

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 19, 2024

Tim Shoemaker, P.E.
RTM Engineering
7007 Wyoming Blvd. NE
Albuquerque, NM 87109

Re: Panda Express
261 98th St NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 04-28-23 (K09-D038)
Certification dated 11-18-24

Dear Mr. Shoemaker,

Based upon the information provided in your submittal received 11-15-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per the approved site plan the minimum ADA parking space width is 8.5 ft. per the site visit the width measured was 8 ft. ADA parking spaces must be upgraded to meet the current standard.

Once these corrections are complete, email pictures to malnajjar@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

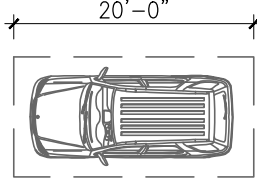
DATE SUBMITTED: _____

32	SEALED CONC SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG.	27	ACCESSIBLE RAMP	22	CONC. DRIVEWAY	19	ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF TO EXIT TO DAYLIGHT THRU FACE OF WALL. COLD CLIMATES WILL REQUIRE CONNECTION TO STORM SEWER. ARCHITECT TO VERIFY WITH LOCAL JURISDICTION.	14	ACCESSIBLE PARKING POLE SIGN	10	DRIVE THRU LANE SENSOR LOOP. INSTALL/POSITION SO LOOP IS CENTERED ON ACTIVE PANEL OF DRIVE THROUGH WINDOW. SEE DETAIL.	5	PAVING - SEE CIVIL PLAN	1	LIMIT OF CONSTRUCTION
33	CLEARANCE BAR/BASE INSTALLED BY SIGN VENDOR.	28	DIRECTIONAL SIGN - NO POWER, GC TO COORDINATE WITH SIGN COMPANY	23	EDGE OF SIDEWALK AT PLANTER	23	EDGE OF SIDEWALK AT PLANTER	15	INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE	11	DRIVE THROUGH MENU BOARD INSTALLED BY SIGN COMPANY. VERIFY WITH PANDA PM (SEE GENERAL NOTE ABOVE)	6	IRRIGATED LANDSCAPING, REFER TO LANDSCAPE DRAWINGS	2	PROPERTY LINE
34	EXISTING TRANSFORMER PAD. RE: CIVIL AND ELEC. DRAWINGS	29	ORDER CONFIRMATION BOARD	24	CONCRETE CURB AT LANDSCAPE AREA.	24	CONCRETE CURB AT LANDSCAPE AREA.	16	ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/ 4" WIDE STRIPES @3'-0" O.C.	12	DIRECTIONAL ARROW	7	HEAVY DUTY CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFERENCE CIVIL DRAWINGS FOR SPECIFICATIONS	3	NEW SITE LIGHT POLE
35	BICYCLE LOCATION. NUMBER OF BICYCLES REQUIRED = 6 TOTAL	30	RUBBER WHEEL STOP. REF: CIVIL DRAWINGS	25	EXPANSION JOINT @ 20'-0" O.C. MAX.	25	EXPANSION JOINT @ 20'-0" O.C. MAX.	17	PAINT 4" WIDE SOLID PARKING STRIPING W/ TWO (2) COATS HIGHWAY WHITE PAINT	13	ACCESSIBLE PATH OF TRAVEL	8	TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY.	3A	EXISTING LIGHT POLE
		31	MOTORCYCLE PARKING SPACES	26	TOOLED JOINTS @ 5'-0"x5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C.	26	TOOLED JOINTS @ 5'-0"x5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C.	18	DESIGNATED HANDICAP PARKING SPACE	9	GC TO COORDINATE LOCATION OF SIGN WITH SIGN CO.			4	NEW SWITCHGEAR

KEY NOTES

Scale= NTS

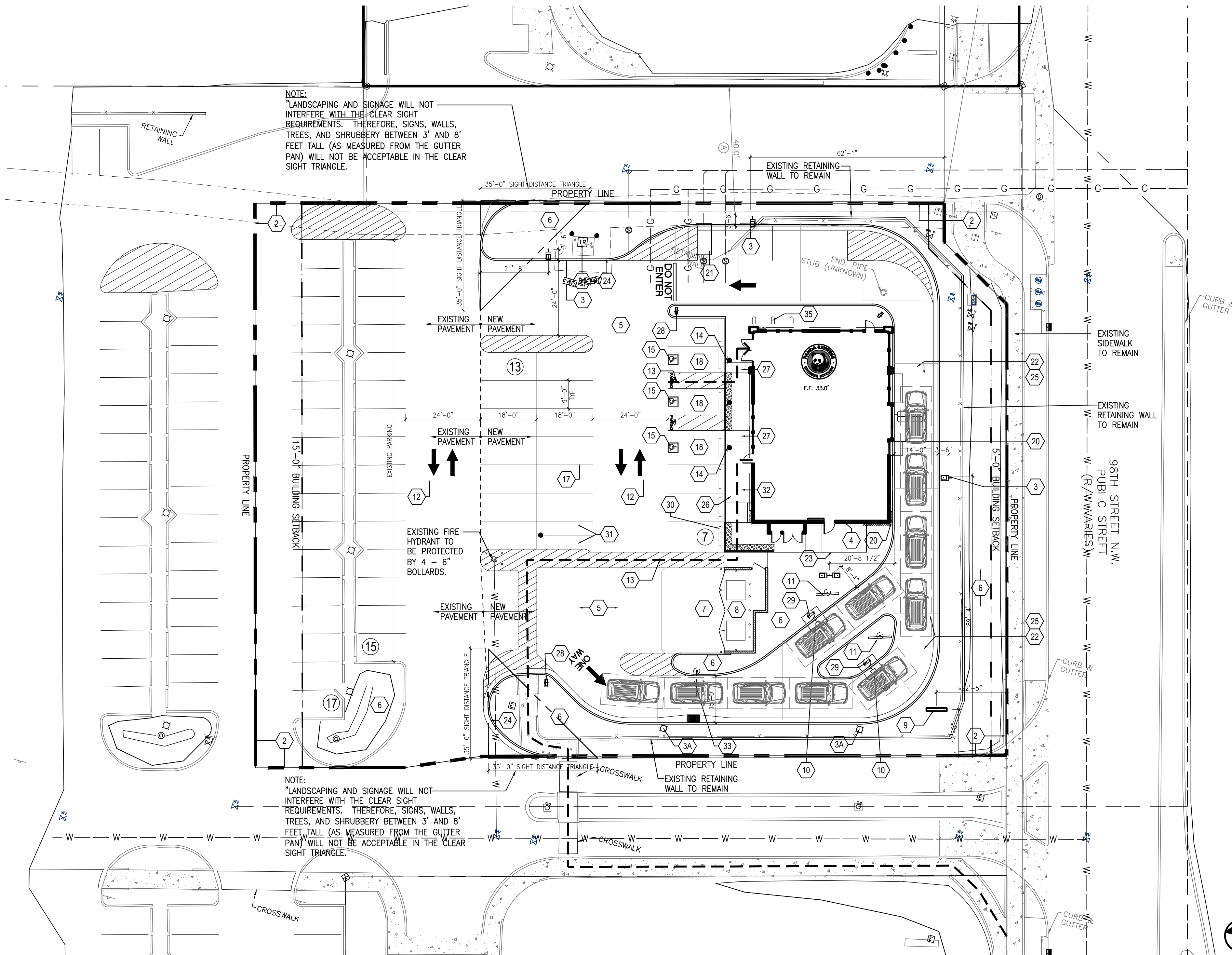
LEGEND
PROPERTY LINE
BUILDING SETBACK



LEGEND

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arriaga 6/15/2023
Signed Date



SITE PLAN

1

Scale= 1" = 20'-0"

PANDA EXPRESS RESTAURANT - SITE INFORMATION:

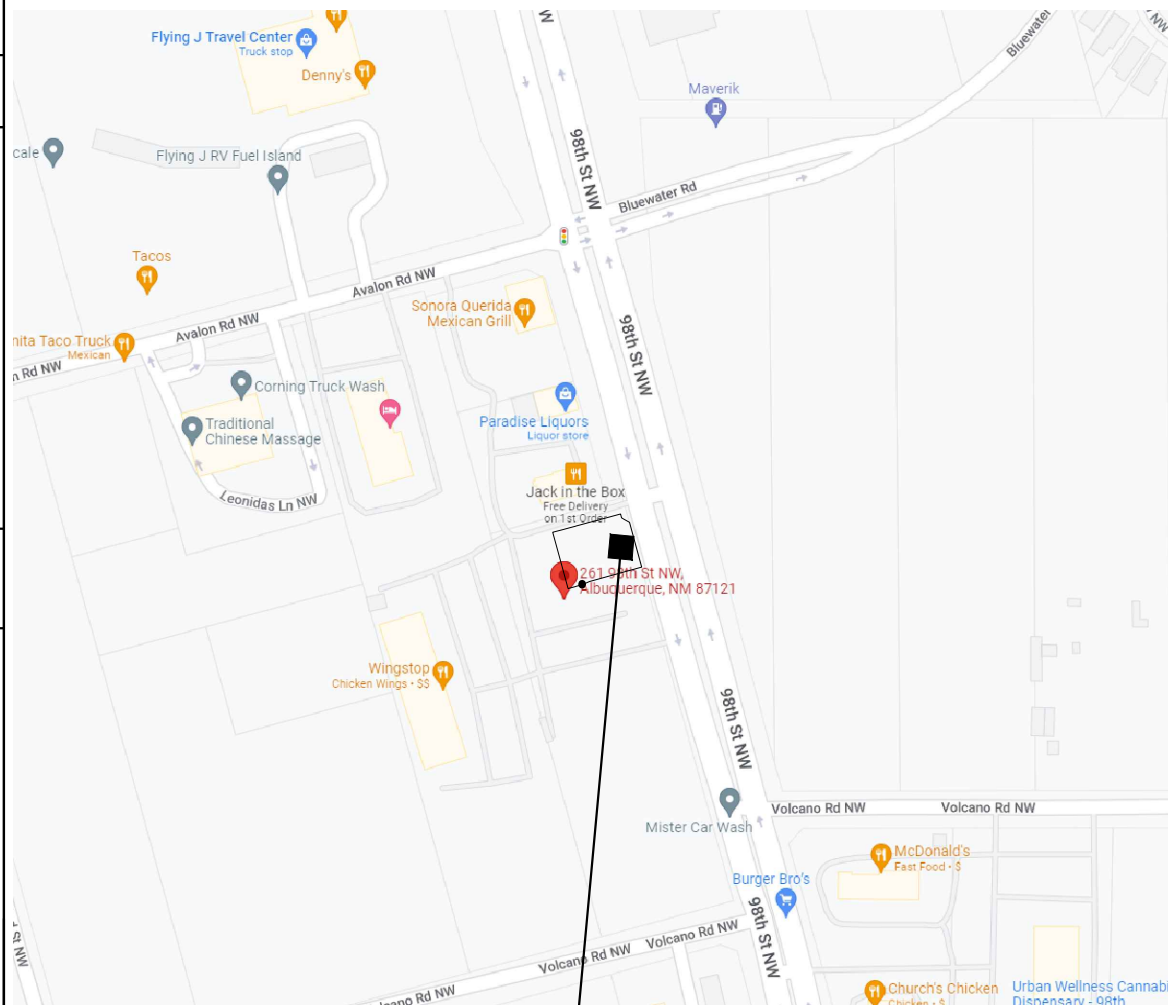
SITE AREA: 42,368 SF / 0.973 ACRES
BUILDING AREA: 2,600 SF
OCCUPANCY: GROUP 2A (ASSEMBLY)

