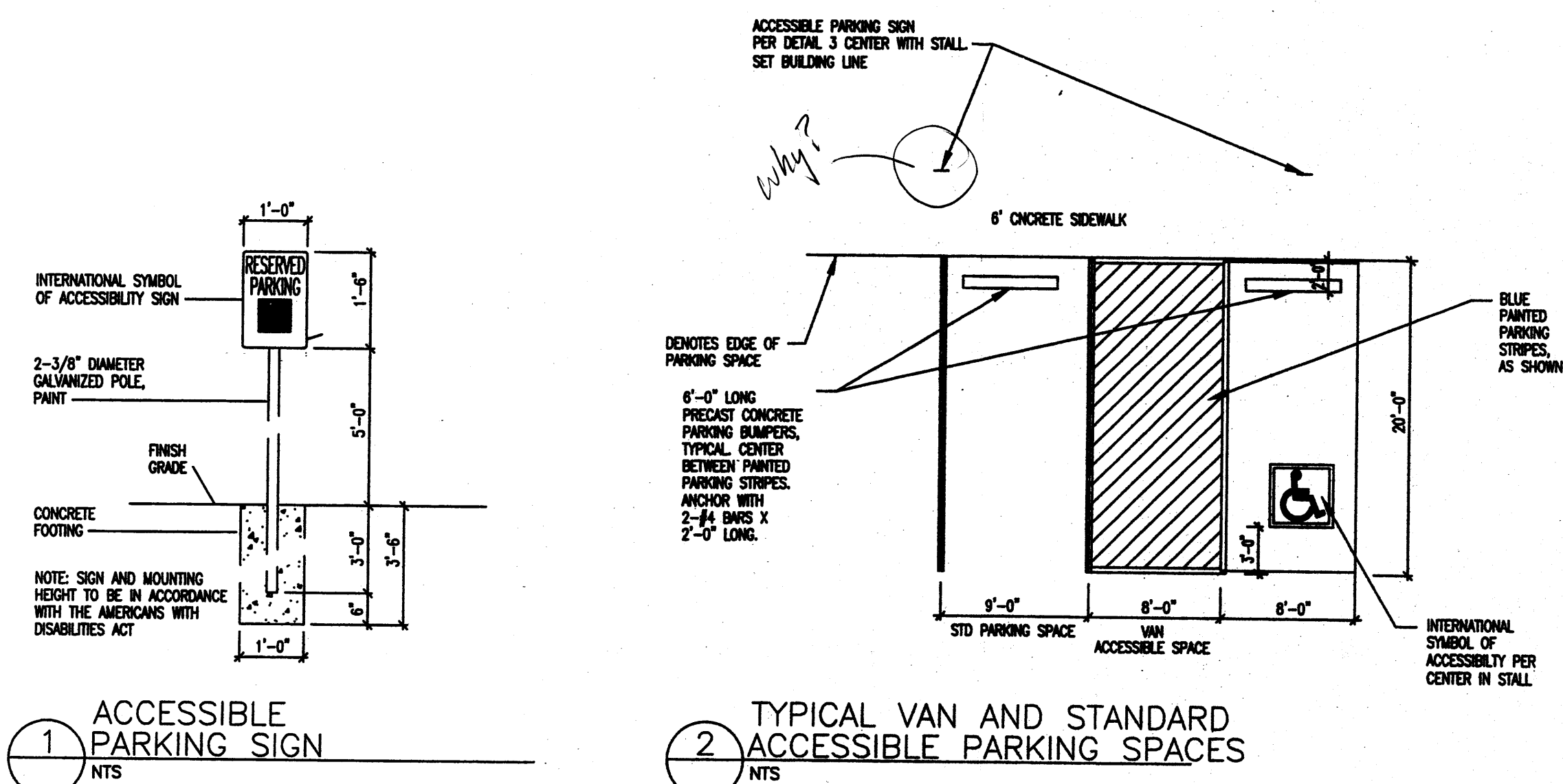
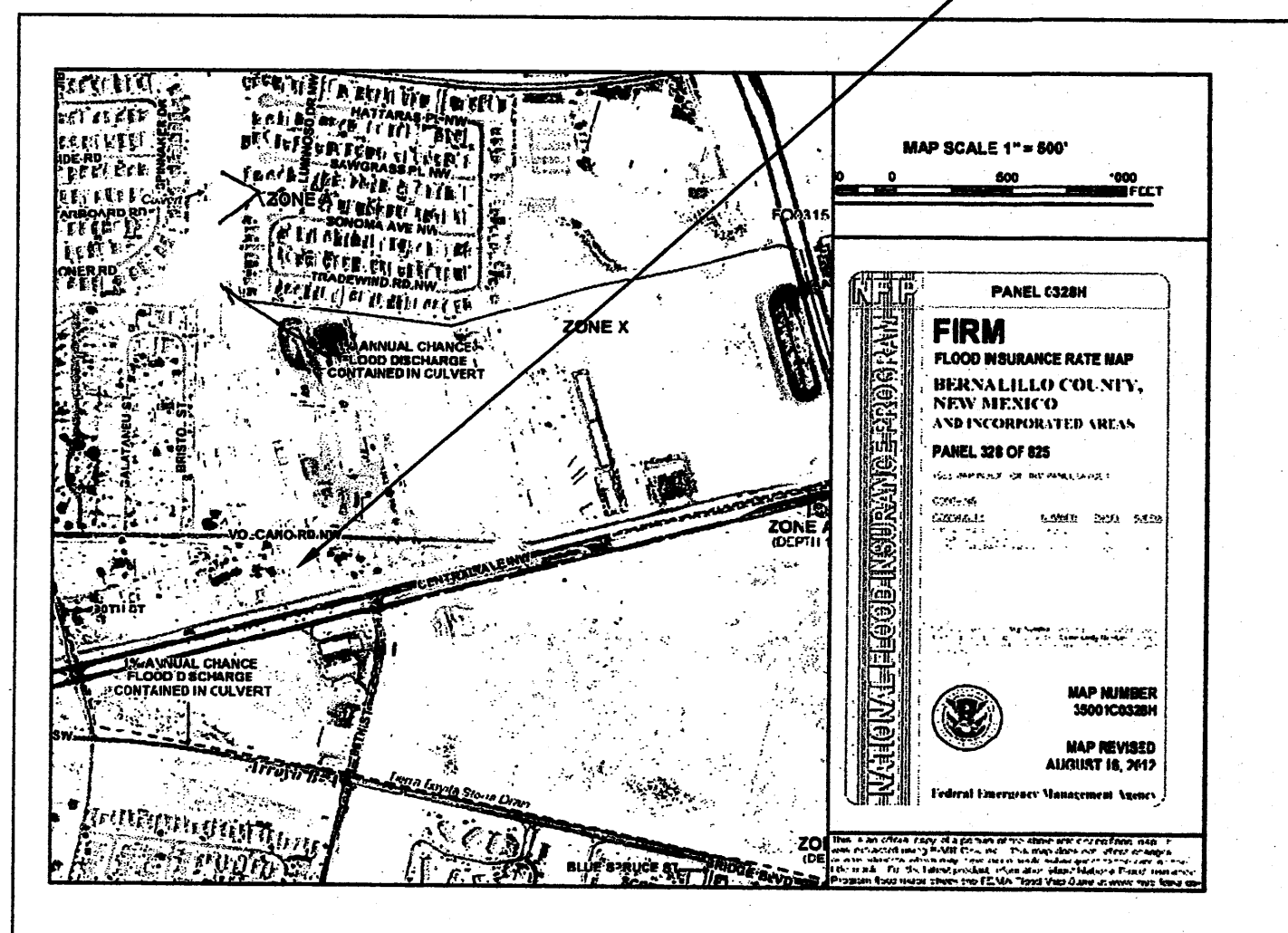
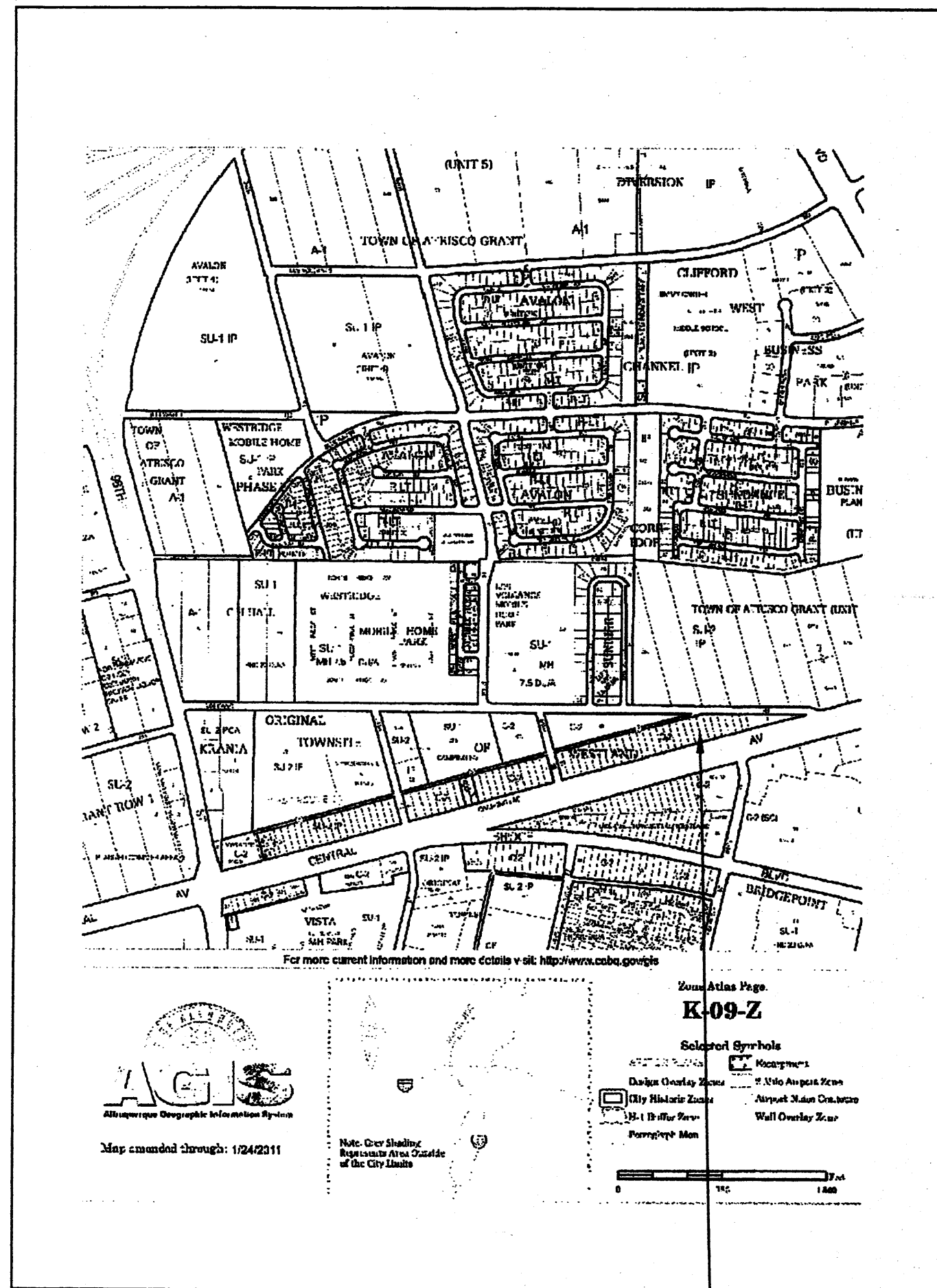
Project Name
**METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO**

SHEET NO. 1 OF 1

TCL

TRAFFIC CIRCULATION LAYOUT

Scale 1" = 20'-0"



SYMBOL LEGEND

PROPERTY LINE
EASEMENT LINE
BUILDING LINE
DOWN SPOUT (NOT TO SCALE)
ASPHALT
WIRE FENCE WITH FENCE POSTS

SITE DATA

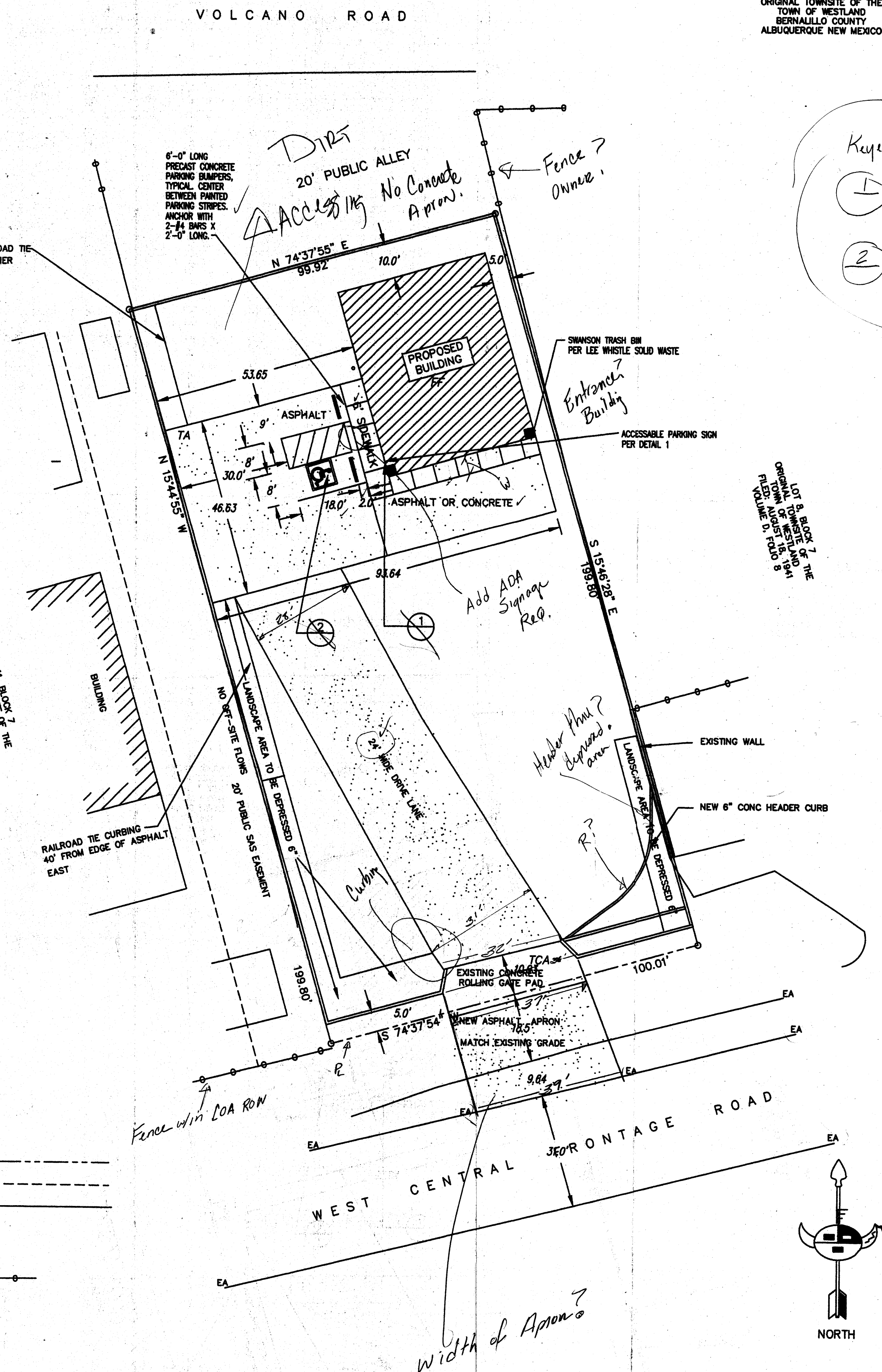
LOT AREA	19,972.26 S.F.
NEW BUILDING AREA	2,000 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA	19,972.26 S.F.
LANDSCAPING REQUIRED	19,972.26 - 2000 = 17,972.26
	17,972.26 X 15% = 2,695.84 S.F.
LANDSCAPING PROVIDED	2,750.00 S.F.

