

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 15, 2023

Andres Ramirez
Rtm Engineering Consulting
24361 El Toro Rd.
Laguna Woods, CA 92637

Re: Panda Express
261 98th St. NW
Traffic Circulation Layout
Architect's Stamp 04-28-23 (K09-D038)

Dear Mr. Ramirez,

The TCL submittal received 05-25-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

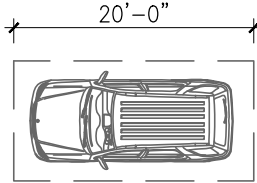
C: CO Clerk, File

32	SEALED CONC SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG.	27	ACCESSIBLE RAMP	22	CONC. DRIVEWAY	19	ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF TO EXIT TO DAYLIGHT THRU FACE OF WALL. COLD CLIMATES WILL REQUIRE CONNECTION TO STORM SEWER. ARCHITECT TO VERIFY WITH LOCAL JURISDICTION.	14	ACCESSIBLE PARKING POLE SIGN	10	DRIVE THRU LANE SENSOR LOOP. INSTALL/POSITION SO LOOP IS CENTERED ON ACTIVE PANEL OF DRIVE THROUGH WINDOW. SEE DETAIL.	5	PAVING - SEE CIVIL PLAN	1	LIMIT OF CONSTRUCTION
33	CLEARANCE BAR/BASE INSTALLED BY SIGN VENDOR.	28	DIRECTIONAL SIGN - NO POWER, GC TO COORDINATE WITH SIGN COMPANY	23	EDGE OF SIDEWALK AT PLANTER	23	EDGE OF SIDEWALK AT PLANTER	15	INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE	11	DRIVE THROUGH MENU BOARD INSTALLED BY SIGN COMPANY. VERIFY WITH PANDA PM (SEE GENERAL NOTE ABOVE)	6	IRRIGATED LANDSCAPING, REFER TO LANDSCAPE DRAWINGS	2	PROPERTY LINE
34	EXISTING TRANSFORMER PAD. RE: CIVIL AND ELEC. DRAWINGS	29	ORDER CONFIRMATION BOARD	24	CONCRETE CURB AT LANDSCAPE AREA.	24	CONCRETE CURB AT LANDSCAPE AREA.	16	ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/ 4" WIDE STRIPES @3'-0" O.C.	12	DIRECTIONAL ARROW	7	HEAVY DUTY CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFERENCE CIVIL DRAWINGS FOR SPECIFICATIONS	3	NEW SITE LIGHT POLE
35	BICYCLE LOCATION. NUMBER OF BICYCLES REQUIRED = 6 TOTAL	30	RUBBER WHEEL STOP. REF: CIVIL DRAWINGS	25	EXPANSION JOINT @ 20'-0" O.C. MAX.	25	EXPANSION JOINT @ 20'-0" O.C. MAX.	17	PAINT 4" WIDE SOLID PARKING STRIPING W/ TWO (2) COATS HIGHWAY WHITE PAINT	13	ACCESSIBLE PATH OF TRAVEL	8	TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY.	3A	EXISTING LIGHT POLE
		31	MOTORCYCLE PARKING SPACES	26	TOOLED JOINTS @ 5'-0"x5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C.	26	TOOLED JOINTS @ 5'-0"x5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C.	18	DESIGNATED HANDICAP PARKING SPACE	9	GC TO COORDINATE LOCATION OF SIGN WITH SIGN CO.			4	NEW SWITCHGEAR