PARKING CALCULATION:

PER IDO TABLE 5-5-1: MINIMUM OFF-STREET PARKING REQUIREMENTS
RESTAURANT 8 SPACES / 1,000 SQ.FT. GFA
REQUIRED 2.6 x 8 = 20.8 SPACES REQUIRED

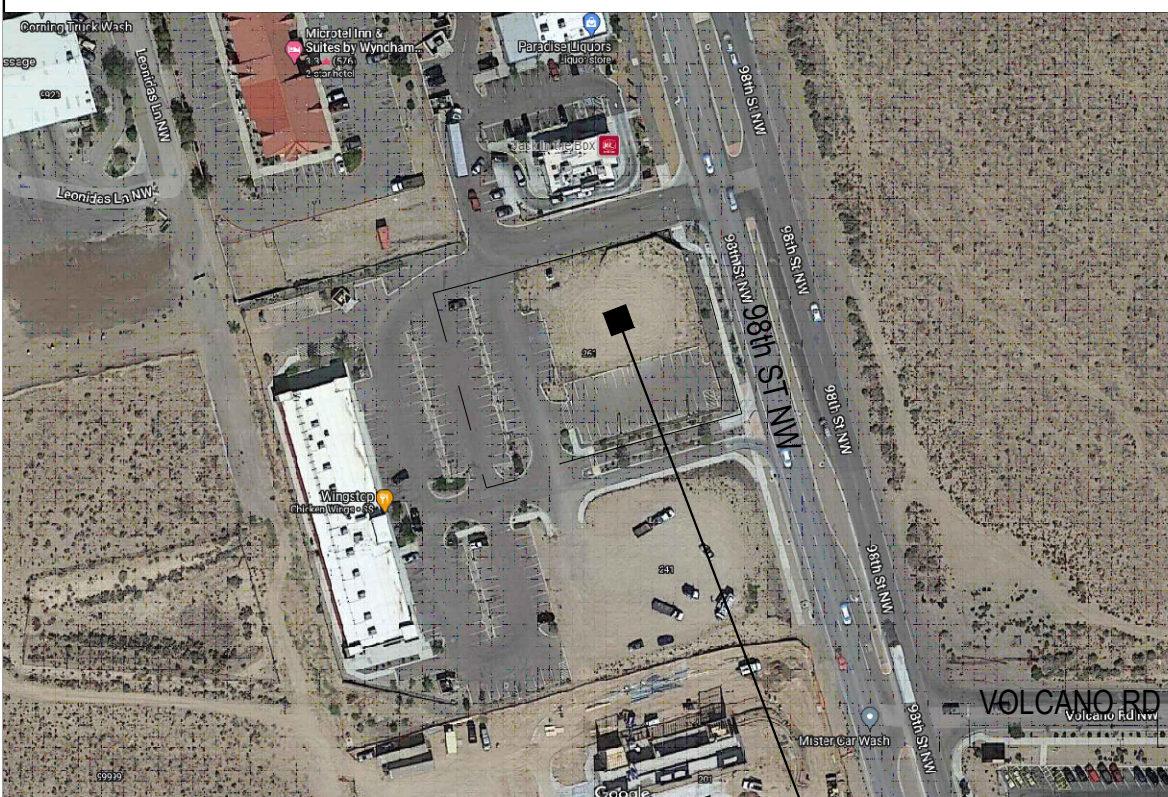
PROPOSED PROVIDED: 49 REGULAR
+ 3 ACCESSIBLE
52 PARKS PROVIDED

MOTORCYCLE PROVIDED: 2 STALLS
BICYCLE REQUIRED: 6



VICINITY MAP

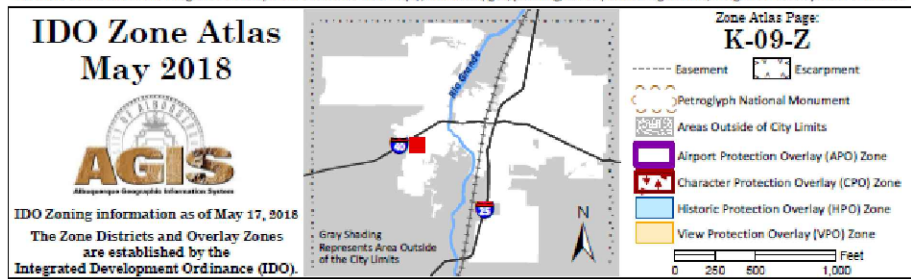
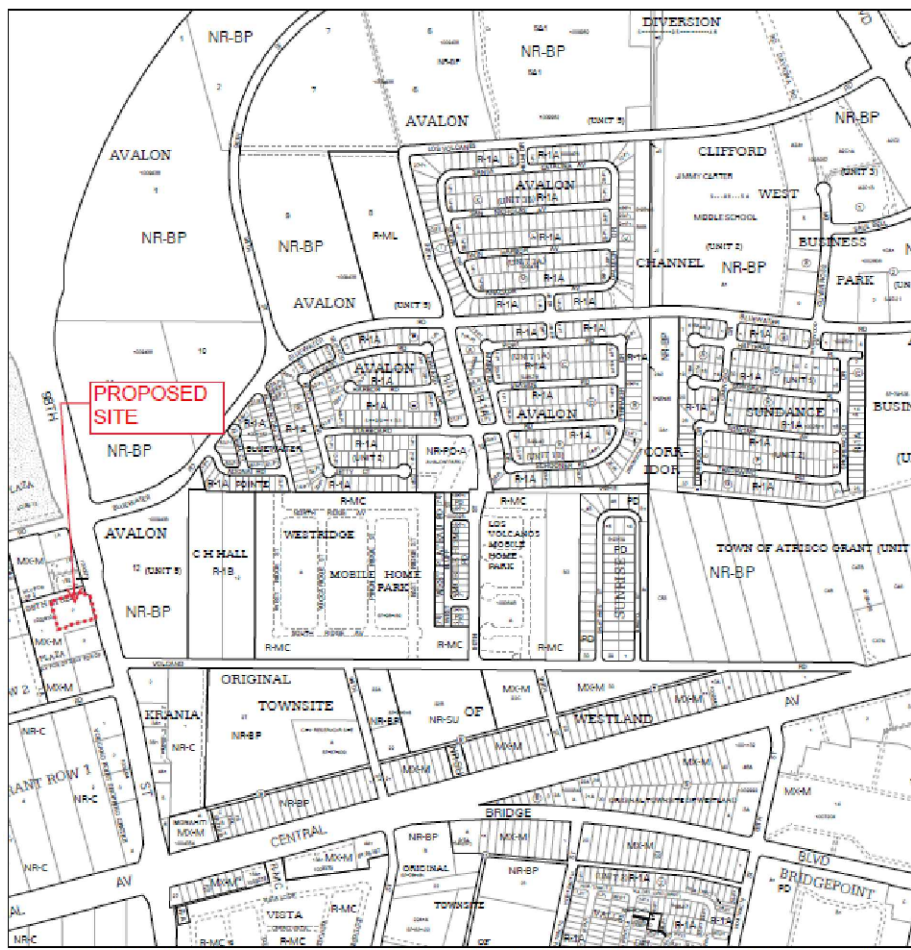
Scale= NTS



PROPOSED
PANDA EXPRESS

KEY PLAN

Scale= NTS



IDO ZONE ATLAS MAP

Scale= NTS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

DRAWN BY:

RM/LL

PANDA PROJECT #:

S8-23-D20241

PANDA STORE #:

D20241

ARCH PROJECT #:

21229



Heights Venture ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713.869.1103 V
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 972.490.7292 V

PANDA EXPRESS

PANDA HOME - CUSTOM
261 98TH ST. NW
ALBUQUERQUE, NM 87121

TC 1.0

TRAFFIC CIRCULATION PLAN

PANDA HOME - SQUARE CUSTOM

PROJECT DESCRIPTION

THE PROJECT PROPOSES THE CONSTRUCTION OF NEW A SINGLE STORY RESTAURANT WEST OF 98TH STREET. THE EXISTING SITE AND PARKING LOT, WHICH HAS BEEN PARTIALLY DEVELOPED, WERE GRADED PER PLANS THAT WERE PREVIOUSLY APPROVED BY THE CITY. THE PROPOSED SITE WILL COMPLY WITH THE DRAINAGE PATTERNS AND STORM WATER QUALITY REQUIREMENTS THAT THE PREVIOUS PLANS DESIGNED.

ACCESS TO THE SITE WILL COME FROM 98TH STREET. THERE IS CURRENTLY ONE PEDESTRIAN ACCESS PATH WHICH COMES FROM THE SOUTH SIDE OF THE PROPERTY AND TWO POINTS OF ACCESS FOR VEHICLES COMING FROM THE NORTH AND SOUTH SIDE.

A PROPOSED DRIVEWAY IS LOCATED ADJACENT TO THE BUILDING WHICH PROVIDES A ONE-WAY ENTRY FROM THE SOUTH SIDE OF THE BUILDING AND CONNECTS TO THE PARKING LOT ON THE NORTH SIDE.

LEGAL DESCRIPTION

TRACT NUMBER TWO (2) OF 98TH STREET PLAZA, AS THE SAME ARE SHOWN AND DESIGNATED IN THE CORRECTED PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 18, 2015 IN PLAT BOOK 2015C, FOLIO 97

TRACT OF LAND HERIN DESCRIBED HAVING 0.9726 ACRES (42,368.27 SQUARE FEET)

IDO ZONE DISTRICT: MIX-M (MIXED USES-MODERATE INTENSITY ZONE DISTRICT)

BASIS OF BEARING AND BENCHMARK

NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATE VALUES ESTABLISHED FOR:

1. NMHC SURVEY CONTROL STATION "140-23" DATA:
STANDARD BRASS DISC SET FLUSH TO THE GROUND
NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
NORTHING: 1,485,519.844 US FEET EASTING: 1,489,913.599 US FEET
ELEV. = 5,341.357 US FEET
COMBINED GROUND TO GRID FACTOR = 0.999674412
DELTA ALPHA = (+) 0°17'20.90"
2. NMHC SURVEY CONTROL STATION "849-1989" DATA:
STANDARD 1-3/4" ALUMINUM DISC RIVETED TO A PIPE
NAD 83 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
NORTHING: 1,484,994.039 US FEET EASTING: 1,492,403.769 US FEET
ELEV. = 5,350.166 US FEET
COMBINED GROUND TO GRID FACTOR = 0.999677891
DELTA ALPHA = (+) 0°17'03.21"

THE BASIS OF BEARINGS FOR THE PREMISES SURVEYED ARE NAD 83 NEW MEXICO CENTRAL ZONE GRID BEARINGS BEING BASED ON A LINE BETWEEN THE FOUND PROPERTY CORNERS LISTED ABOVE BEARING = N78°21'46"E.