PER SECTION 14-16-1 OFF STREET PARKING REGULATIONS

ONE SPACE PER 2000 SQ. FT. OF BUILDING AREA
ONE SPACE REQUIRED
ONE SPACE PROVIDED PLUS ONE HANDICAP STALL ALSO



LEGAL DESCRIPTION:

LOT 10A, BLOCK 7
ORIGINAL TOWNSITE OF THE
TOWN OF WESTLAND
BERNALILLO COUNTY
ALBUQUERQUE NEW MEXICO

Keyed Notes

① Details
② Details

RECEIVED
APR 22 2013
LAND DEVELOPMENT SECTION

RECEIVED
APR 16 2013
LAND DEVELOPMENT SECTION



JOB NO: XXXXXXXXXX

APRIL 2013

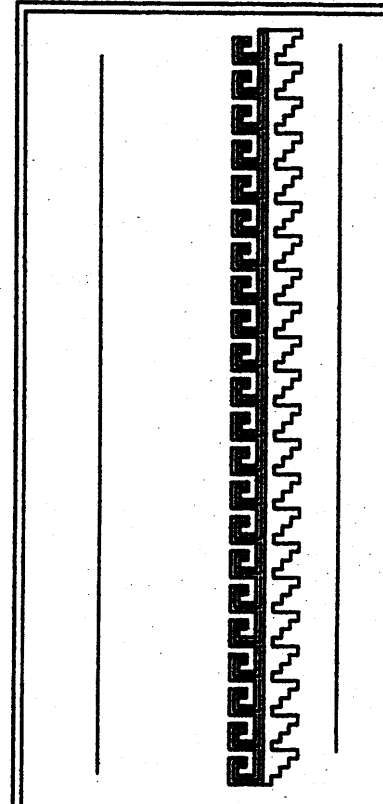
REVISIONS

TRAFFIC CIRCULATION LAYOUT

Sheet Title

Drawn By: H. Wood & B. J. Markey

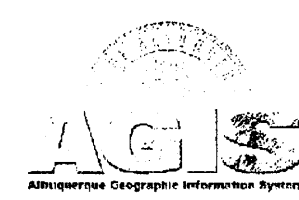
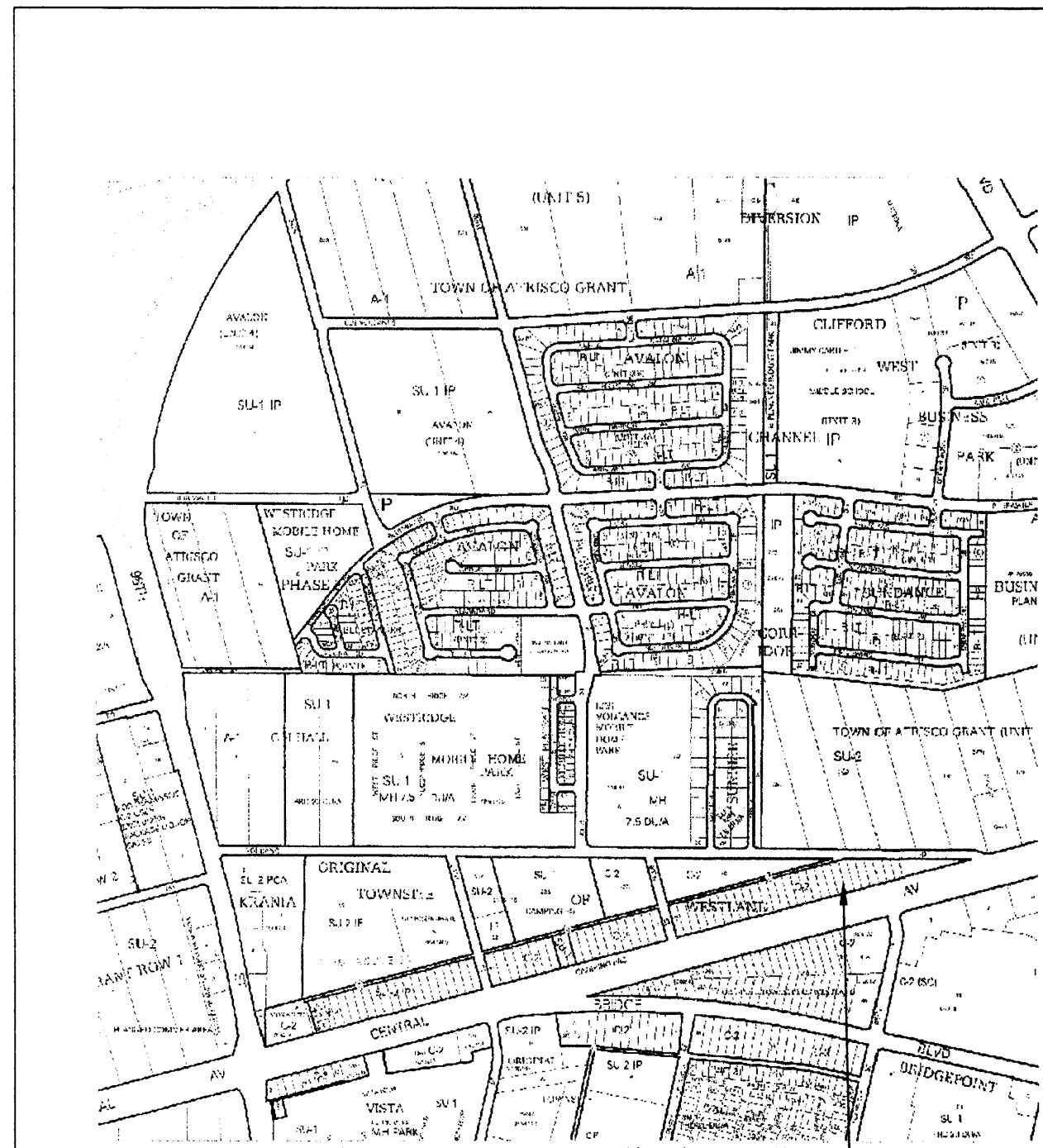
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Project Name
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 1 OF 1

TCL



Scale: 1" = 500'

Map Number: 1000-000000

Map Revised: August 16, 2012

Map Scale: 1" = 500'

Map Number: 1000-000000

Map Revised: August 16, 2012

Map Scale: 1" = 500'

Map Number: 1000-000000

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Map Revised: August 16, 2012

Map Scale: 1" = 500'

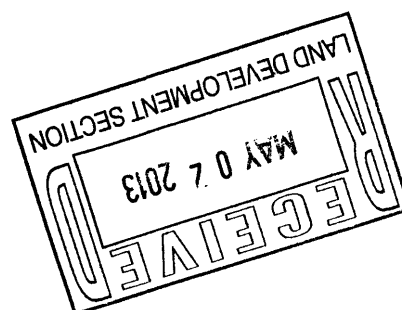
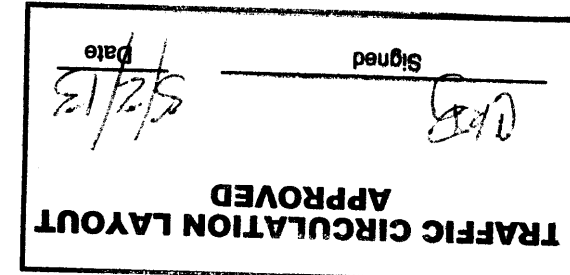
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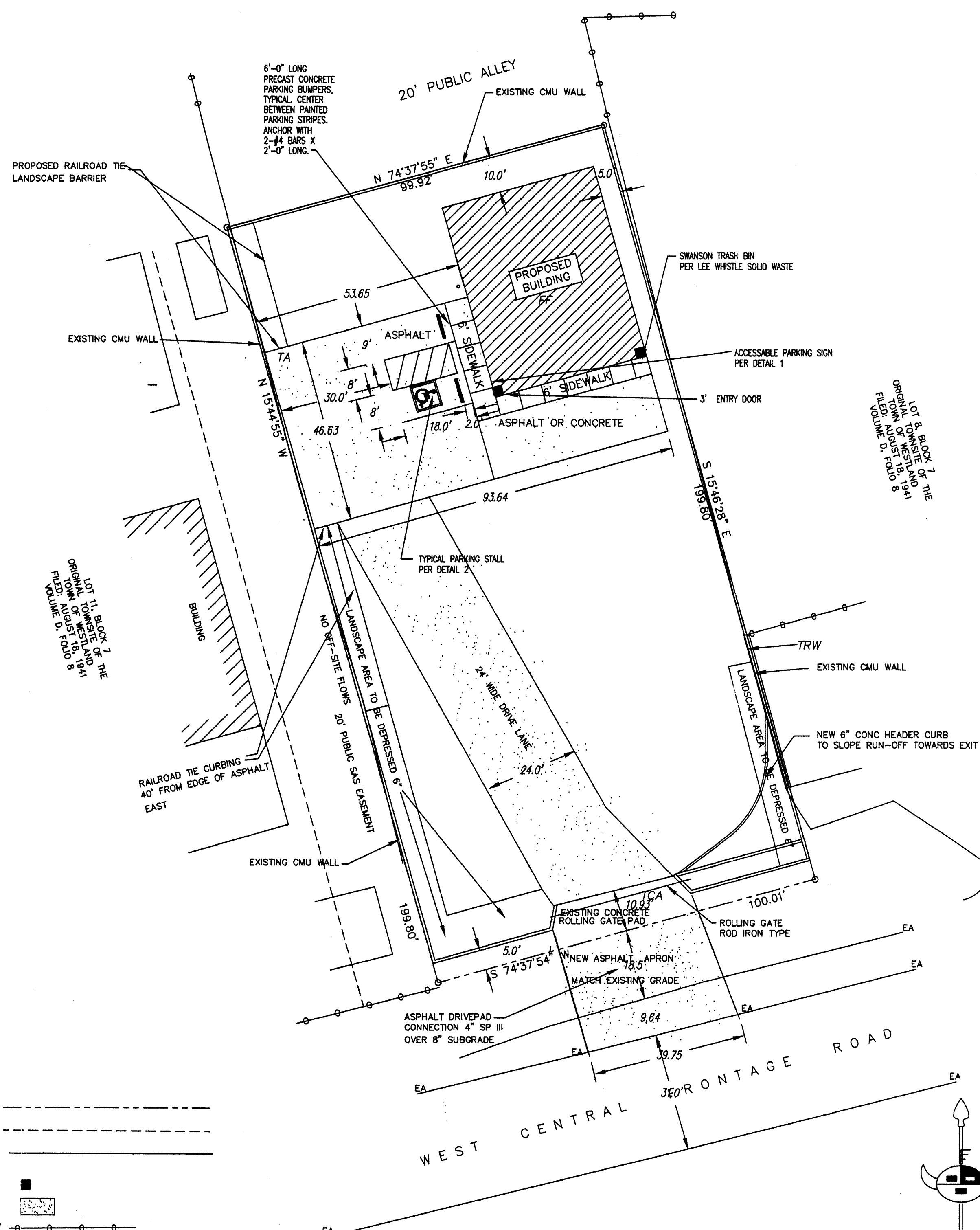
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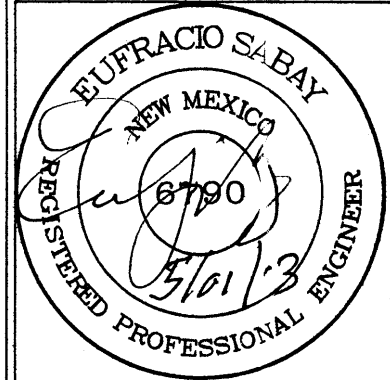


ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure snow and Work Order required. Separate DRC/Permit approval only and not part of approval on these plans for information.

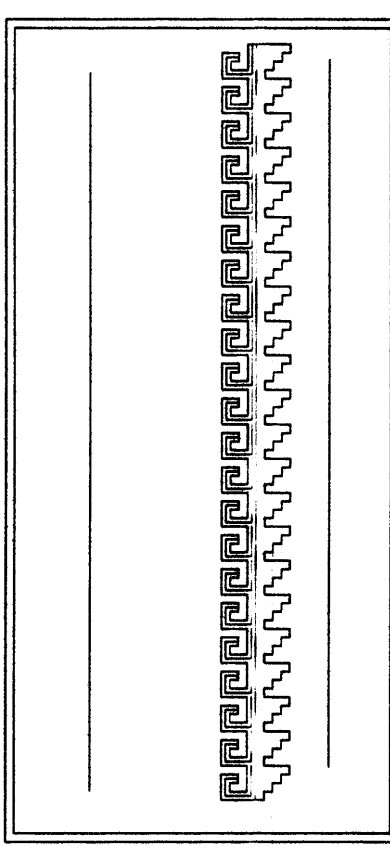


LEGAL DESCRIPTION:
LOT 10A, BLOCK 7
ORIGINAL TOWNSITE OF THE
TOWN OF WESTLAND
BERNALILLO COUNTY
ALBUQUERQUE NEW MEXICO



JOB NO:	XXXXXXXXX
APRIL 2013	
REVISIONS	
4-30-2013	

TRAFFIC CIRCULATION LAYOUT
Sheet Title
Drawn By: H. Head & B. J. Montoya
Checked By: MB



Project Name:
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 8 OF 8
TCL

SYMBOL LEGEND

PROPERTY LINE	---
EASEMENT LINE	---
BUILDING LINE	---
DOWN SPOUT (NOT TO SCALE)	■
ASPHALT	▨
WIRE FENCE WITH FENCE POSTS	—○—○—○—

SITE DATA

LOT AREA	19,972.26 S.F.
NEW BUILDING AREA	2,000 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA	19,972.26 S.F.
LANDSCAPING REQUIRED	19,972.26 - 2000 = 17,972.26
	17,972.26 X 15% = 2,695.84 S.F.
LANDSCAPING PROVIDED	2,750.00 S.F.