KEY NOTES

Scale= NTS

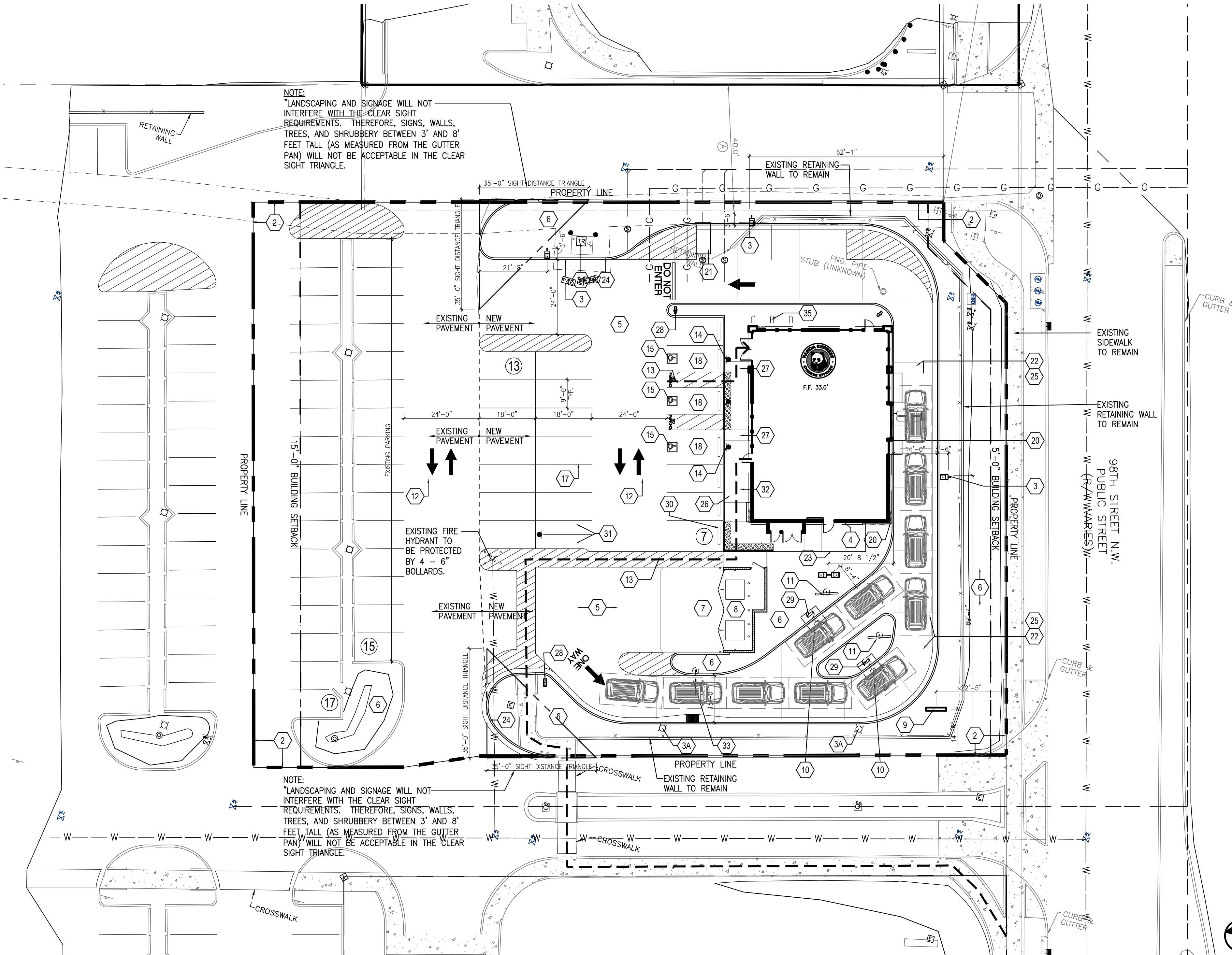
LEGEND
PROPERTY LINE
BUILDING SETBACK



LEGEND

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arriaga 6/15/2023
Signed Date



SITE PLAN

1

Scale= 1" = 20'-0"

PANDA EXPRESS RESTAURANT - SITE INFORMATION:

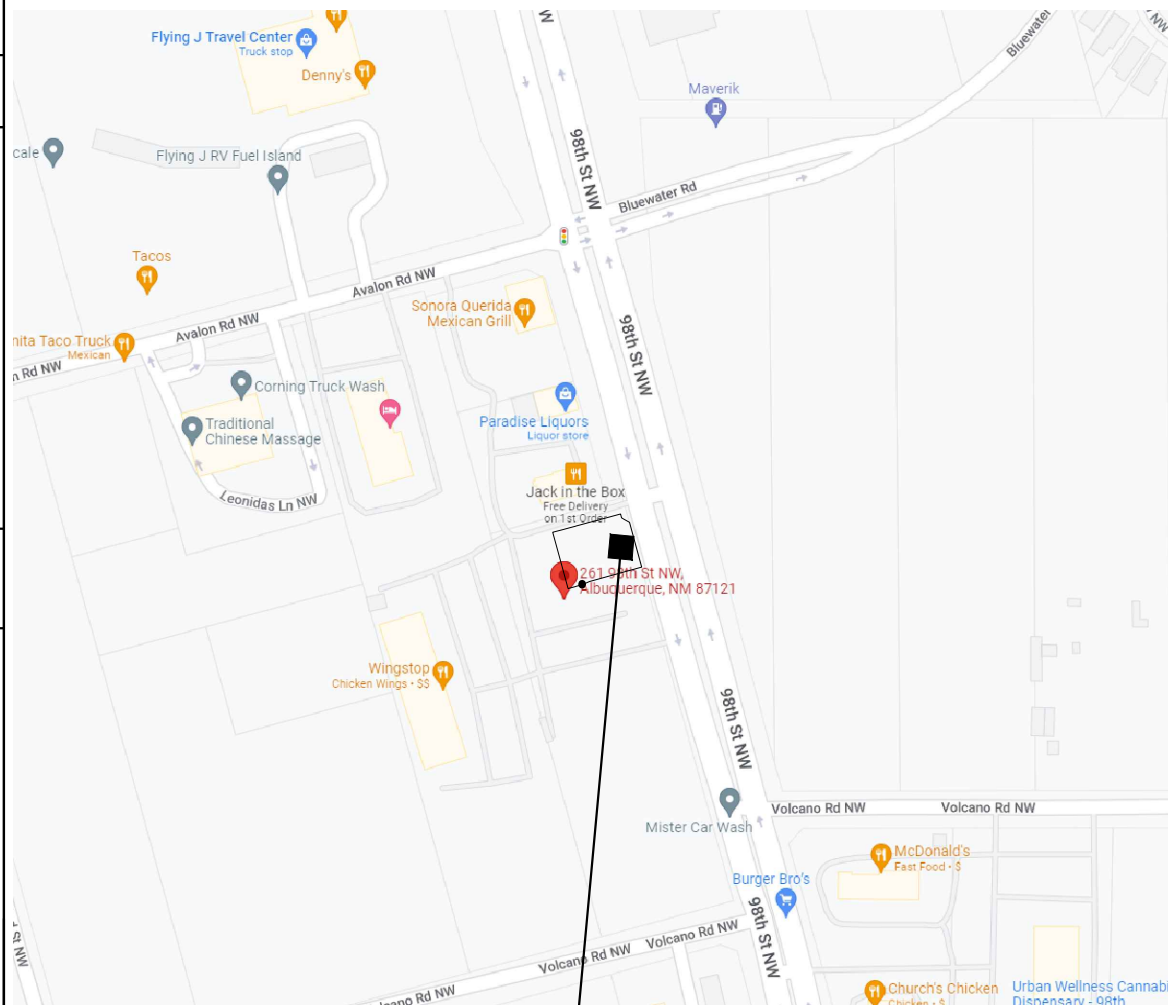
SITE AREA: 42,368 SF / 0.973 ACRES
BUILDING AREA: 2,600 SF
OCCUPANCY: GROUP 2A (ASSEMBLY)