PROJECT BENCHMARK 1349 IS A CITY OF ALBUQUERQUE SURVEY CONTROL STATION "ACS BM 1349" ELEVATION = 5,234.53 FEET

BASIS OF ELEVATIONS

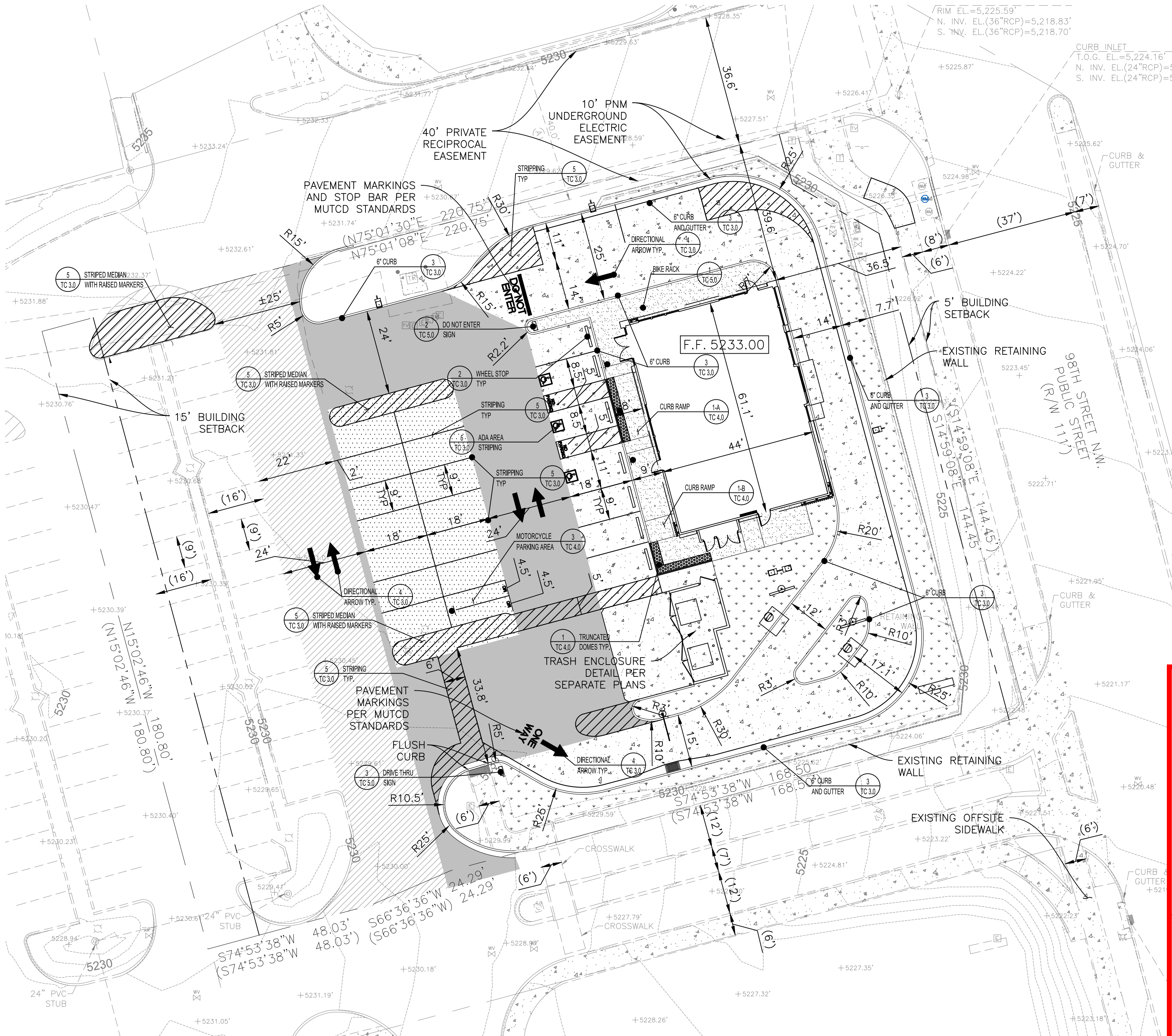
FLOODPLAIN STATEMENT

AREAS LIES WITHIN FLOOD ZONE X (OTHER AREAS). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP PER FIRM MAP PANEL 328 OF 750, MAP NO. 35001C03281, MAP REVISED DATE 11/04/2016, BERNILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS.

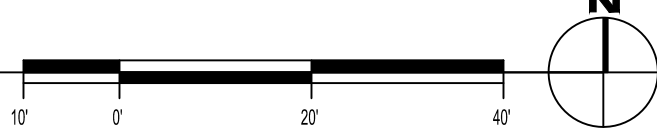
DRAINAGE CONDITIONS

1. EXISTING
THE EXISTING SITE IS A PARTIALLY DEVELOPED 0.97 AC LOT. THE CURRENT GRADING WAS DONE PER GRADING PLANS COMPLETED BY WOOTEN ENGINEERING THAT WERE APPROVED ON APRIL 7, 2015 BY THE CITY OF ALBUQUERQUE. THE APPROVED PLANS SHOWED ABOUT 7,500 SQUARE FEET OF RETAIL/RESTAURANT BUILDING SPACE WHERE THE CURRENT PROPOSED BUILDING WILL BE LOCATED. THE SITE WAS DESIGNED AND GRADED TO DRAIN IN A WESTERLY DIRECTION (AWAY FROM 98TH ST) TOWARDS LANDSCAPE MEDIANS THROUGH SURFACE FLOWS. THESE MEDIANS THEN OUTLET TO THE EXISTING 36" 98TH STREET STORM DRAIN THROUGH AN UNDERGROUND STORM DRAIN DRAIN SYSTEM CONTAINING VARYING PIPE SIZES. RUNOFF THAT DOES NOT MAKE IT TO THE LANDSCAPE MEDIANS WILL SHEET FLOW AND BE COLLECTED IN ONE OF THREE CATCH BASINS LOCATED ON 98TH STREET. THESE CATCH BASINS WERE SIZED AND BUILT BY CPA 676264.
2. PROPOSED
THE PROPOSED SITE DESIGN MATCHES THE PREVIOUSLY APPROVED DRAINAGE MANAGEMENT PLAN AND THEREFORE MEETS ALL PRIOR REQUIREMENTS REGARDING DOWNSCREEN RUNOFF. THE DEVIATIONS FROM SAID DRAINAGE MANAGEMENT PLAN IS AN INCREASE OF PERVIOUS AREAS FROM 21% TO 27% AS WELL AS A NEW SITE LAYOUT

DUE TO THE COMPLIANCE WITH THE PREVIOUSLY APPROVED DRAINAGE MANAGEMENT CONCLUSION, IT IS CONSIDERED THAT THIS DRAINAGE AND GRADING PLAN BE APPROVED



SITE PLAN



LEGEND:

- PROPOSED HEAVY DUTY CONCRETE:
5.5" PCC
(DETAIL 2 ON SHEET TC 4.0)
- PROPOSED FULL DEPTH ASPHALT:
2" AC OVER 6" AB
(DETAIL 2 ON SHEET TC 4.0)
- PROPOSED FULL DEPTH ASPHALT:
3" AC OVER 6" AB
(DETAIL 2 ON SHEET TC 4.0)
- PROPOSED 2" OVERLAY
- PROPOSED SIDEWALK
(REFERENCE GEOTECHNICAL REPORT FOR SECTION)
- PROPOSED LANDSCAPE
- PROPERTY LINE
- CURB AND GUTTER
- CURB AND GUTTER DEPRESSED
- EXISTING CURB & GUTTER

NOTES:

1. CONTRACTOR TO INSPECT ANY ONSITE CURB, GUTTER AND SIDEWALK, IF CRACKED OR DAMAGED, IT IS TO BE REPLACED TO MATCH EXISTING CONDITIONS AND PER CITY OF ALBUQUERQUE STANDARDS

I, TIM SHOEMAKER, NMPE 26935 OF THE FIRM RTM ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/28/23. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER MEDINA, NMPS 15702 OF THE FIRM TERRA LAND SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/15/24 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



TIM SHOEMAKER, NMPE 26935
(SEAL)

EXPIRES 12-31-2025

DATE 11/18/24

TRAFFIC CERTIFICATION



EXPIRES 12-31-2023



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770

Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

NO.	DESCRIPTION	DATE

DRAWN BY: rtm

PANDA PROJECT #: S8-23-D220241

PANDA STORE #: D220241

ARCH PROJECT #: 21229



9225 Indian Creek Pkwy
Suite 1075
Overland Park, KS 66210
Telephone: (913) 312-1400
www.rtmec.com
KS Certificate of Authority: E-2641

Heights Venture ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 869 1103 V
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