PER SECTION 14-16-1 OFF STREET PARKING REGULATIONS

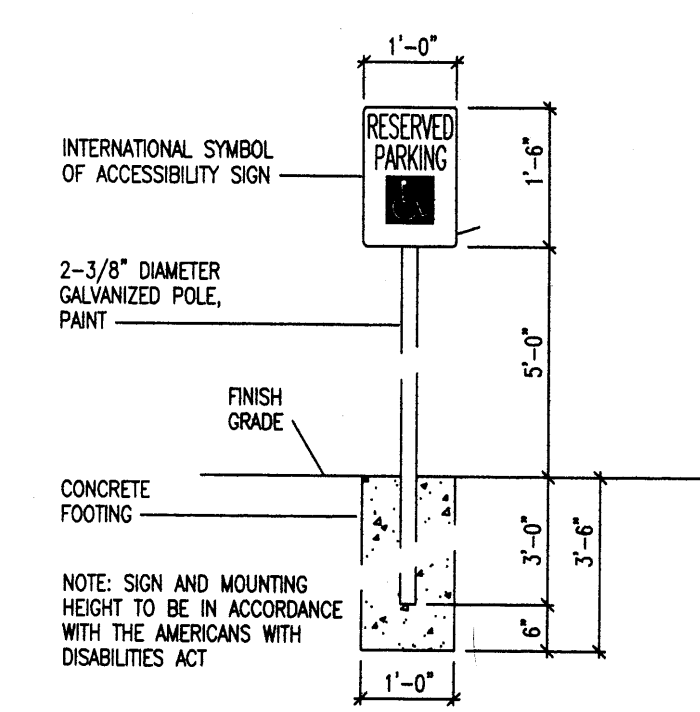
ONE SPACE PER 2000 SQ. FT. OF BUILDING AREA
ONE SPACE REQUIRED
ONE SPACE PROVIDE PLUS ONE HANDICAP STALL ALSO

ABBREVIATION LEGEND

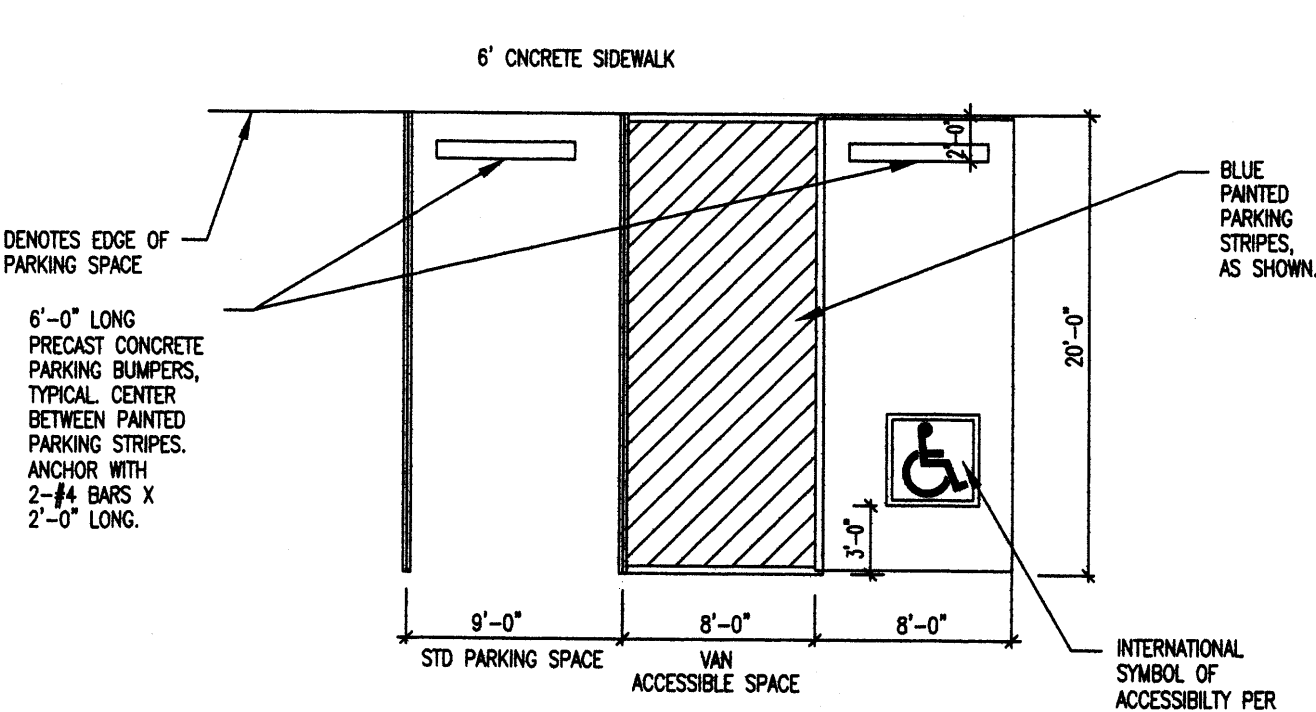
TOP OF CONC APRON	- TCA
TOP OF CURB	- TC
TOP OF ASPHALT	- TA
FINISHED FLOOR	- FF
TOP OF RETAINING WALL	- TRW
EDGE OF ASPHALT	- EA

TRAFFIC CIRCULATION LAYOUT

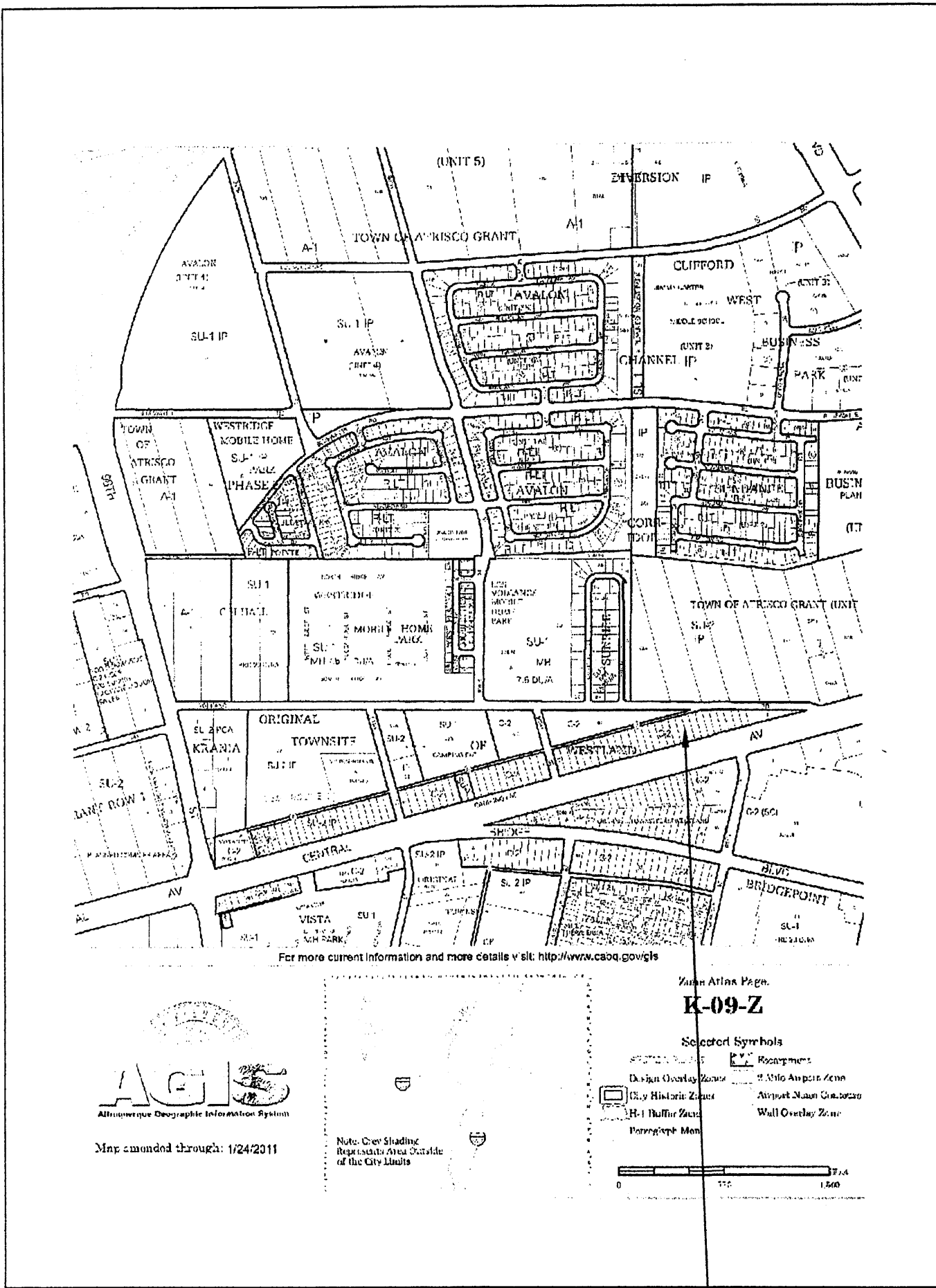
Scale: 1" = 20'-0"



1 ACCESSIBLE PARKING SIGN DETAIL
NTS



2 TYPICAL VAN AND STANDARD ACCESSIBLE PARKING SPACES
NTS



GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 10A OF THE FIRST REPLAT OF BLOCK SEVEN OF THE ORIGINAL TOWNSITE OF THE TOWN OF WESTLAND (8705 CENTRAL AVENUE N.W.) BERNALILLO COUNTY, NEW MEXICO, IS CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.4585 ACRES AND IS LOCATED BETWEEN 86 TH AND 90 TH STREET ON THE NORTH SIDE OF CENTRAL AVENUE. THE SITE DRAINS FROM WEST TO EAST THEN SOUTH TO THE FRONTAGE ROAD.ACCORDING TO THE FLOOD INSURANCE RATE MAP,0328G, WITH REVISION DATE OF SEPTEMBER 26, 2008, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 2000 SQ. FT. METAL BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ALL DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS CENTRAL FRONTAGE ROAD N.W.. THE CALCULATIONS WHICH APPEAR HEREON; ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40- ACRES AND SMALLER BASINS; AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.4585 ac.	
ZONE 1	
PRECIPITATION:	
360 = 2.20 in.	
1440 = 2.66 in.	
10day = 3.67 in.	
EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.44 in.	1.29 cfs/ac.
TREATMENT B 0.67 in.	2.03 cfs/ac.
TREATMENT C 0.99 in.	2.87 cfs/ac.
TREATMENT D 1.97 in.	4.37 cfs/ac.
EXISTING CONDITIONS:	PROPOSED CONDITIONS:
AREA 0 ac.	AREA 0 ac.
TREATMENT A 0 ac.	0.082 ac.
TREATMENT B 0 ac.	0.1373 ac.
TREATMENT C 0.4585 ac.	0.2392 ac.
TREATMENT D 0 ac.	

EXISTING EXCESS PRECIPITATION:

Weighted E =(0.44)x(0.00)+(0.67)x(0.00)+(0.99)x(0.46)+(1.97)x(0.00)/ 0.46 ac.
= 0.89 in.
V100-360 =(0.99)x(0.46)/ 12 = 0.037826 ac-ft = 1648 CF

EXISTING PEAK DISCHARGE:

Q100 =(1.29)x(0.00)+(2.03)x(0.00)+(2.87)x(0.46)+(4.37)x(0.00)= 1.32 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E =(0.44)x(0.00)+(0.67)x(0.08)+(0.99)x(0.14)+(1.97)x(0.24)/ 0.46 ac.
= 1.44 in.
V100-360 =(1.44)x(0.46)/ 12.0 = 0.055174 ac-ft = 2403 CF

V100-1440 =(0.06)+(0.24)x(2.66 - 2.20)/ 12 = 0.064344 ac-ft = 2803 CF

V100-10day =(0.06)+(0.24)x(3.67 - 2.20)/ 12 = 0.084476 ac-ft = 3680 CF

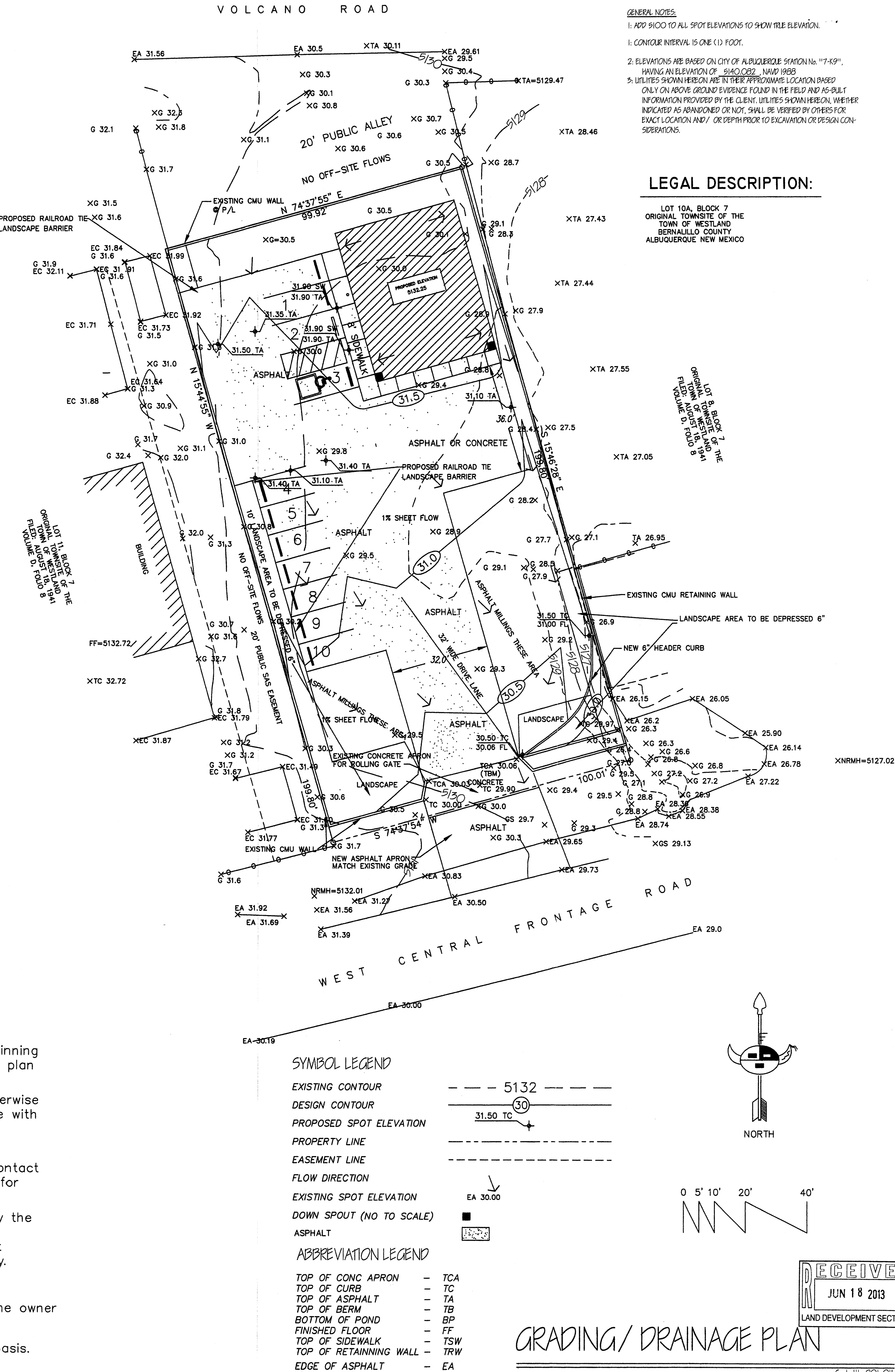
PROPOSED PEAK DISCHARGE:

Q100 =(1.29)x(0.00)+(2.03)x(0.08)+(2.87)x(0.14)+(4.37)x(0.00)= 1.61 CFS

INCREASE 1.61 CFS - 1.32 CFS = 0.29 CFS

NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction 1985.
3. Two working days prior to any excavation, contractor must contact New Mexico one call for locating service, 260-1990 or "811" for location of existing services.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic/street use.
6. Maintenance of this facilities shall be the responsibility of the owner of the property served.
7. Work on arterial streets shall be performed on a 24-hour basis.



EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT OF WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN-OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH AND SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL DISTURBED AREAS MUST BE REVEGETATED.



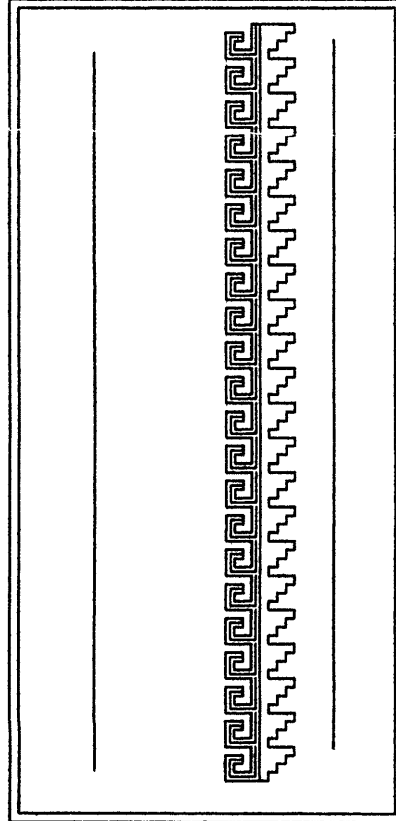
JOB NO:	XXXXXXXX
APRIL 2013	
REVISIONS	
6/10/2013	

Sheet Title

GRADING AND DRAINAGE PLAN

Checked By: ES

Drawn By: H Head & BJ Montoya

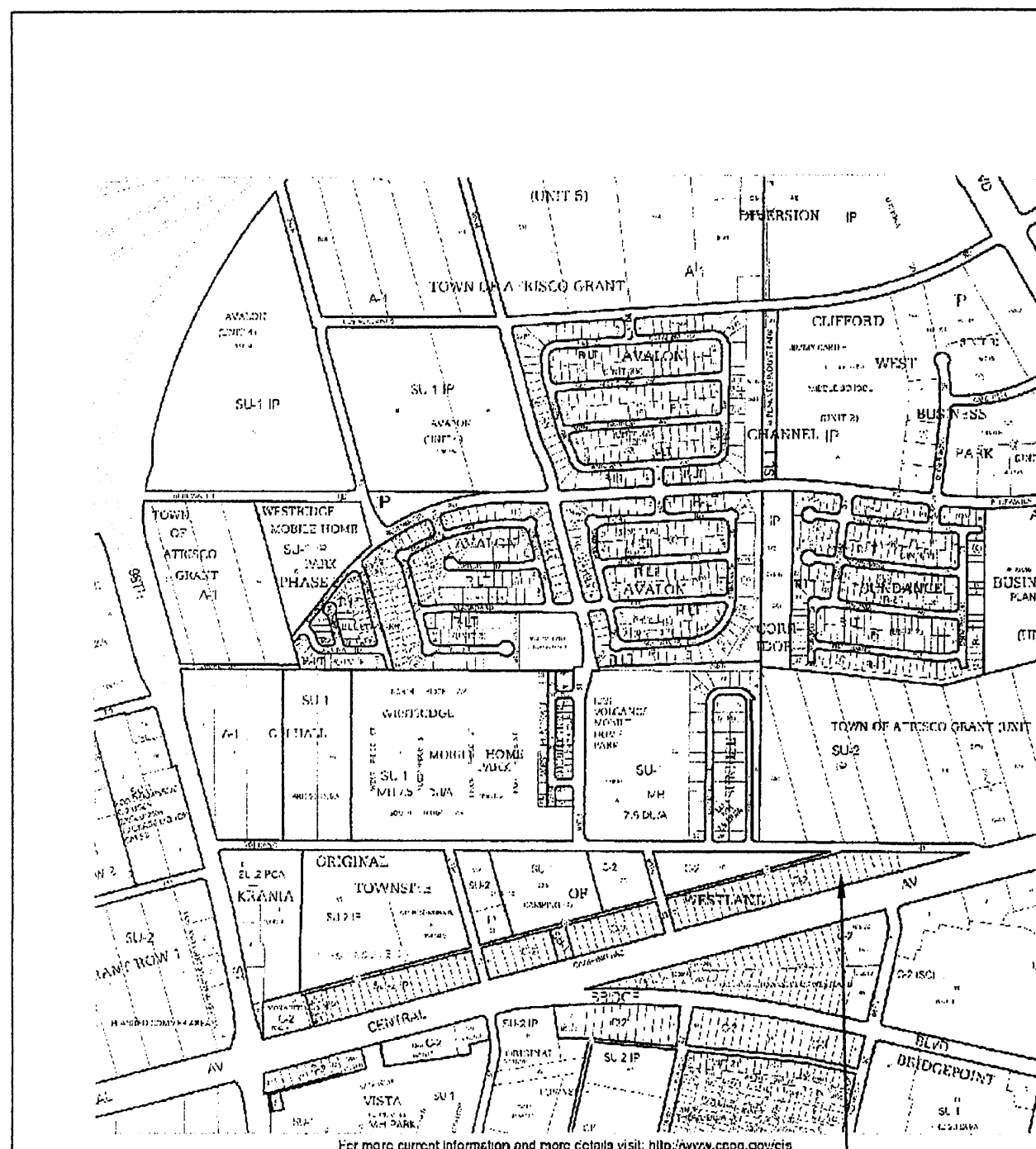


Project Name
METAL PRIVATE GARAGE FOR
L & C TRANSORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

RECEIVED
JUN 18 2013
LAND DEVELOPMENT SECTION

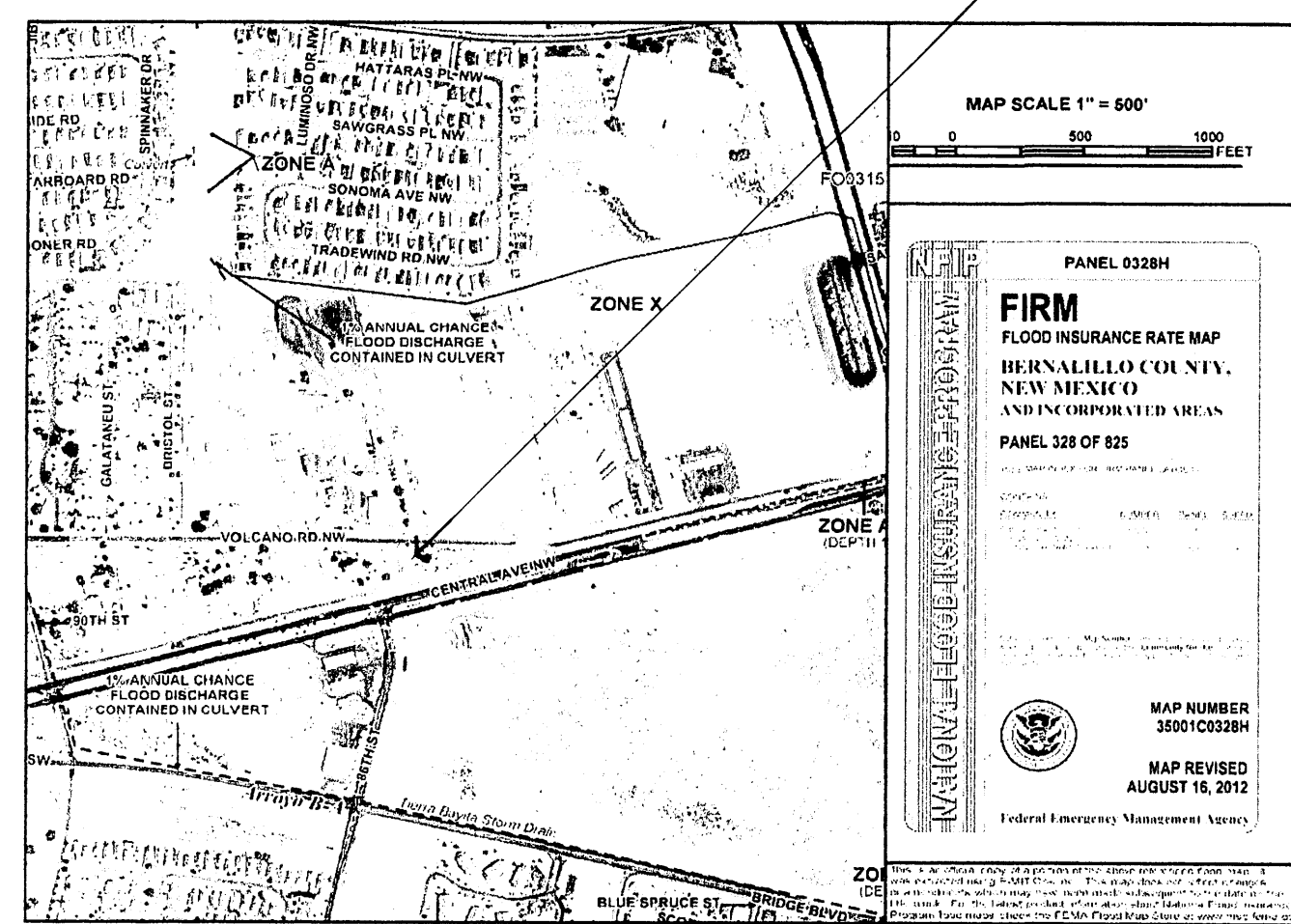
SHEET NO. 7 OF 8

GD



Zone Atlas Page
K-09-Z
Selected Symbols
Legend
Map Scale 1" = 500'

LOCATION SITE

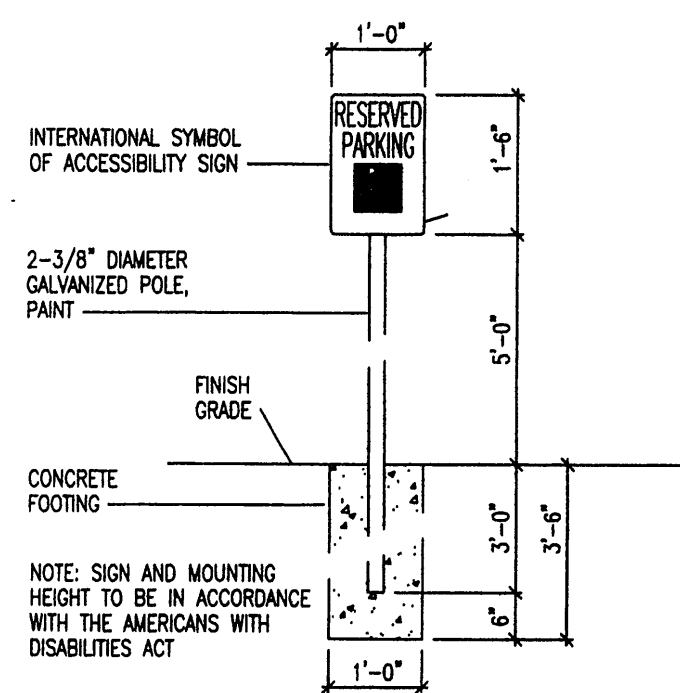


Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

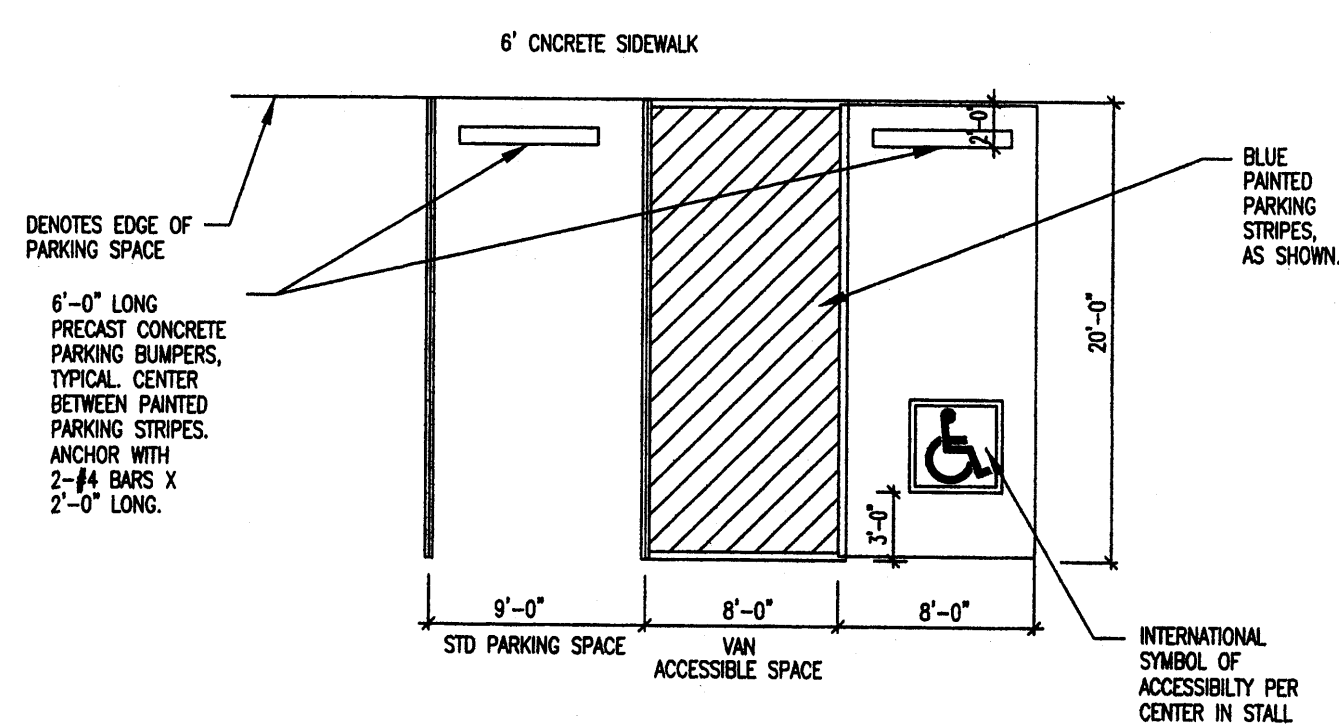
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED

CKB 6/19/13
Signed Date



1 ACCESSIBLE PARKING SIGN DETAIL
NTS



2 TYPICAL VAN AND STANDARD ACCESSIBLE PARKING SPACES
NTS

SYMBOL LEGEND

PROPERTY LINE
EASEMENT LINE
BUILDING LINE
DOWN SPOUT (NOT TO SCALE)
ASPHALT
WIRE FENCE WITH FENCE POSTS

SITE DATA

LOT AREA 19,972.26 S.F.
NEW BUILDING AREA 2,000 S.F.