PARKING CALCULATION:

PER IDO TABLE 5-5-1: MINIMUM OFF-STREET PARKING REQUIREMENTS
RESTAURANT 8 SPACES / 1,000 SQ.FT. GFA REQUIRED
2.6 x 8 = 20.8 SPACES REQUIRED

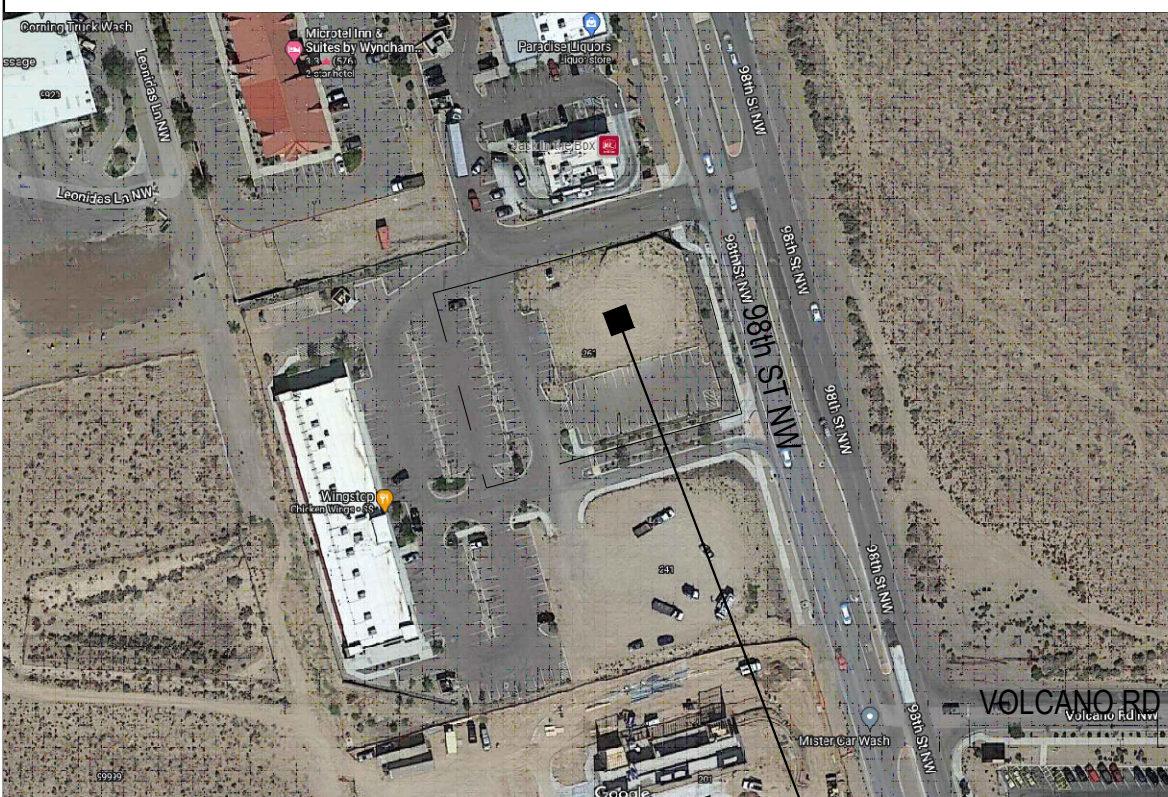
PROPOSED PROVIDED: 49 REGULAR
+ 3 ACCESSIBLE
52 PARKS PROVIDED

MOTORCYCLE PROVIDED: 2 STALLS
BICYCLE REQUIRED: 6



VICINITY MAP

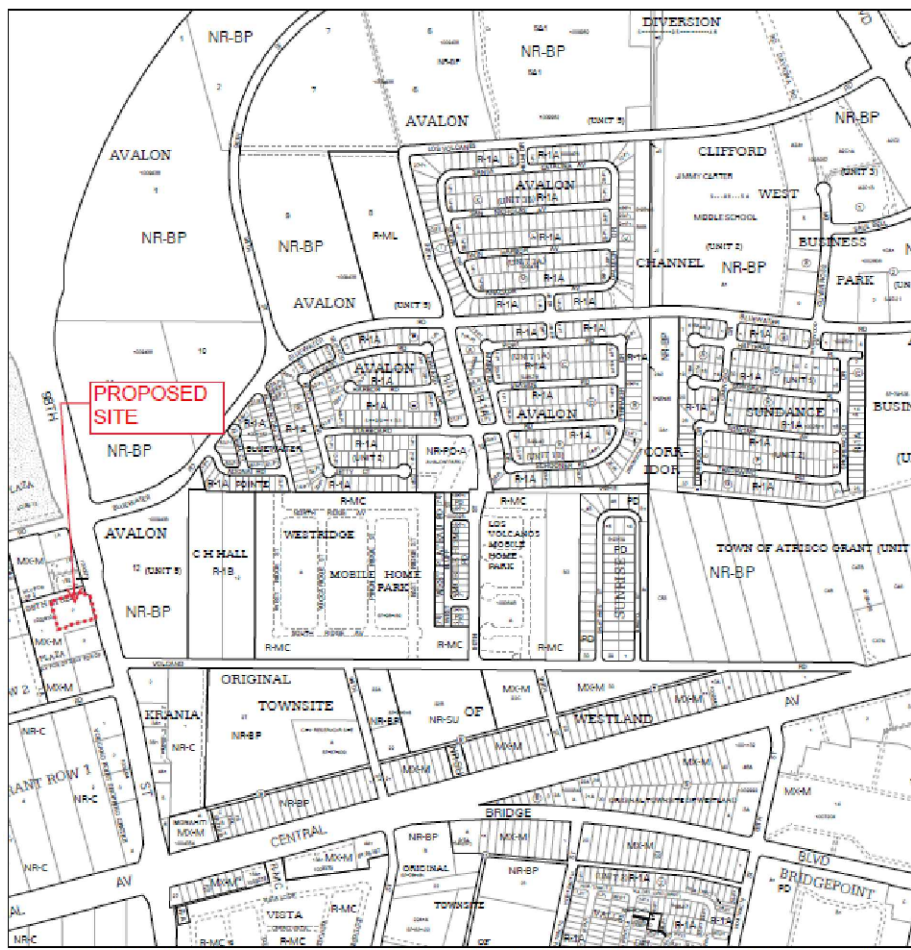
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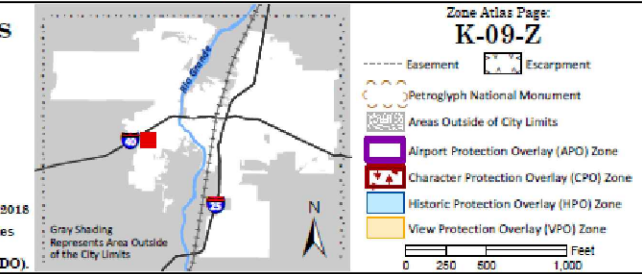
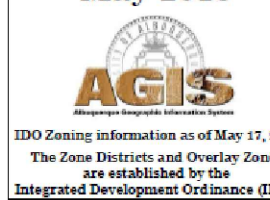
PROPOSED
PANDA EXPRESS

KEY PLAN

Scale= NTS



IDO Zone Atlas
May 2018



IDO ZONE ATLAS MAP

Scale= NTS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

DRAWN BY:

RM/LL

PANDA PROJECT #:

S8-23-D20241

PANDA STORE #:

D20241

ARCH PROJECT #:

21229



Heights Venture
ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 869 1103 V
DALLAS 5741 Legacy Drive, Suite 320 Plano, Texas 75024 972 490 7292 V