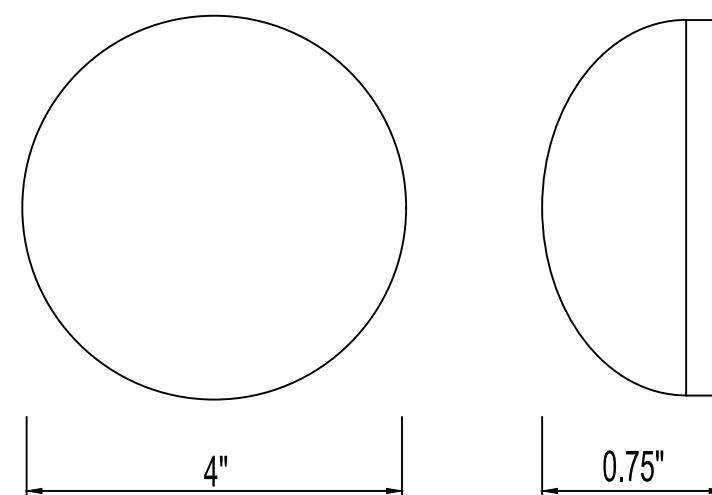
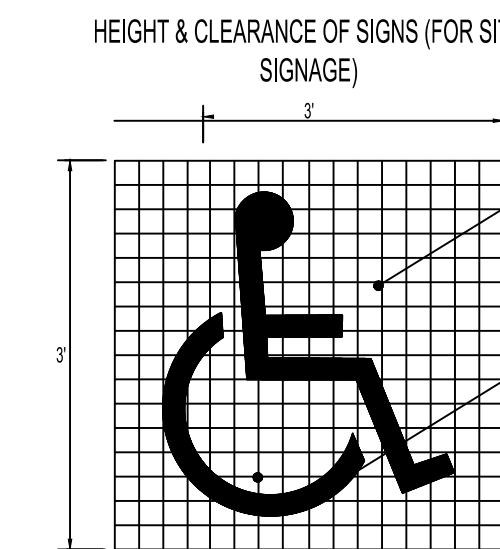
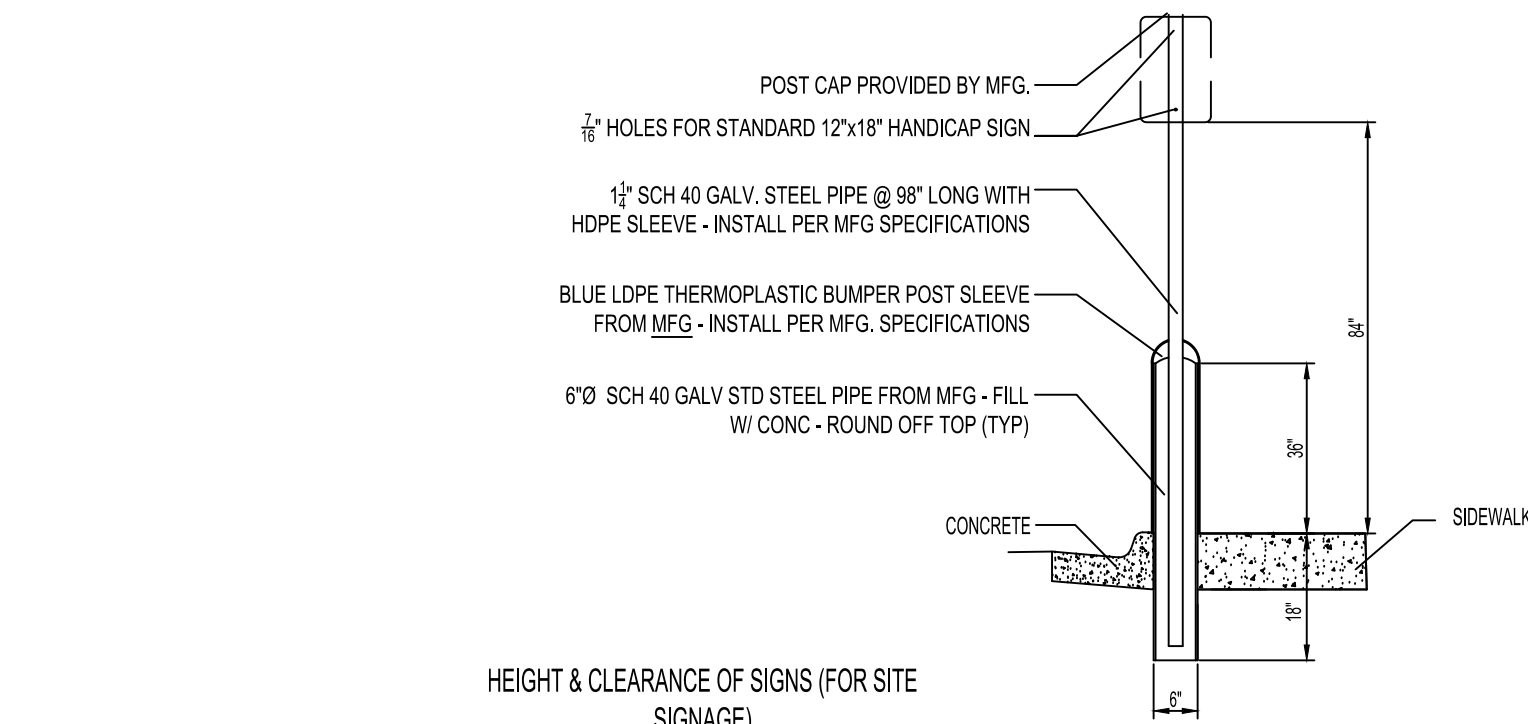
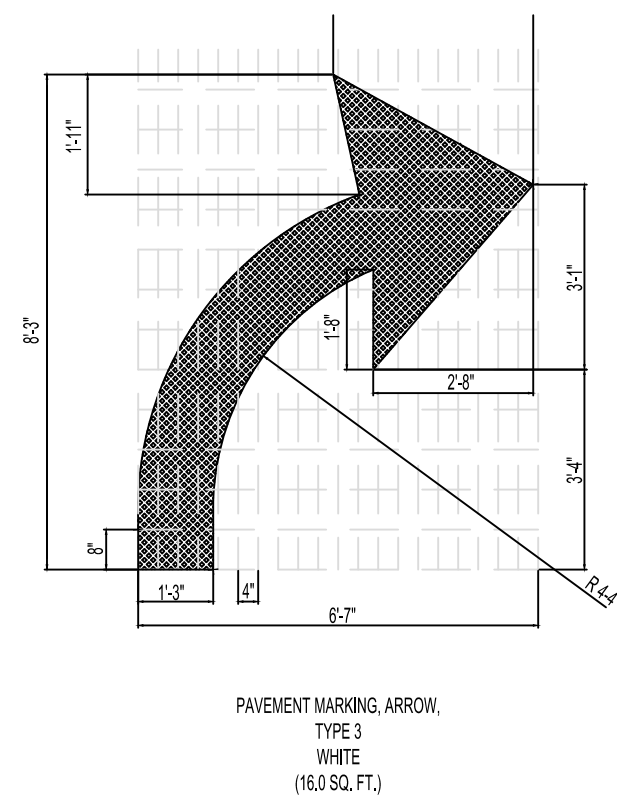
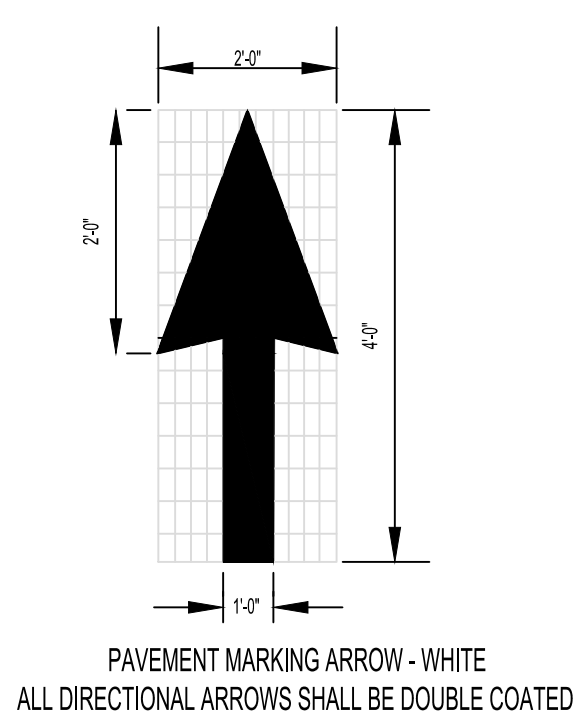
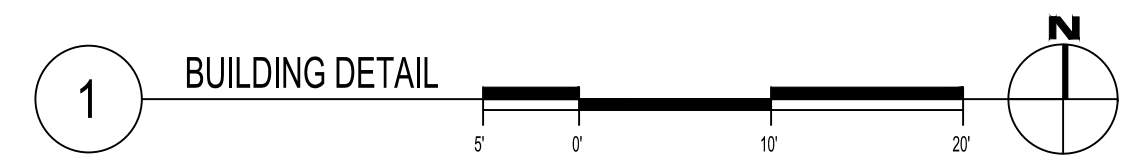
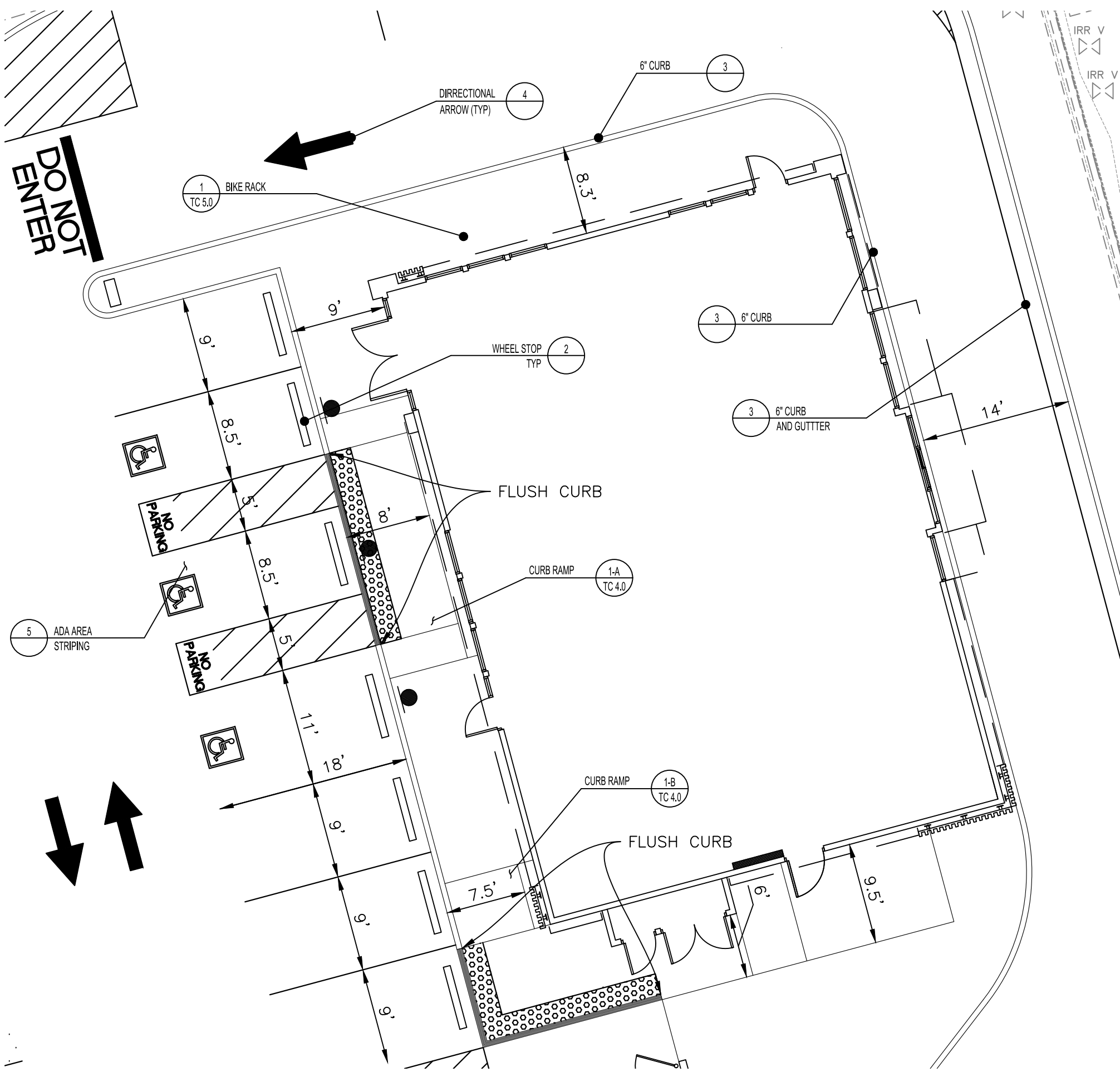
PANDA EXPRESS