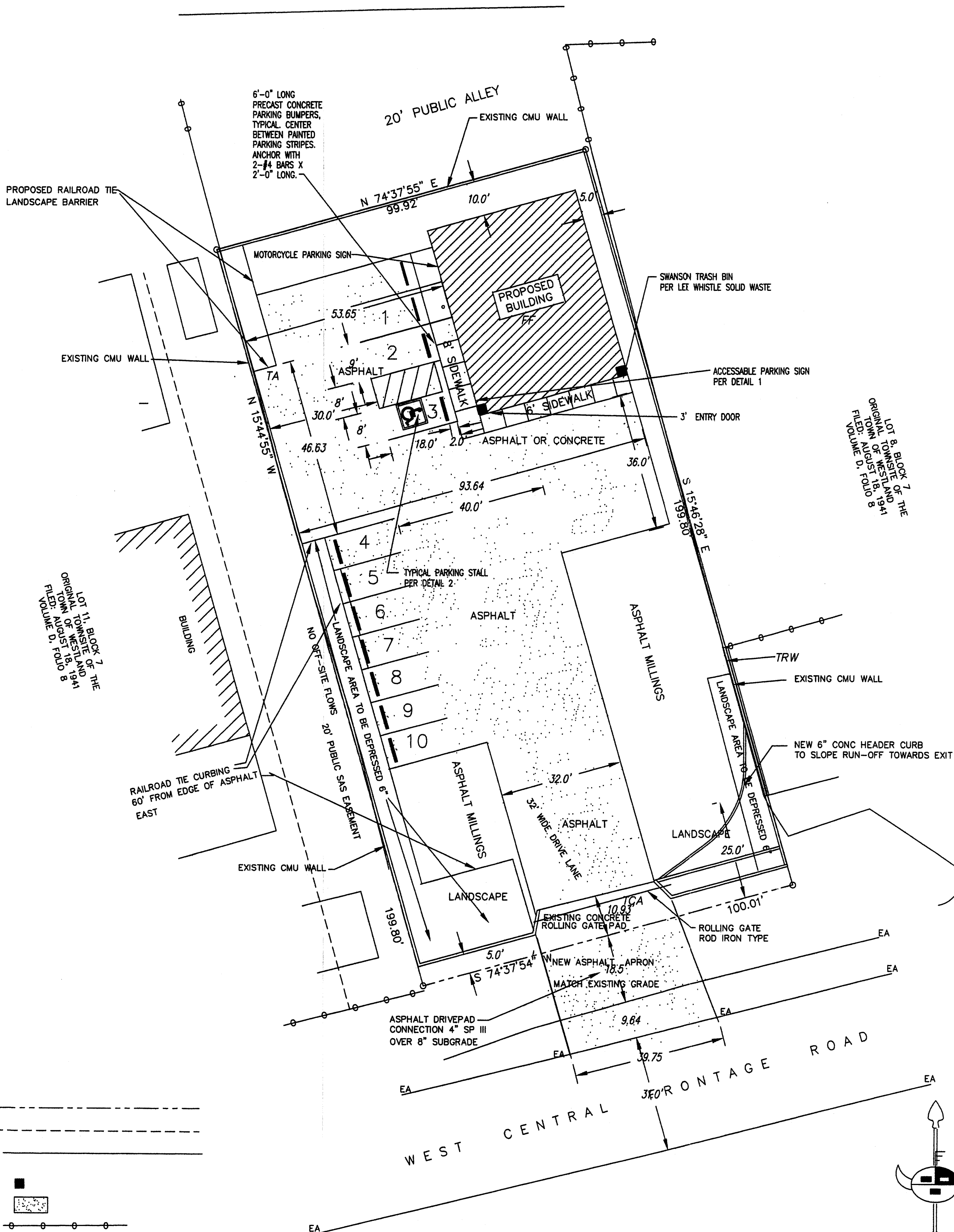
LANDSCAPE CALCULATIONS:

NET LOT AREA 19,972.26 S.F.
LANDSCAPING REQUIRED 19,972.26 - 2000 = 17,972.26
LANDSCAPING PROVIDED 17,972.26 X 15% = 2,695.84 S.F.
2,750.00 S.F.

PER SECTION 14-16-1 OFF STREET PARKING REGULATIONS

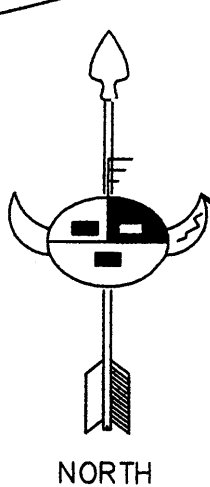
ONE SPACE PER 2000 SQ. FT. OF BUILDING AREA
ONE SPACE REQUIRED
ONE SPACE PROVIDE PLUS ONE HANDICAP STALL ALSO

VOLCANO ROAD



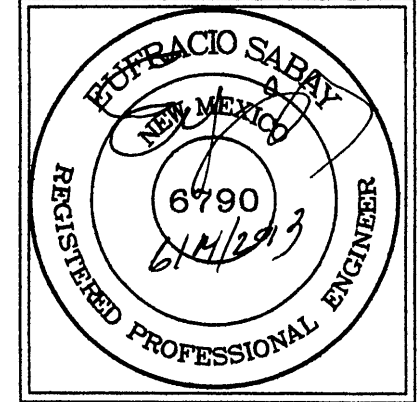
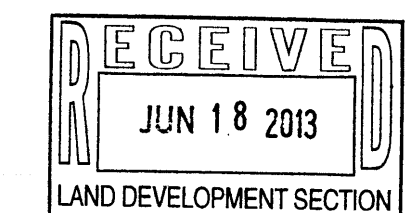
LOT 10A, BLOCK 7 OF THE ORIGINAL TOWNSITE OF THE TOWN OF WESTLAND, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO

0 5' 10' 20' 40'



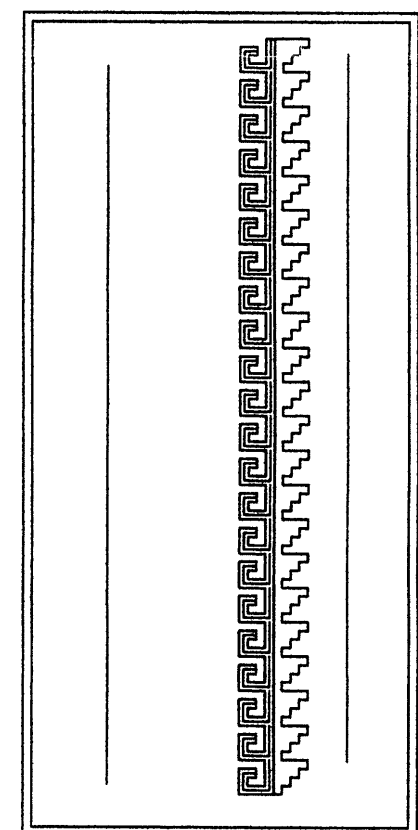
TRAFFIC CIRCULATION LAYOUT

Scale 1" = 20'-0"



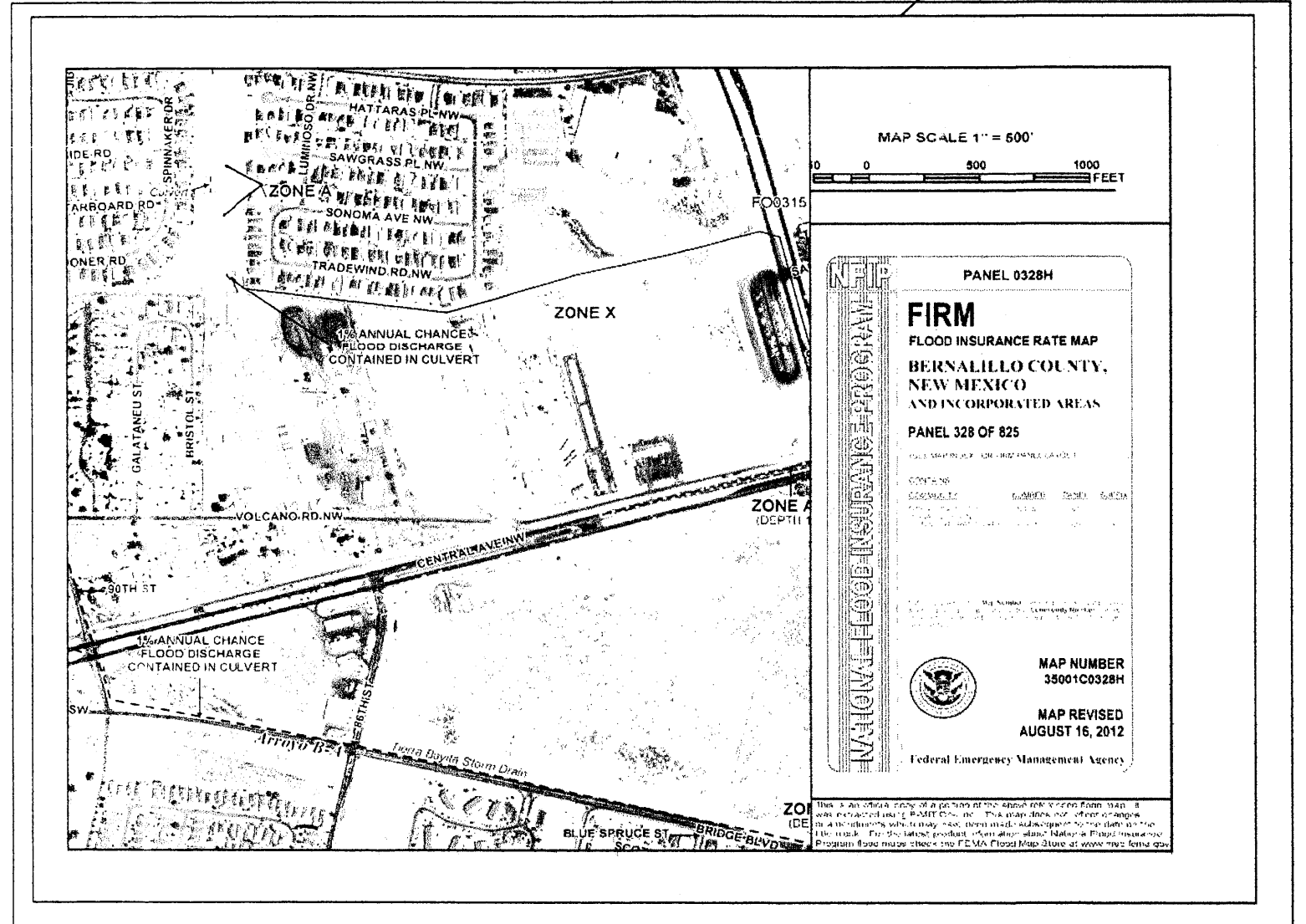
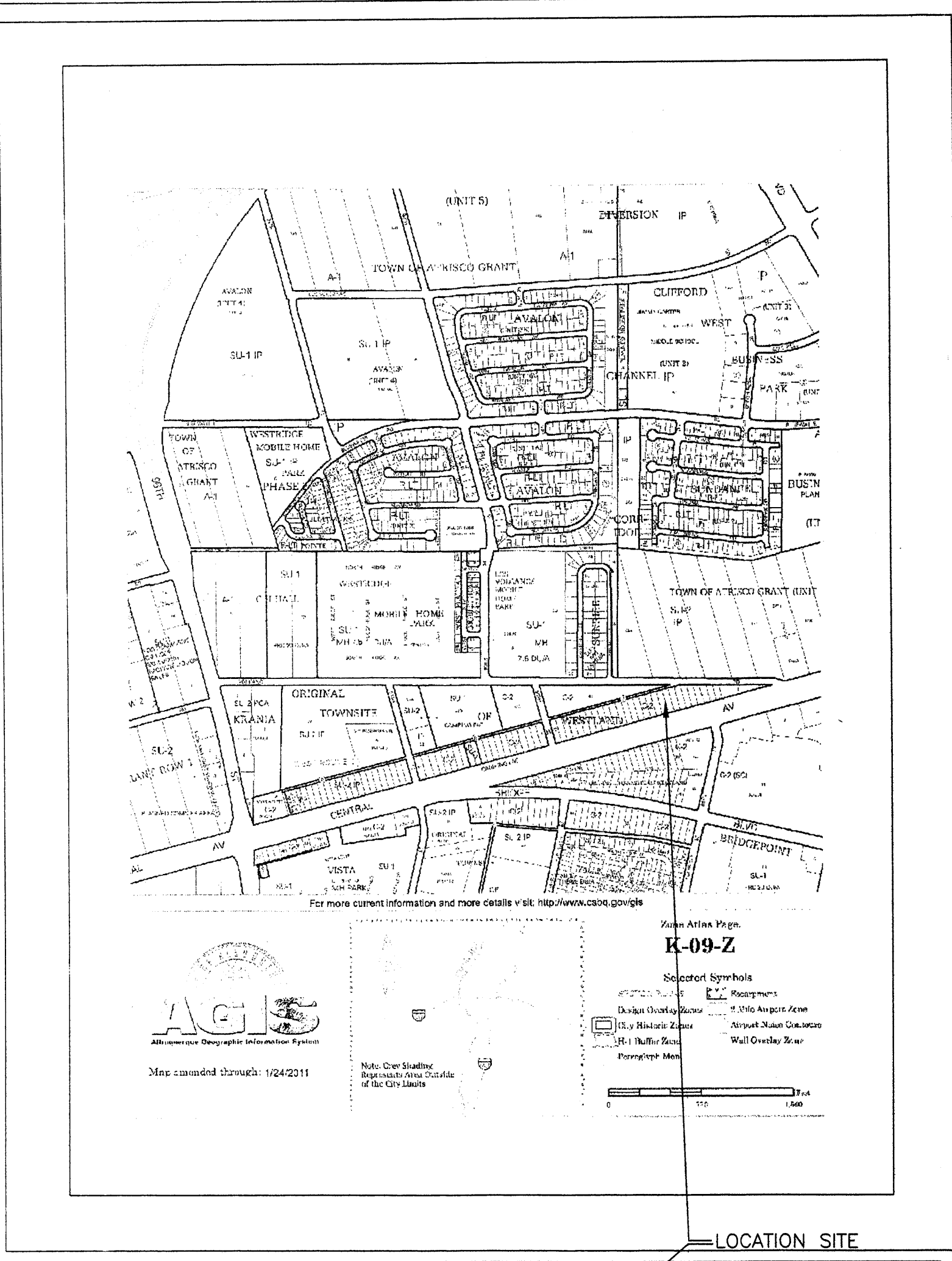
JOB NO:	XXXXXXXXXX
APRIL 2013	
REVISIONS	
6/10/2013	