PANDA HOME - CUSTOM
261 98TH STREET
ALBUQUERQUE, NM 87123

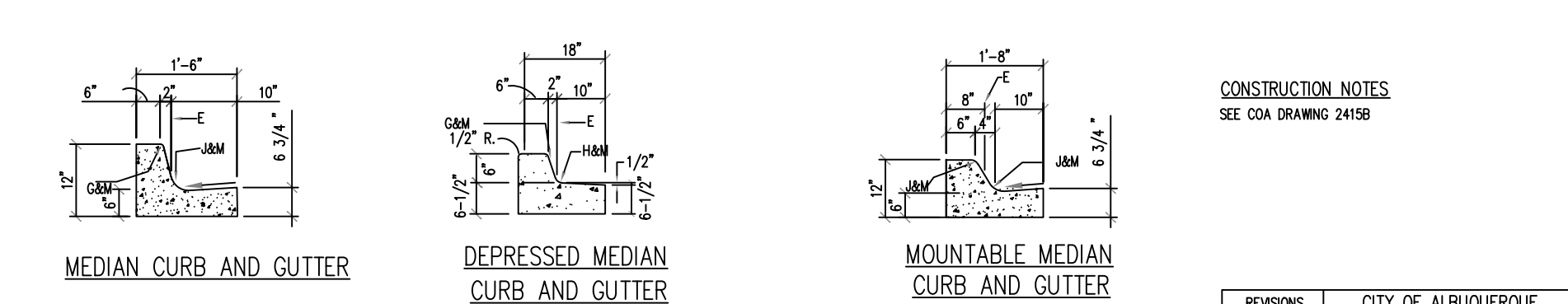
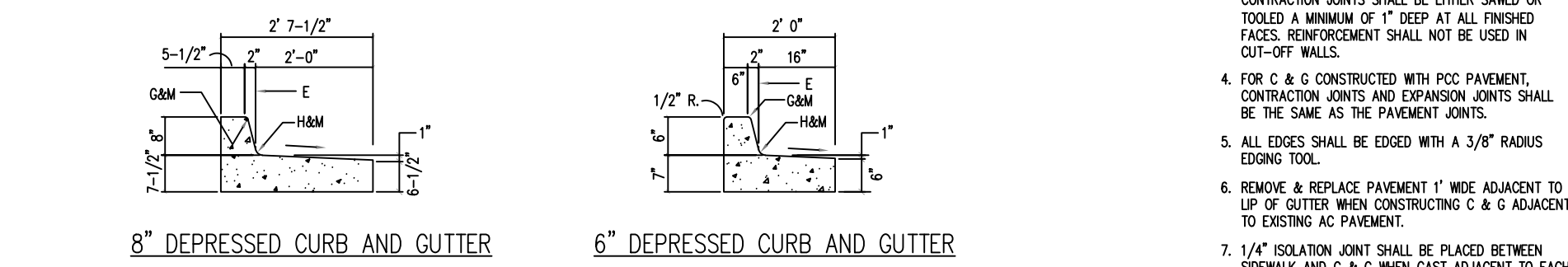
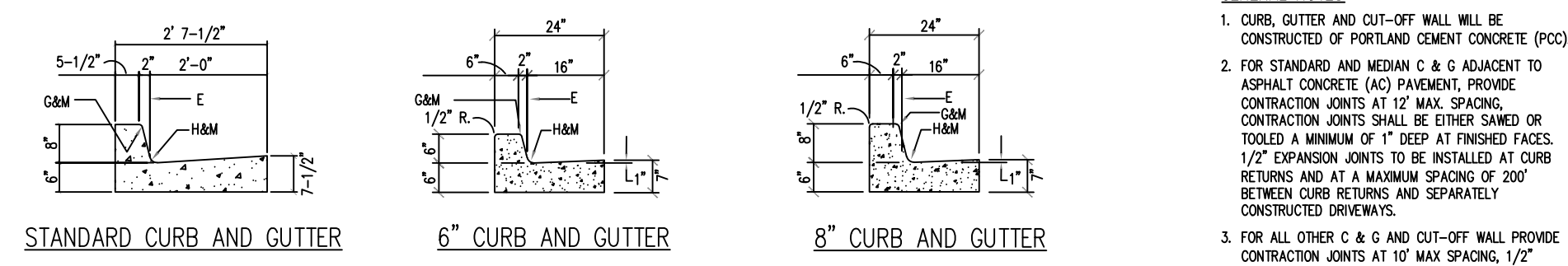
SITE PLAN

TC 2.0

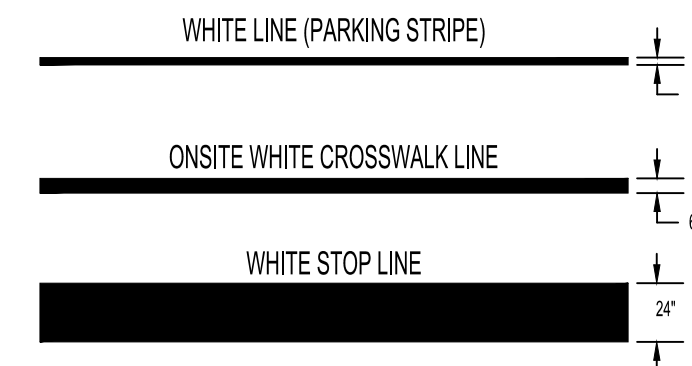
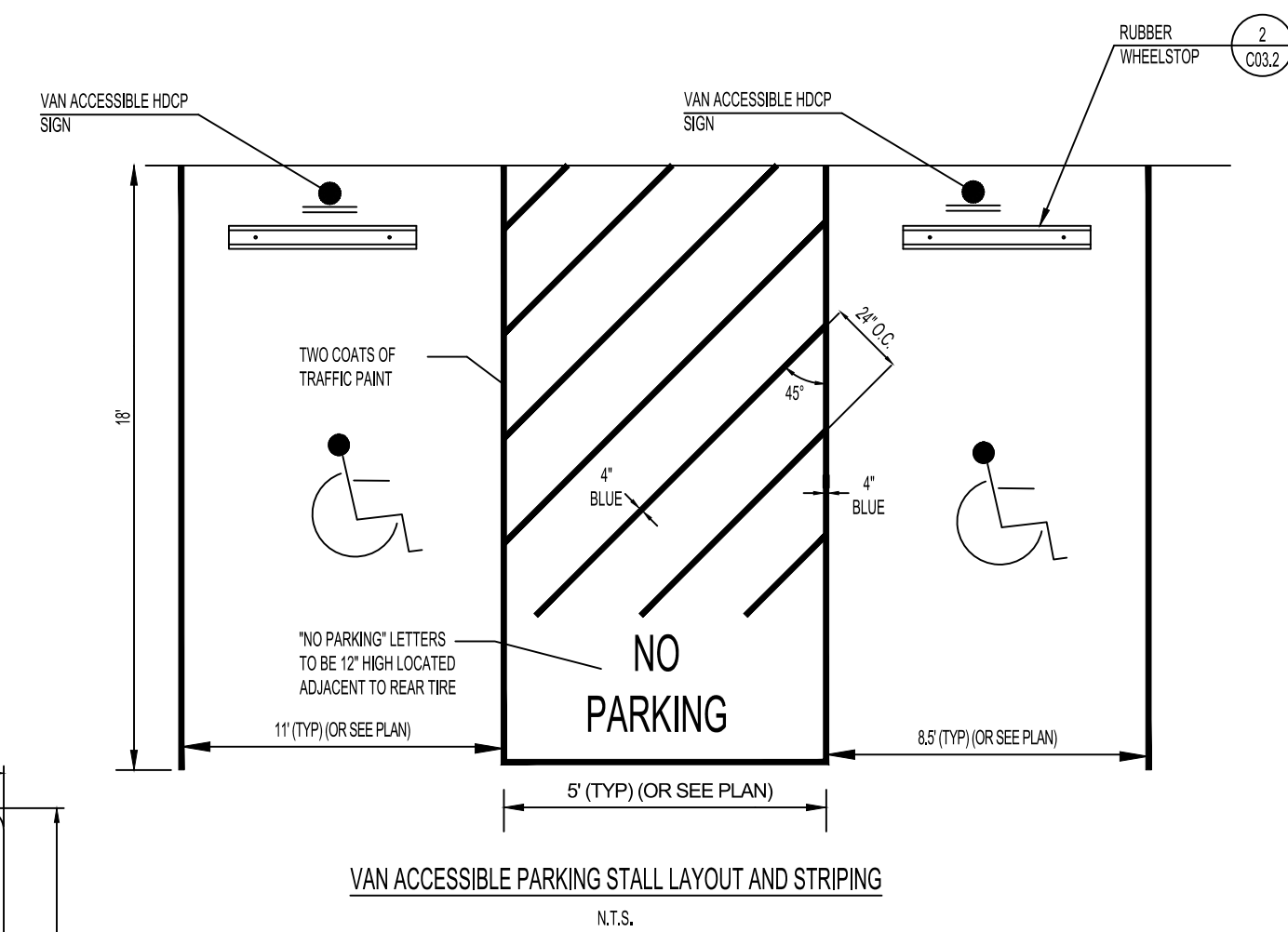
PANDA HOME - SQUARE CUSTOM



- NOTE:
- INSTALL 4" CERAMIC MARKERS ON ALONG THE BOUNDARY OF NOTED STRIPED ISLANDS. SEE SHEET TC 2.0
 - THE LOCATION OF PAVEMENT MARKERS ARE NOT TO IMPED ANY PEDESTRIAN WALKWAYS AND SHALL MAINTAIN ADA COMPLIANCE
 - PAVEMENT MARKER SIZE AND MATERIAL SHALL BE INSPECTED AND APPROVED BY CITY INSPECTOR PRIOR TO INSTALLATION



3 CURB AND GUTTER DETAILS NTS



- GENERAL NOTES
- CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
 - FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAVED OR TOoled A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT A MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.
 - FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING. 1/2" EXPANSION JOINTS AT CURB RETURNS & AT A MAXIMUM SPACING OF 100' BETWEEN CURB RETURNS & EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAVED OR TOoled A MINIMUM OF 1" DEEP AT ALL FINISHED FACES. REINFORCEMENT SHALL NOT BE USED IN CUT-OFF WALLS.
 - FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
 - ALL EDGES SHALL BE EDGED WITH A 3/8" RADIIUS EDGING TOOL.
 - REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO UP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
 - 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C & G WHEN CAST ADJACENT TO EACH OTHER.
 - ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES
SEE CDA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND CURB CUT
	DETAILS
	DWG. 2415A
	FEBRUARY 2021