TRAFFIC CIRCULATION LAYOUT
Sheet Title
Drawn By: H. Head & B. Mancoske
Checked By: MB



Project Name
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 8 OF 8
TCL



GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 10A OF THE FIRST REPLAT OF BLOCK SEVEN OF THE ORIGINAL TOWNSITE OF THE TOWN OF WESTLAND (8705 CENTRAL AVENUE N.W.) BERNALILLO COUNTY, NEW MEXICO, IS CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.4585 ACRES AND IS LOCATED BETWEEN 86 TH AND 90 TH STREET ON THE NORTH SIDE OF CENTRAL AVENUE. THE SITE DRAINS FROM WEST TO EAST THEN SOUTH TO THE FRONTAGE ROAD. ACCORDING TO THE FLOOD INSURANCE RATE MAP, 0328G, WITH REVISION DATE OF SEPTEMBER 26, 2008, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROJECT WILL CONSIST OF A 2000 SQ. FT. METAL BUILDING ALONG WITH PAVED PARKING AND LANDSCAPED AREAS. ALL DEVELOPED RUN-OFF WILL BE ROUTED TOWARDS CENTRAL FRONTAGE ROAD N.W.. THE CALCULATIONS WHICH APPEAR HEREON; ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRES AND SMALLER BASINS; AS SET FORTH IN THE REVISION OF SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME II, DESIGN CRITERIA DATED 1997, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUN-OFF GENERATED.

PROJECT AREA = 0.4585 ac.
L & C TRANSPORT
ZONE 1
PRECIPITATION: 360 = 2.20 in.
1440 = 2.65 in.
10day = 3.67 in.

EXCESS PRECIPITATION:	PEAK DISCHARGE:
TREATMENT A 0.44 in.	1.29 cfs/ac.
TREATMENT B 0.67 in.	2.03 cfs/ac.
TREATMENT C 0.99 in.	2.87 cfs/ac.
TREATMENT D 1.97 in.	4.37 cfs/ac.

EXISTING CONDITIONS:	PROPOSED CONDITIONS:
TREATMENT A 0 ac.	0 ac.
TREATMENT B 0 ac.	0.082 ac.
TREATMENT C 0.4585 ac.	0.1373 ac.
TREATMENT D 0 ac.	0.2392 ac.

EXISTING EXCESS PRECIPITATION:

Weighted E = (0.44 x 0.00) + (0.67 x 0.00) + (0.99 x 0.46) + (1.97 x 0.00) / 0.46 ac.
= 0.99 in.
V100-360 = (0.99 x 0.46) / 12 = 0.037826 ac-ft = 1648 CF

EXISTING PEAK DISCHARGE:

Q100 = (1.29 x 0.00) + (2.03 x 0.00) + (2.87 x 0.46) + (4.37 x 0.00) = 1.32 CFS

PROPOSED EXCESS PRECIPITATION:

Weighted E = (0.44 x 0.00) + (0.67 x 0.00) + (0.99 x 0.14) + (1.97 x 0.24) / 0.46 ac.
= 1.61 in.
V100-360 = 1.61 ac-ft = 720 CF

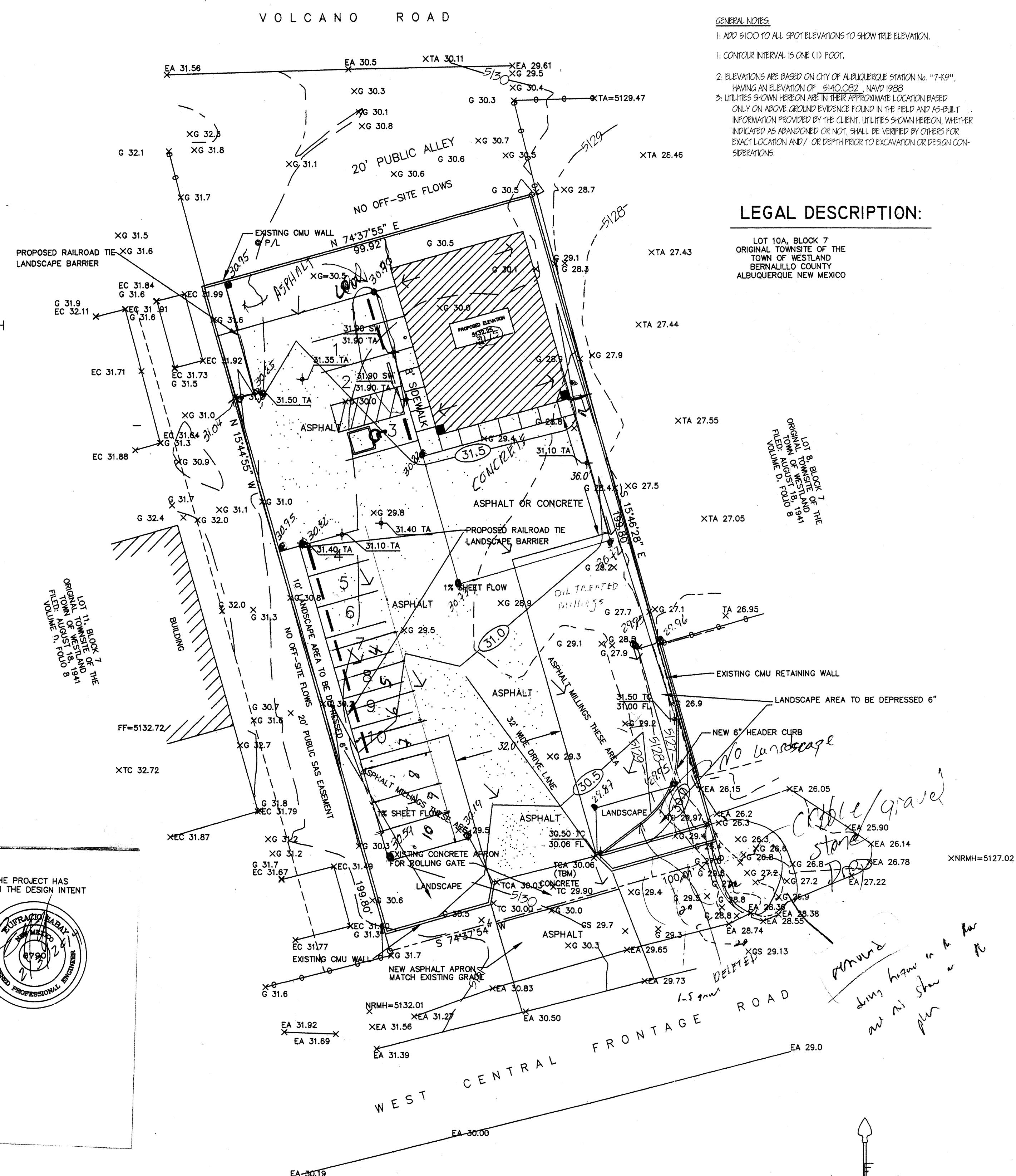
ENGINEER CERTIFICATION FOR HYDROLOGY FILE K9-0037
I, EUGENIO SEBAY, NMPE # 6790, OF THE FIRM BLM CONSULTING, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/14/2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF A CERTIFICATE OF OCCUPANCY. THE FOLLOWING ITEMS HAVE BEEN DELETED OR CHANGED:

- PROPOSED 6" HEADER CURB AT THE SOUTHEAST CORNER OF LOT WAS NOT CONSTRUCTED.
- PARKING STALLS 4 THRU 10 WERE MOVED FURTHER SOUTH.
- NON-LANDSCAPED AREAS WHERE PROVIDED WITH OIL BASED ASPHALT MILLINGS.

AS-BUILT DESIGNATION 29.51
29.50
OR
29.50
● RED DESIGNATION AS-BUILT SHOT

NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
- All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction 1985.
- Two working days prior to any excavation, contractor must contact New Mexico one call for locating service, 260-1990 or "811" for location of existing services.
- Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
- Backfill compaction shall be according to traffic/street use.
- Maintenance of this facilities shall be the responsibility of the owner of the property served.
- Work on arterial streets shall be performed on a 24-hour basis.

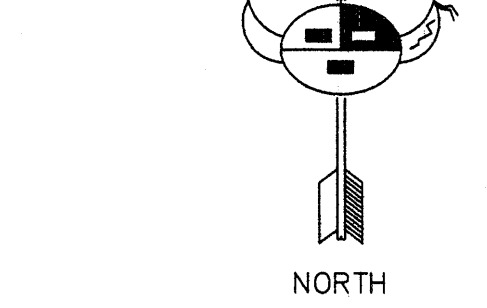


GENERAL NOTES:
1. ADD 9100 TO ALL SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "T-89", HAVING AN ELEVATION OF 5100.00, DATED 1988.
3. UTILITIES SHOWN HEREON ARE THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND / OR DEPTH PRIOR TO EXCAVATION OR DESIGN CON-SIDERATIONS.

LEGAL DESCRIPTION:

LOT 10A, BLOCK 7
ORIGINAL TOWNSITE OF THE
TOWN OF WESTLAND
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

SYMBOL LEGEND
EXISTING CONTOUR
DESIGN CONTOUR
PROPOSED SPOT ELEVATION
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION
DOWN SPOUT (NO TO SCALE)
ASPHALT
ABBREVIATION LEGEND
TOP OF CONC APRON
TOP OF CURB
TOP OF ASPHALT
TOP OF BERM
BOTTOM OF POND
FINISHED FLOOR
TOP OF SIDEWALK
TOP OF RETAINING WALL
EDGE OF ASPHALT

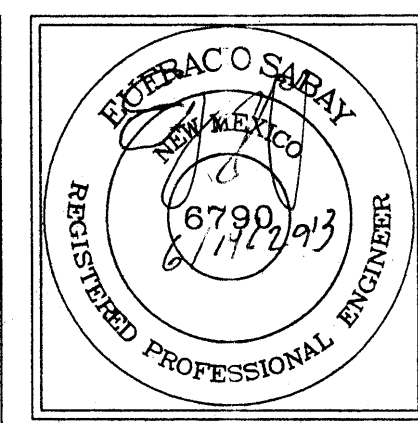


0' 5' 10' 20' 40'

RECEIVED
FEB 04 2014
LAND DEVELOPMENT SECTION

GRADING/ DRAINAGE PLAN

Scale 1" = 20'-0"



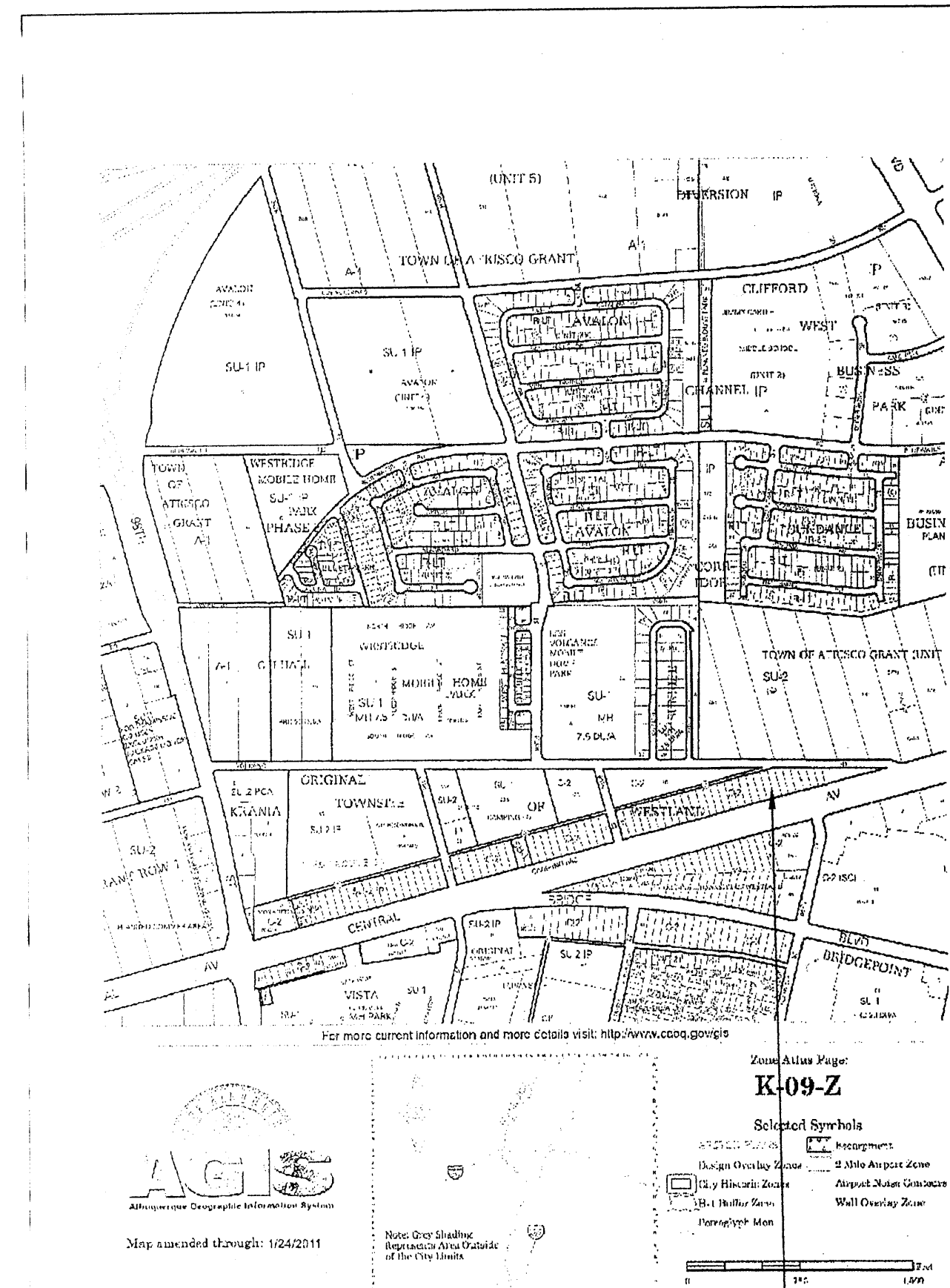
JOB NO: XXXXXXXX
APRIL 2013
REVISIONS
6/10 2013

GRADING AND DRAINAGE PLAN
Sheet Title
Checked By: E.S.
Drawn By: H. Hoad & B. J. Montoya

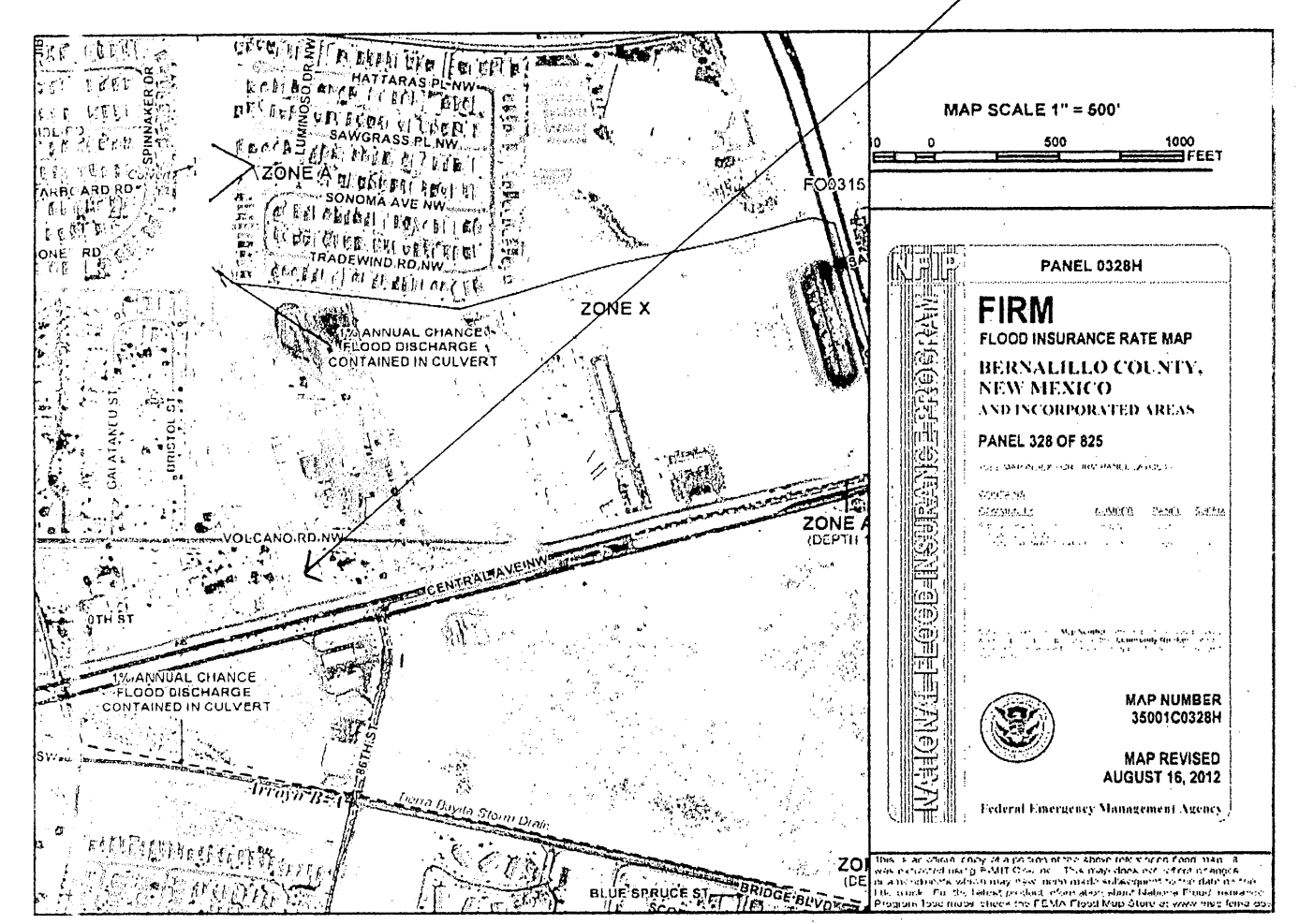
Project Name
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

Project Name
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 7 OF 8
GD



LOCATION SITE



Public Infrastructure shown on these plans for information only and not part of approval. Separate DRG/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED
Signature: [Signature] Date: 6/19/13

SYMBOL LEGEND

PROPERTY LINE	---
EASEMENT LINE	---
BUILDING LINE	---
DOWN SPOUT (NOT TO SCALE)	■
ASPHALT	▨
WIRE FENCE WITH FENCE POSTS	—●—●—●—●—

SITE DATA

LOT AREA	19,972.26 S.F.
NEW BUILDING AREA	2,000 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA	19,972.26 S.F.
LANDSCAPING REQUIRED	$19,972.26 - 2000 = 17,972.26$
LANDSCAPING PROVIDED	$17,972.26 \times 15\% = 2,695.84$ S.F.

PER SECTION 14-16-1 OFF STREET PARKING REGULATIONS

ONE SPACE PER 2000 SQ. FT. OF BUILDING AREA

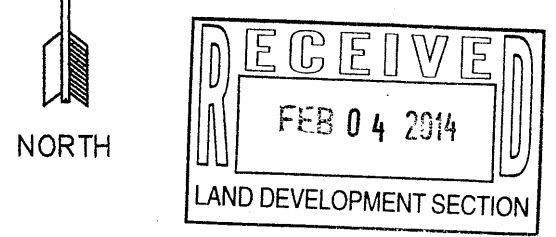
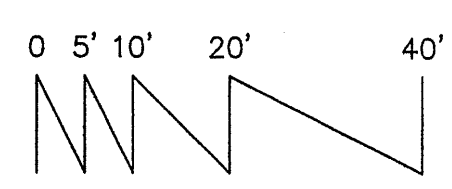
ONE SPACE REQUIRED

ONE SPACE PROVIDE PLUS ONE HANDICAP STALL ALSO

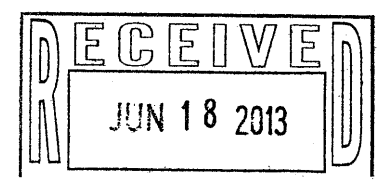
ABBREVIATION LEGEND

TOP OF CONC APRON	TCA
TOP OF CURB	TC
TOP OF ASPHALT	TA
FINISHED FLOOR	FF
TOP OF RETAINING WALL	TRW
EDGE OF ASPHALT	EA

TRAFFIC CIRCULATION LAYOUT



Scale 1"=20'-0"



LEGAL DESCRIPTION:

LOT 10A, BLOCK 7
ORIGINAL TOWNSITE OF THE
TOWN OF WESTLAND
BERNALILLO COUNTY
ALBUQUERQUE NEW MEXICO

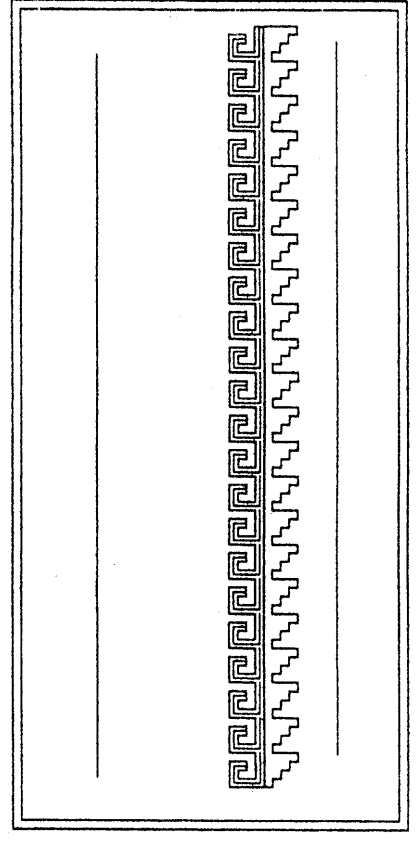


JOB NO: XXXXXXXX

APRIL 2013
REVISIONS
6/10/2013

TRAFFIC CIRCULATION LAYOUT

Drawn By: H. Head & B. Montoya
Checked By: MB



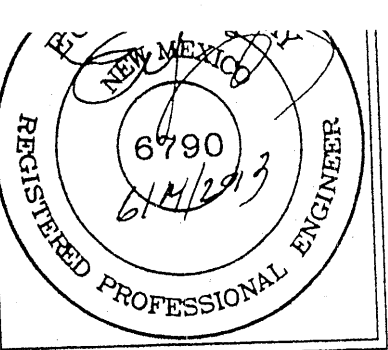
Project Name
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

SHEET NO. 8 OF 8

TCL

LEGAL DESCRIPTION:

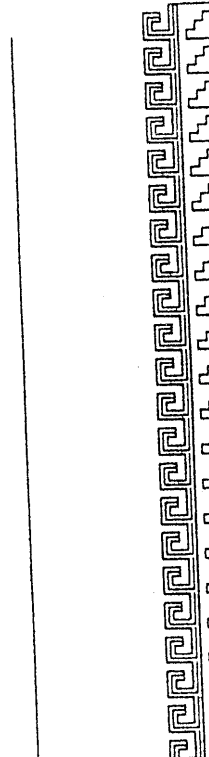
LOT 10A, BLOCK 7
ORIGINAL TOWNSITE OF THE
TOWN OF WESTLAND
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO



JOB NO:	XXXXXXXX
DATE:	APRIL 2013
REVISIONS:	6/10/2013

TRAFFIC CIRCULATION LAYOUT

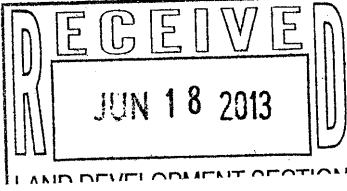
Checked By: MB
Drawn By: H Head & B J Montoya



Project Name:
METAL PRIVATE GARAGE FOR
L & C TRANSPORT L.L.C.
8705 CENTRAL AVENUE N.W.
ALBUQUERQUE, NEW MEXICO

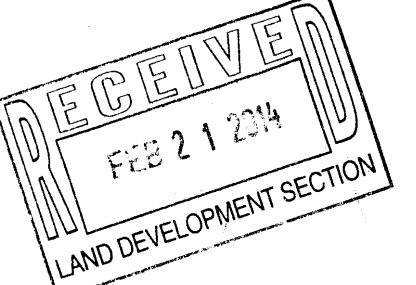
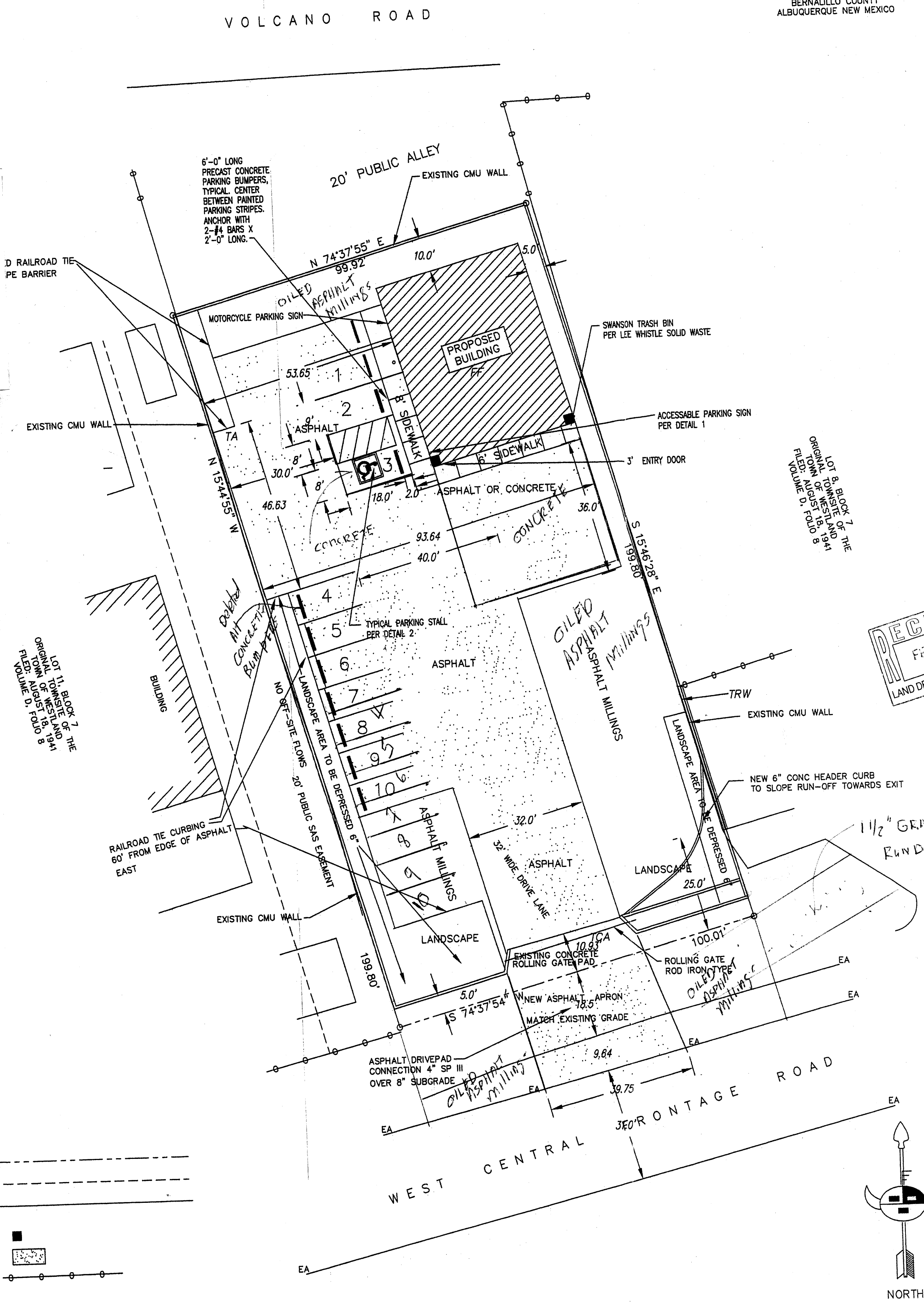
SHEET NO. 8 OF 8

TCL



TRAFFIC CIRCULATION LAYOUT

Scale 1" = 20'-0"



SYMBOL LEGEND

- PROPERTY LINE
- EASEMENT LINE
- BUILDING LINE
- DOWN SPOUT (NOT TO SCALE)
- ASPHALT
- WIRE FENCE WITH FENCE POSTS

SITE DATA

LOT AREA 19,972.26 S.F.
NEW BUILDING AREA 2,000 S.F.

LANDSCAPE CALCULATIONS:

NET LOT AREA 19,972.26 S.F.
LANDSCAPING REQUIRED 19,972.26 - 2000 = 17,972.26
LANDSCAPING PROVIDED 17,972.26 X 15% = 2,695.84 S.F.
LANDSCAPING PROVIDED 2,750.00 S.F.