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

TRAFFIC CIRCULATION PLAN

DRAWN BY:

rtm

PANDA PROJECT #: S8-23-D220241
PANDA STORE #: D220241
ARCH PROJECT #: 21229

rtm
engineering consultants
9225 Indian Creek Pkwy
Suite 1075
Overland Park, KS 66210
Telephone: (913) 322-1400
www.rtmec.com
KS Certificate of Authority: E-2641

Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 889 1103 V
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

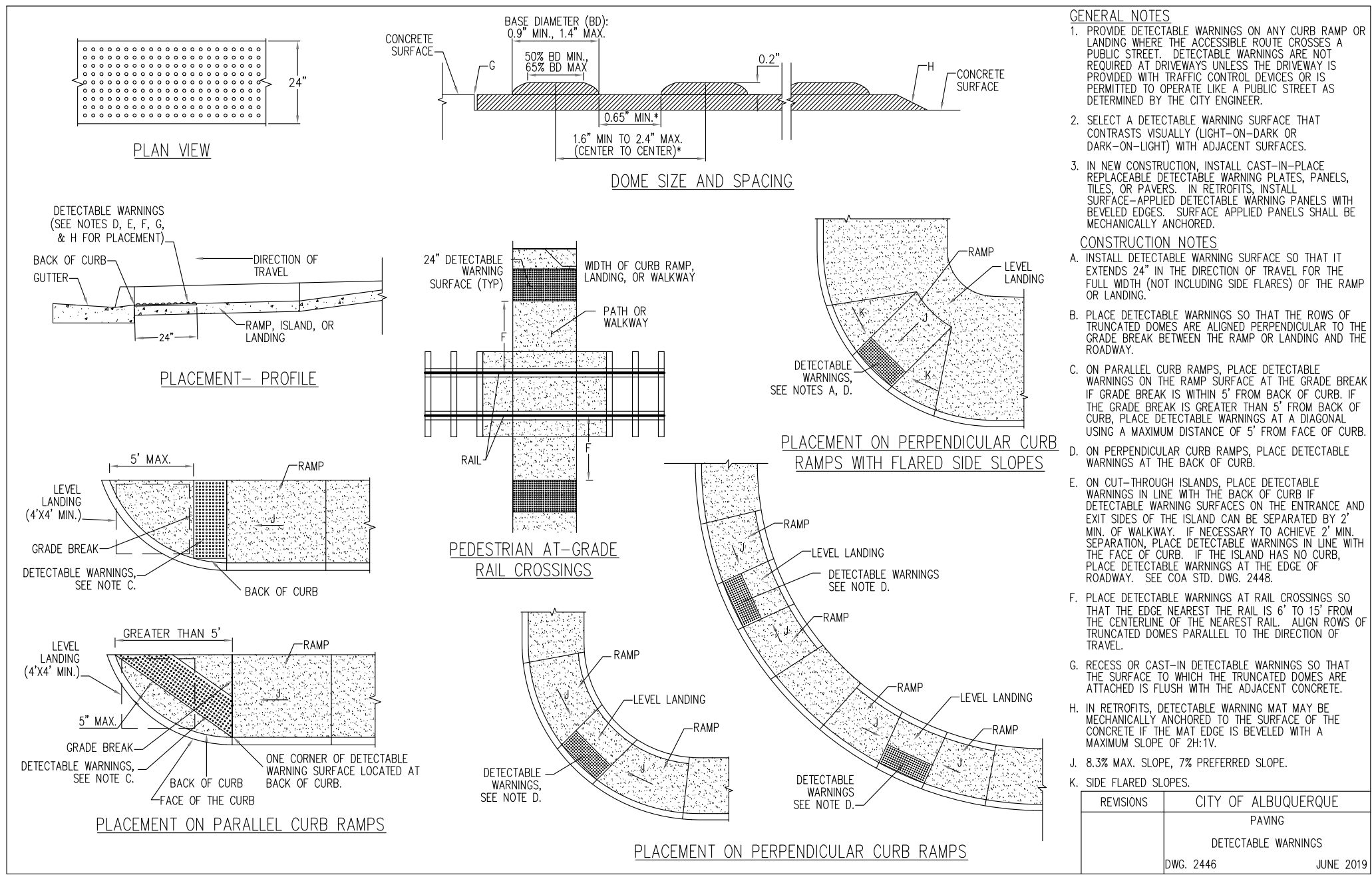
PANDA EXPRESS

261 98TH STREET
ALBUQUERQUE, NM 87123

SITE
DETAILS I

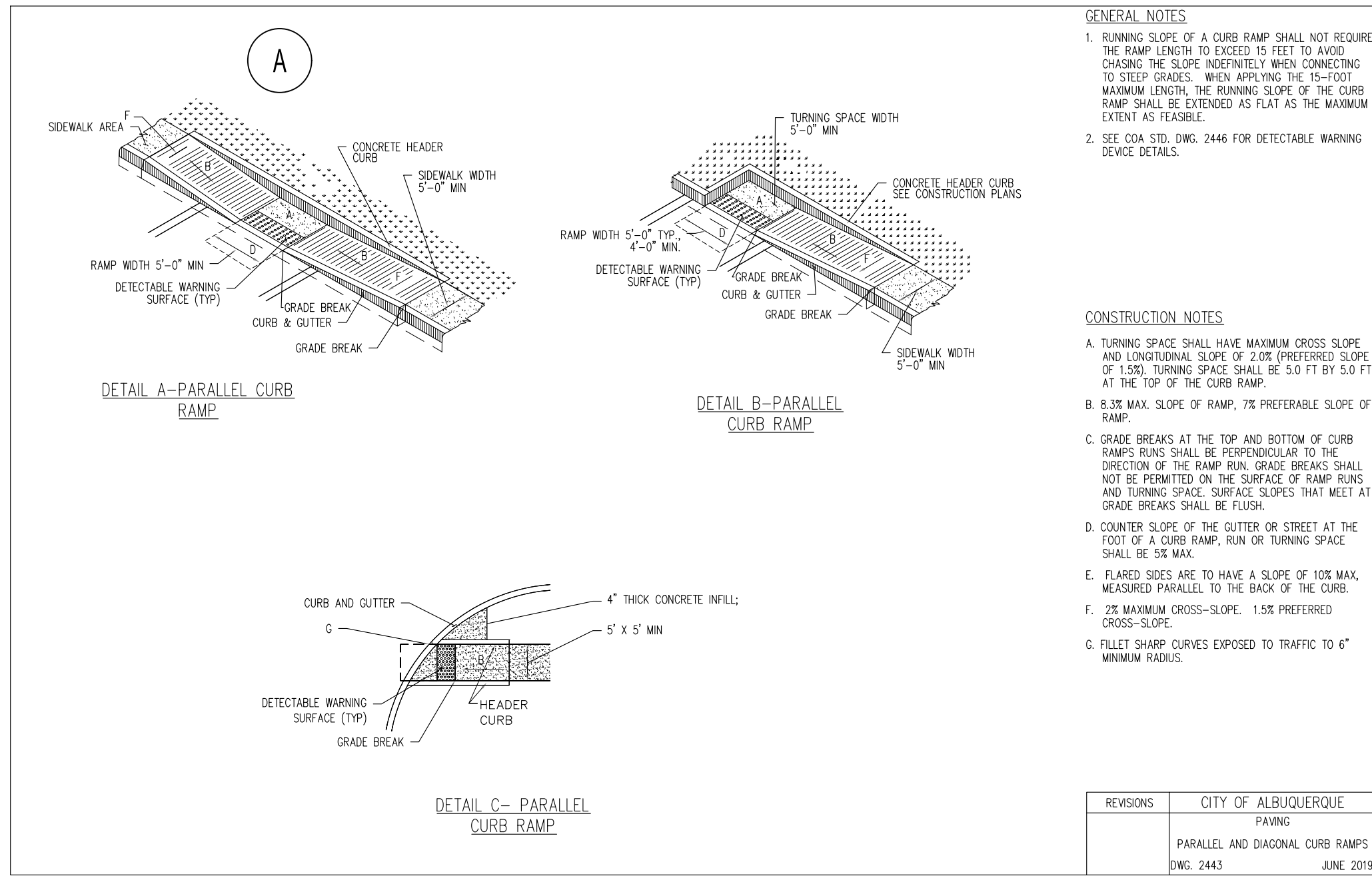
TC 3.0

261 98TH STREET



1 CURB RAMPS AND PAVING DETECTABLE WARNING

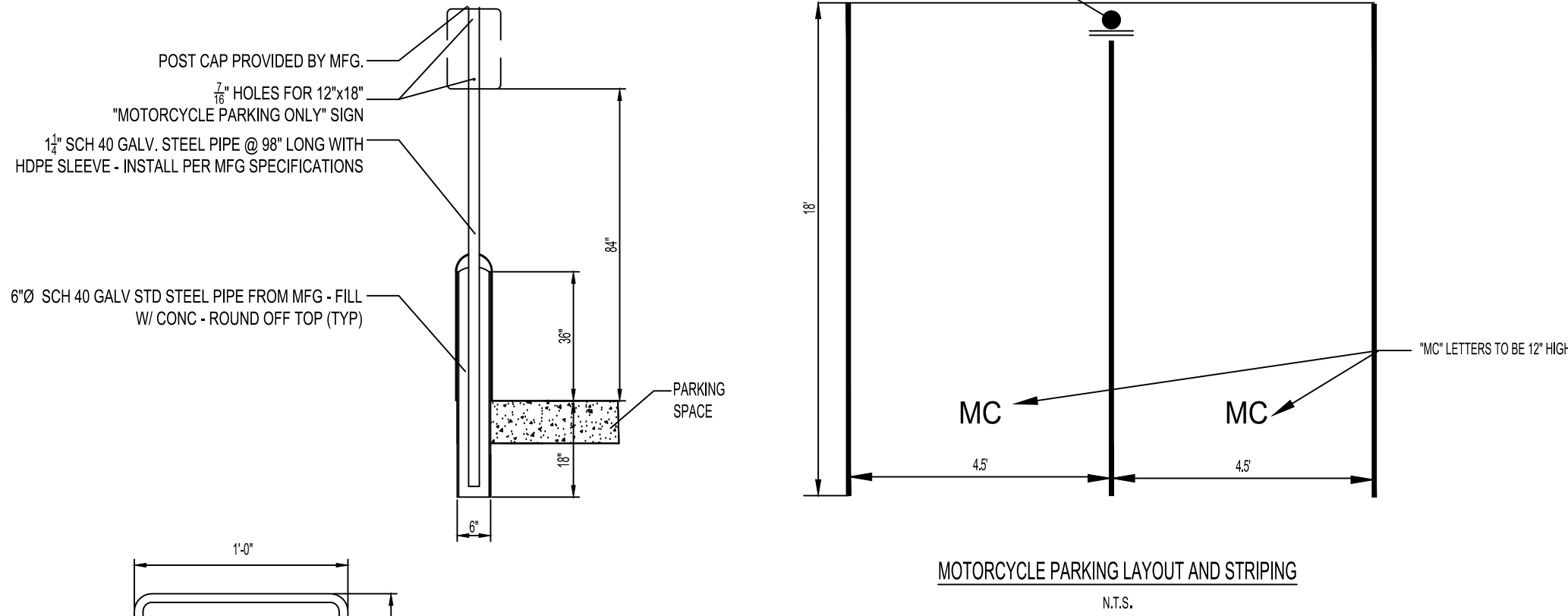
NTS



HEAVY-DUTY ASPHALT

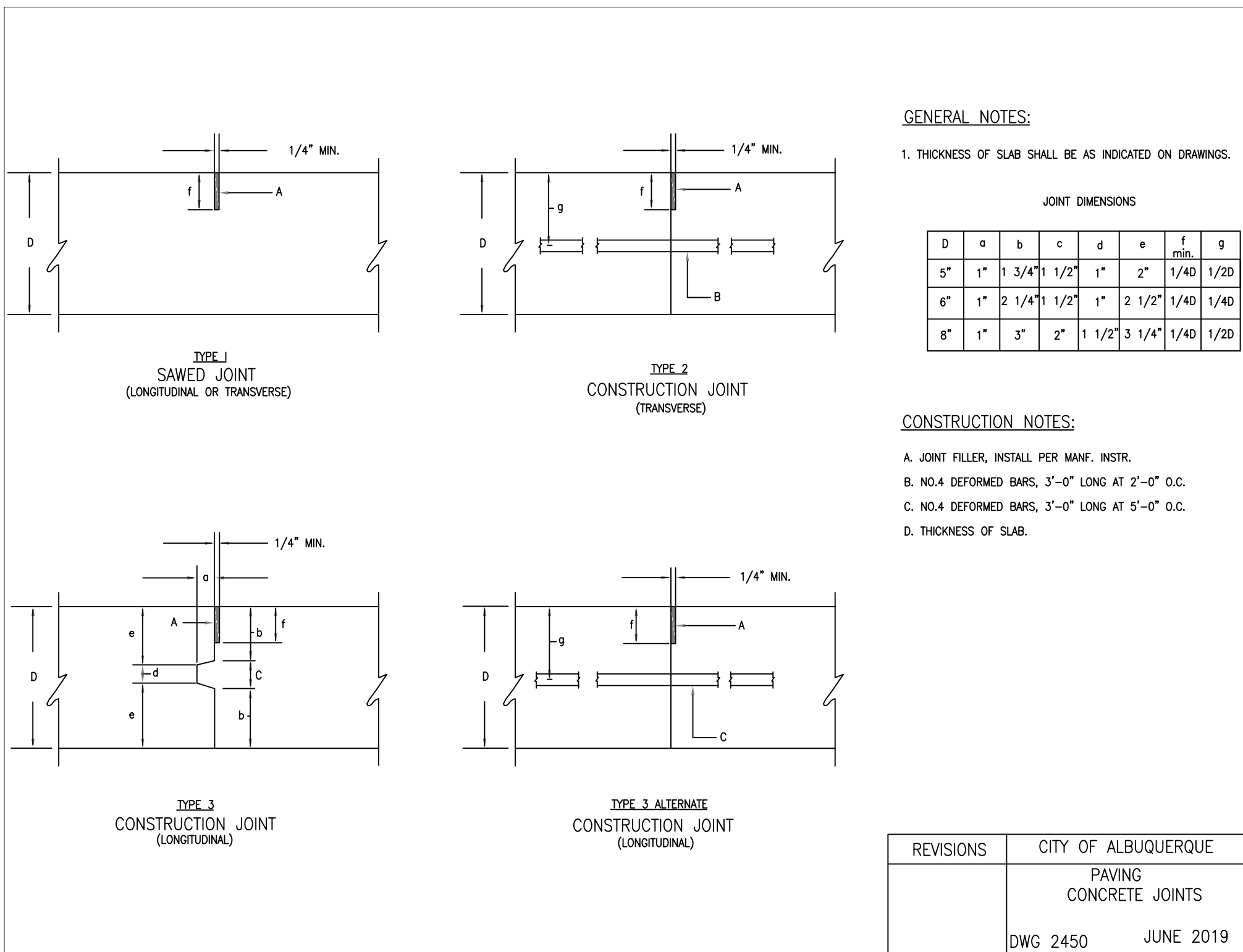
LIGHT-DUTY ASPHALT

- ASPHALT NOTES:**
- THE ASPHALT SURFACE COURSE SHOULD CONFORM TO THE MOST RECENT EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NDOT) STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, FOR HOT MIX ASPHALTIC CONCRETE SURFACE COURSE.