ABBREVIATION LEGEND

- TOP OF CONC APRON - TCA
- TOP OF CURB - TC
- TOP OF ASPHALT - TA
- FINISHED FLOOR - FF
- TOP OF RETAINING WALL - TRW
- EDGE OF ASPHALT - EA

PER SECTION 14-6-1 OFF STREET PARKING REGULATIONS

- ONE SPACE PER 2000 SQ. FT. OF BUILDING AREA
- ONE SPACE REQUIRED
- ONE SPACE PROVIDE PLUS ONE HANDICAP STALL ALSO

TCL CERTIFICATION FOR K9-037

I EUFRAZIO SEBAY NMPE # 6790, OF THE FIRM BJM CONSULTING HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/19/2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BERNIE J. MONTOYA C.E. OF THE FIRM BJM CONSULTING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AT 8705 CENTRAL BLVD. NW AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS WITH THE EXCEPTIONS LISTED BELOW. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

- HANDICAP VAN ACCESSIBLE SIGN ADDED UNDER HANDICAP SIGN
- HANDICAP STALL CONSTRUCTED OUT OF CONCRETE PAINTED BLUE



TCL CERTIFICATION FOR K9-037

I EUFRAZIO SEBAY NMPE # 6790, OF THE FIRM BJM CONSULTING HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06/19/2013. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BERNIE J. MONTOYA C.E. OF THE FIRM BJM CONSULTING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AT 8705 CENTRAL BLVD. NW AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS WITH THE EXCEPTIONS LISTED BELOW. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.



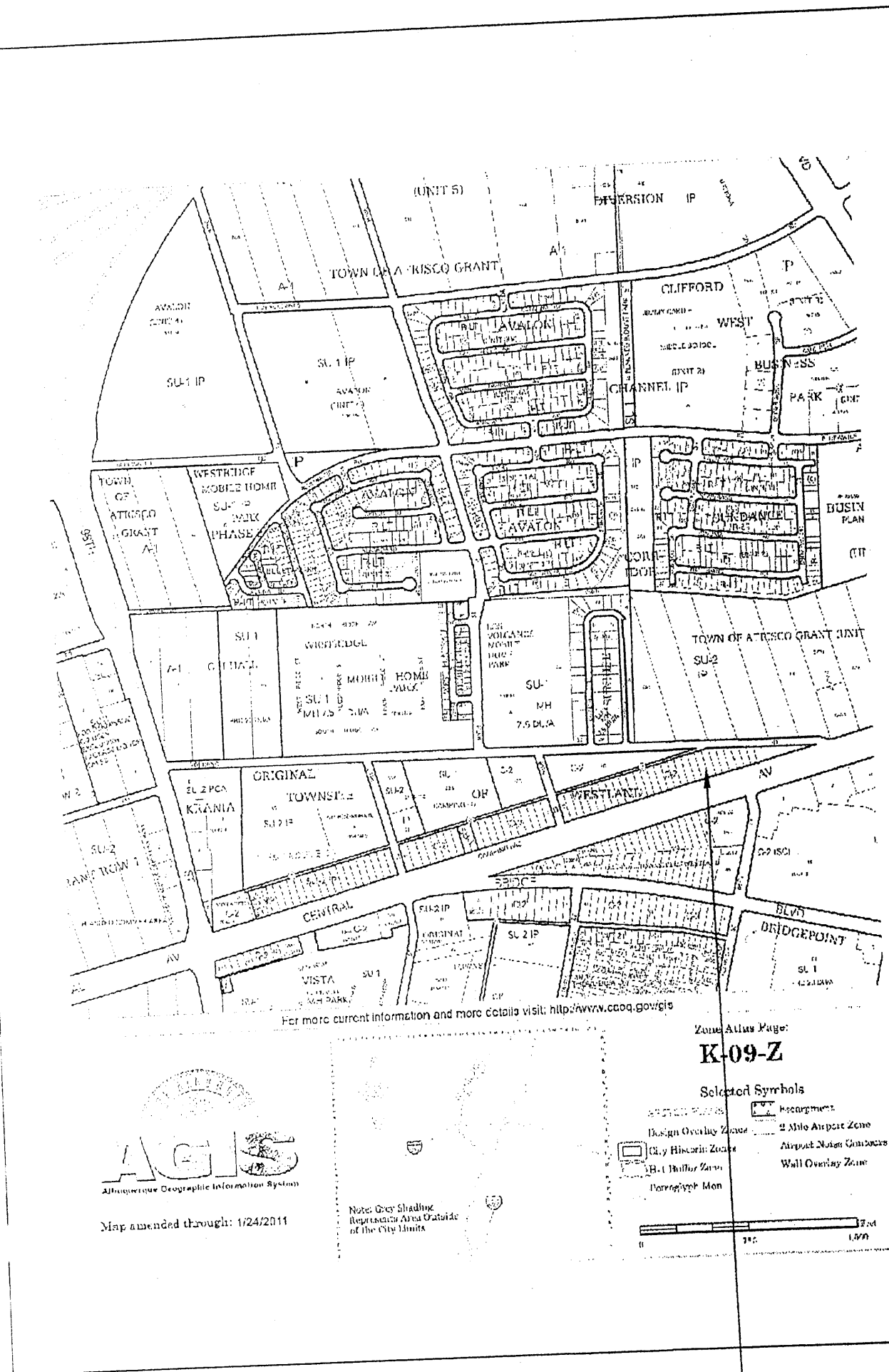
- PARKING STALLS 4 THRU 10 WERE RELOCATED FURTHER SOUTH SO AS TO ALLOW MORE AREA FOR THE SEMI-TRACTOR TRUCK TO BACKUP WESTERLY AND THEN PROCEED SOUTHERLY TOWARDS THE EXIT.
- NON-LANDSCAPED AREAS WHERE PROVIDED WITH OIL BASED ASPHALT MILLINGS.
- CONCRETE BUMPERS ON STALLS 4 THRU 10 HAVE BEEN DELETED, THE RAILROAD TIES WILL SERVE AS THE BARRIERS.
- HANDICAP & MOTORCYCLE SIGNAGE WAS CHANGED TO WALL SIGNS INSTEAD OF POLE SIGNAGE

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRG/Permit approval and Work Order required.

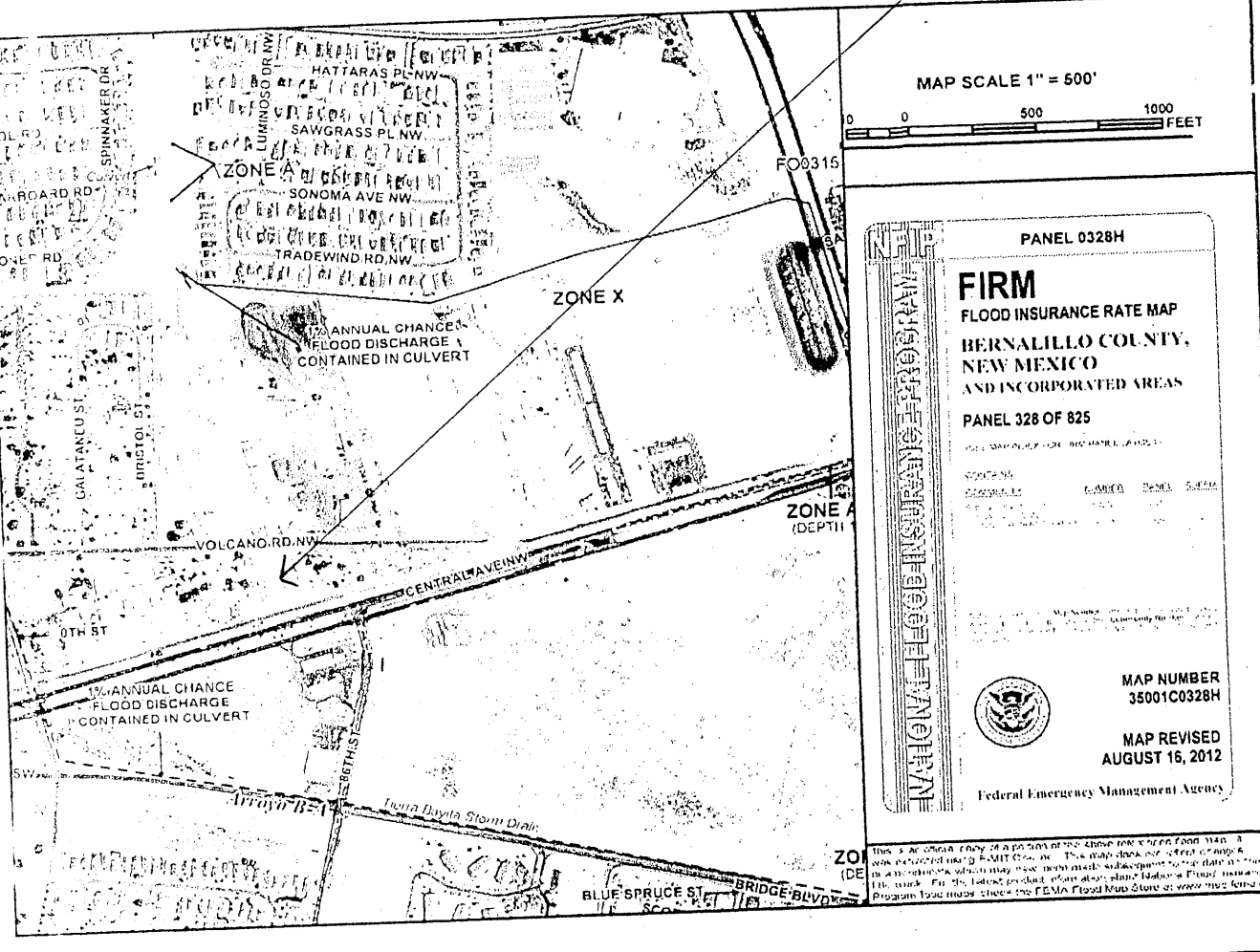
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

TRAFFIC CIRCULATION LAYOUT APPROVED

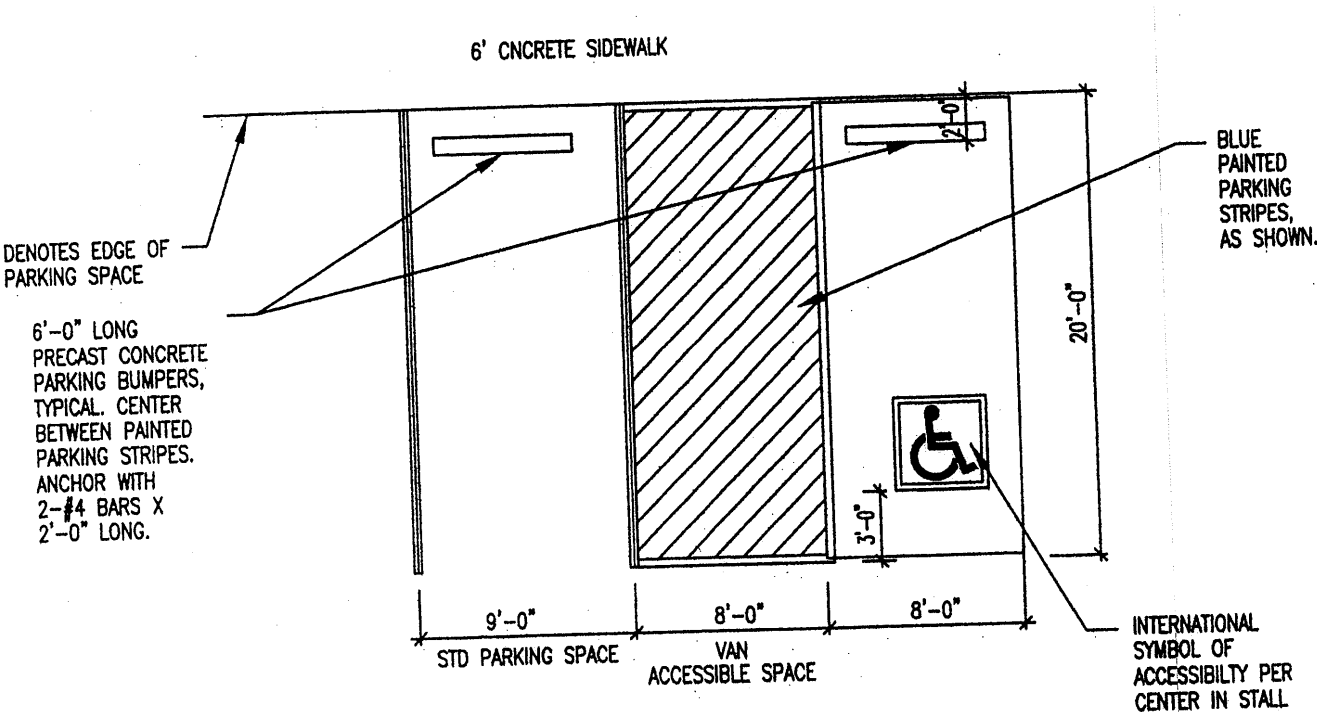
Signature: [Signature] Date: 6/19/13



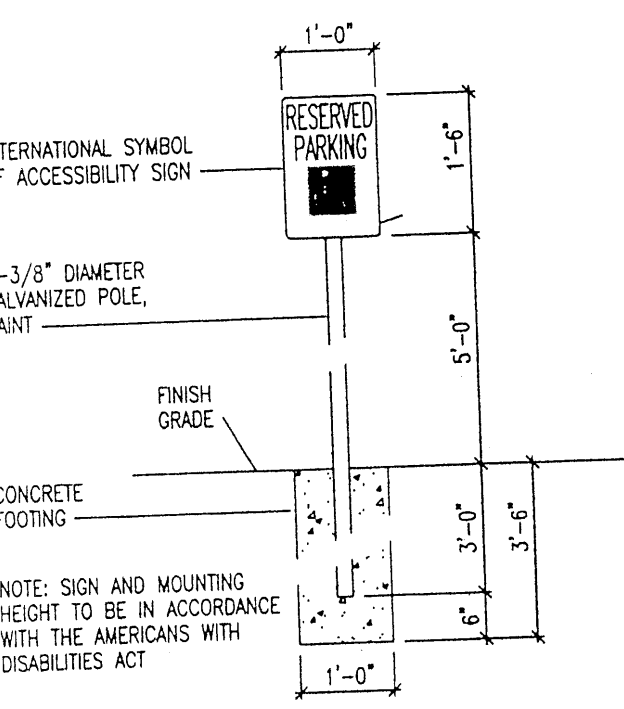
LOCATION SITE



ACCESSIBLE PARKING SIGN PER DETAIL 3 CENTER WITH STALL SET BUILDING LINE



2 TYPICAL VAN AND STANDARD ACCESSIBLE PARKING SPACES



1 ACCESSIBLE PARKING SIGN DETAIL