 - THE BASE COURSE SHOULD CONFORM TO THE NDOT STANDARDS FOR BASE COURSE COMPACTED TO 100 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
 - TACK COAT SHOULD BE PROVIDED ATOP EACH PAVEMENT SECTION.



3 MOTORCYCLE PARKING

NTS



2 PAVEMENT SECTION

NTS



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Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

TRAFFIC CIRCULATION PLAN

DRAWN BY:

rtm

PANDA PROJECT #: S8-23-D220241
PANDA STORE #: D220241
ARCH PROJECT #: 21229

rtm
engineering consultants
9225 Indian Creek Pkwy
Suite 1075
Overland Park, KS 66210
Telephone: (913) 332-1400
www.rtmec.com
KS Certificate of Authority: E-2641

Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 11111 North Loop West, Suite 800 713 869 1103 V
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

PANDA EXPRESS

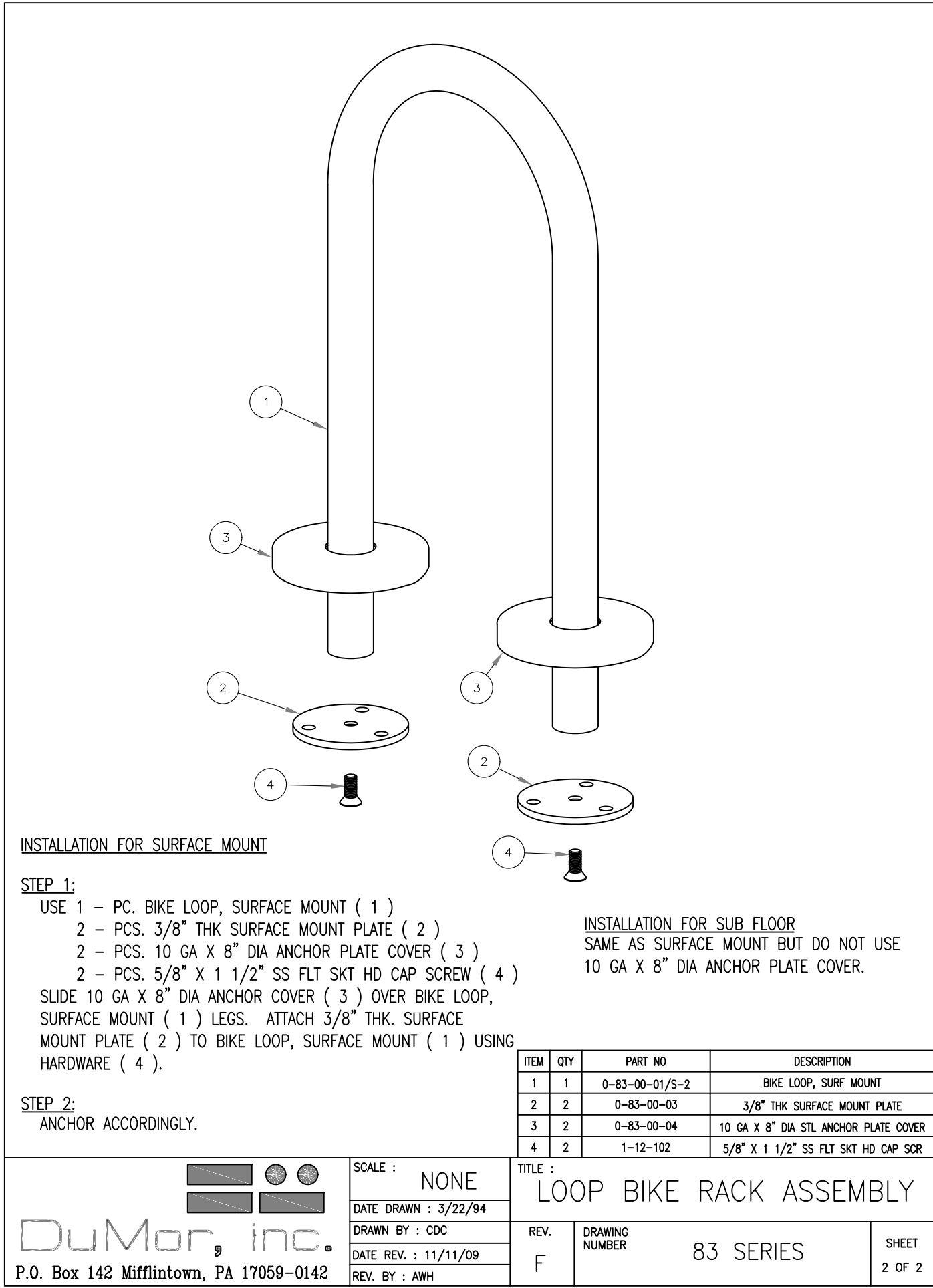
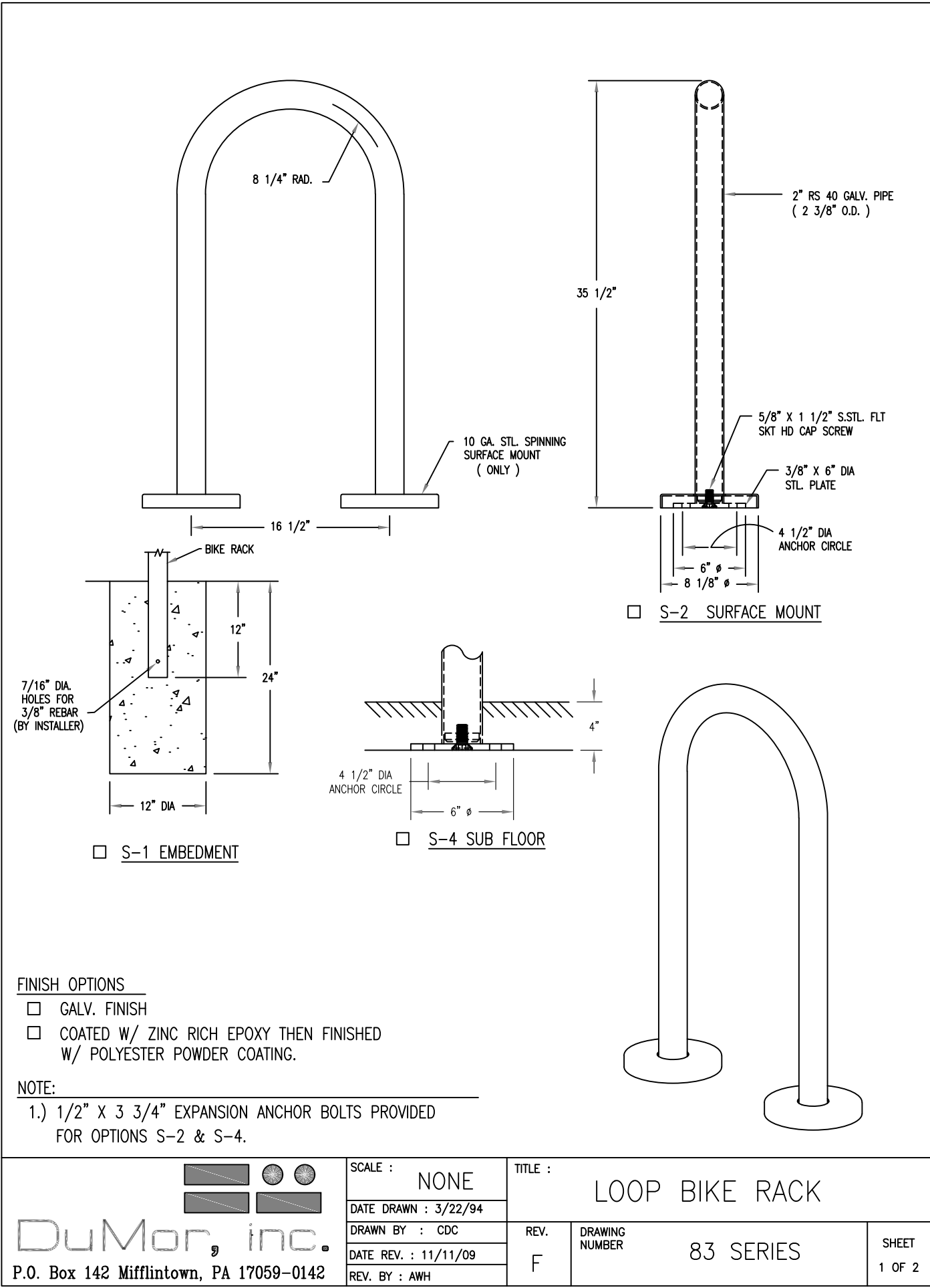
261 98TH STREET
ALBUQUERQUE, NM 87123

SITE DETAILS II

TC 4.0

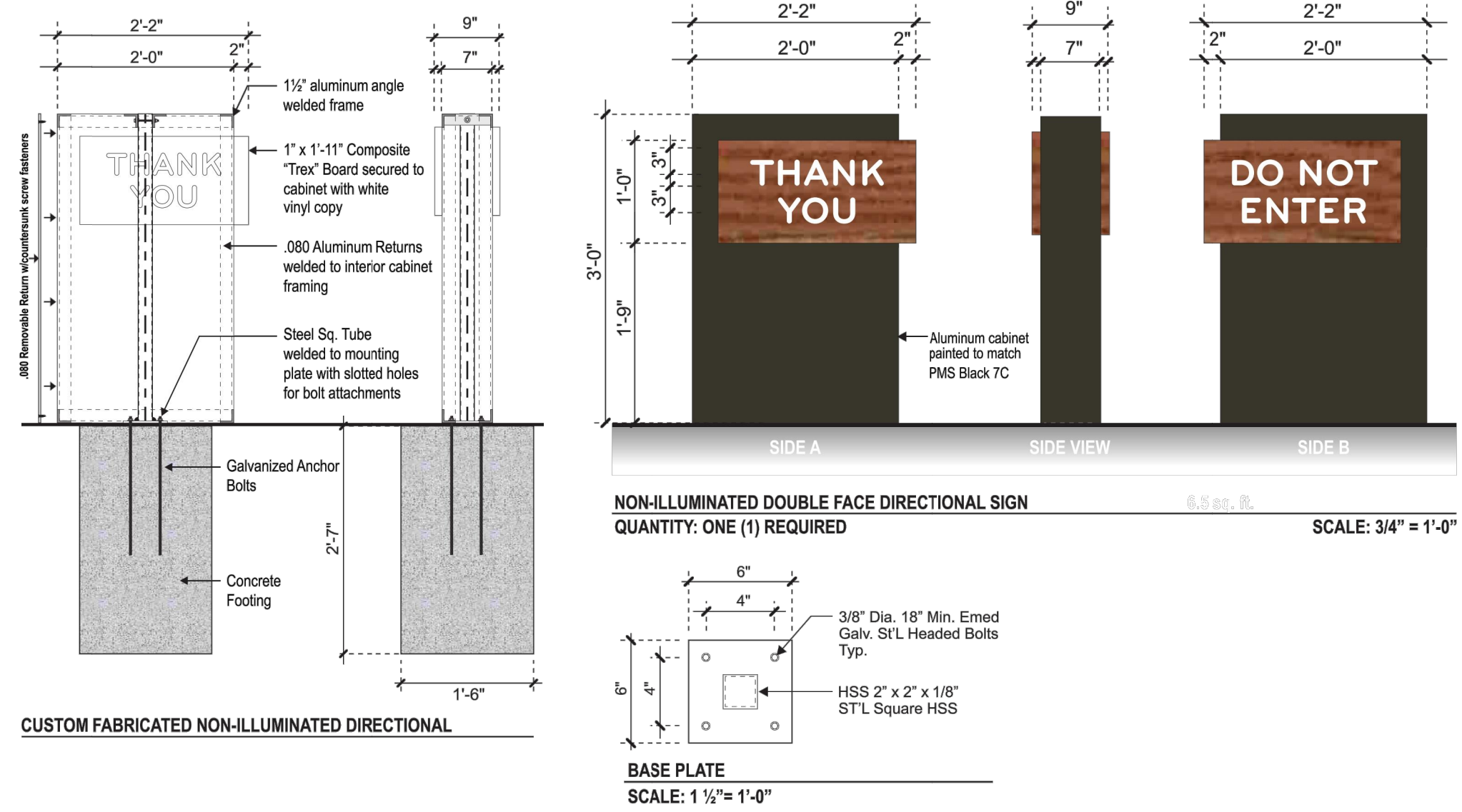
261 98TH STREET





D4 Non-Illuminated D/F Directional (Qty. 1)

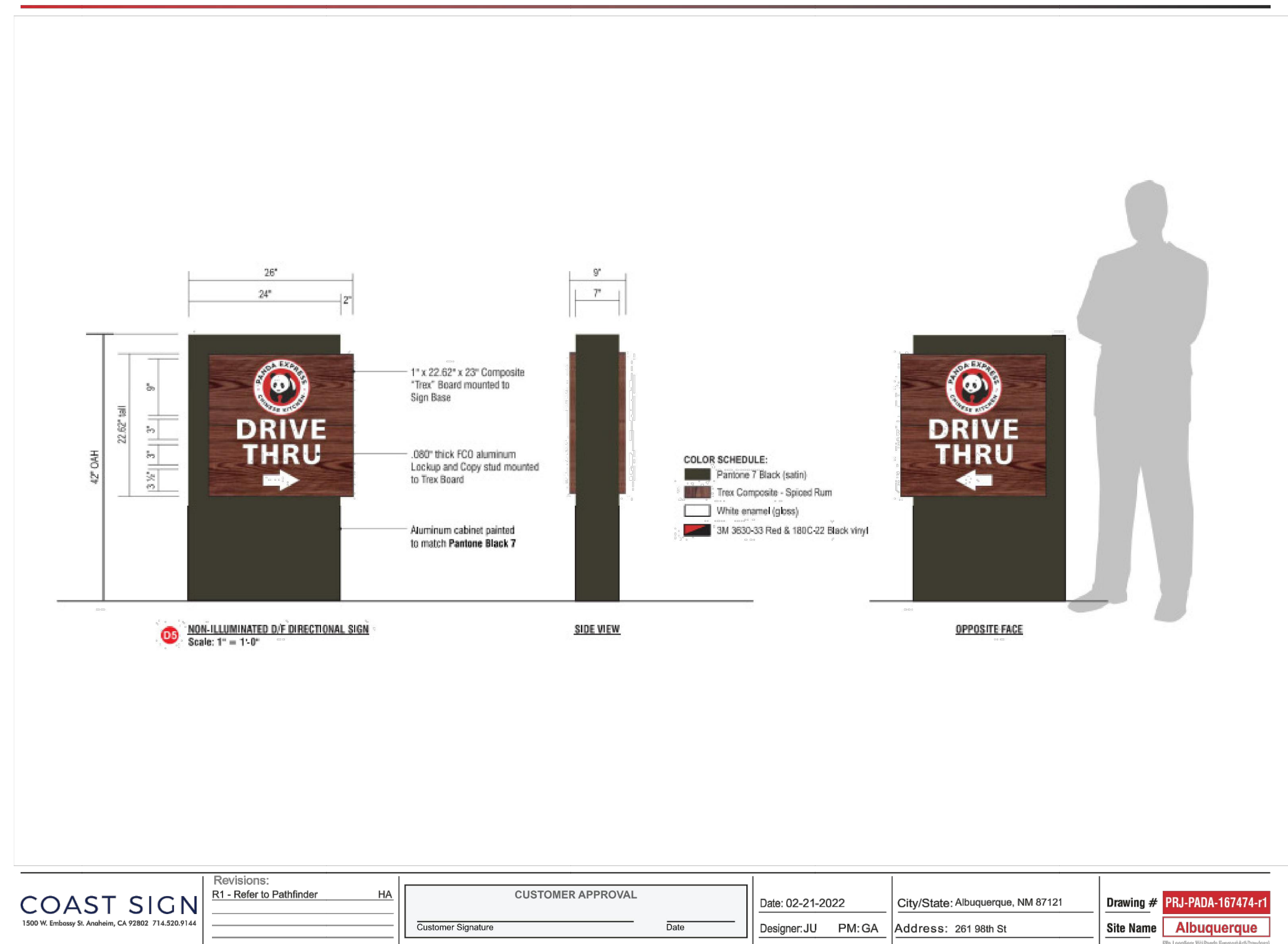
Install new non-illuminated directional. Refer to site plan for exact location.



COAST SIGN 1900 W. Embassy St., Anaheim, CA 92802 714.539.7144	Revisions:	CUSTOMER APPROVAL Customer Signature _____ Date _____	Date: 02-21-2022 Designer: JU PM: GA	City/State: Albuquerque, NM 87121 Address: 261 98th St	Drawing # PRL-PADA-167474

2 DRIVE-THROUGH EXIT SIGN

NTS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

NO.	DESCRIPTION

DRAWN BY: rtm

PANDA PROJECT #: S8-23-D220241
PANDA STORE #: D220241
ARCH PROJECT #: 21229



Heights Venture ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 869 1103 V
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PANDA EXPRESS

PANDA HOME - CUSTOM
261 98TH STREET
ALBUQUERQUE, NM 87123

SITE DETAILS III

TC 5.0

PANDA HOME - SQUARE CUSTOM