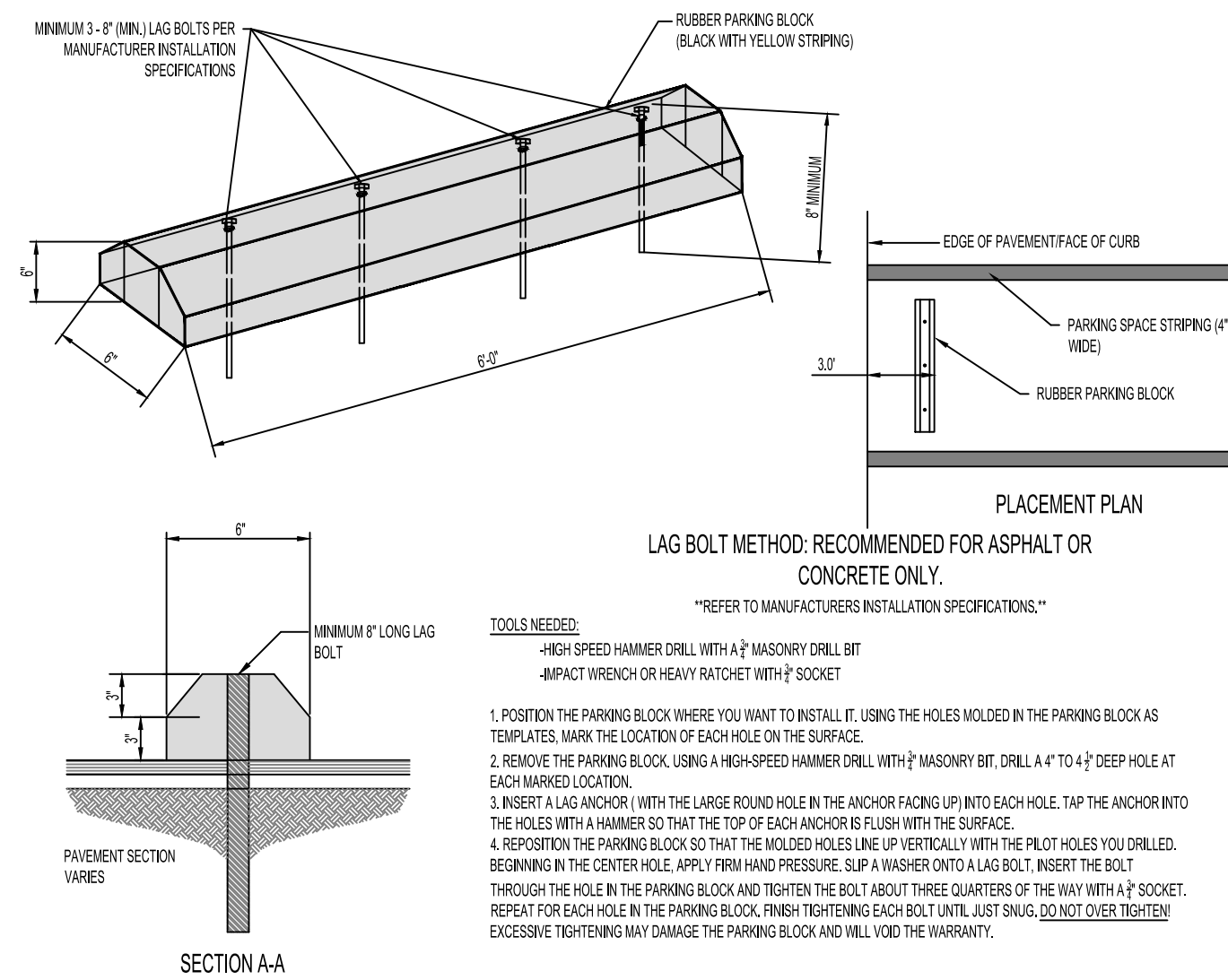
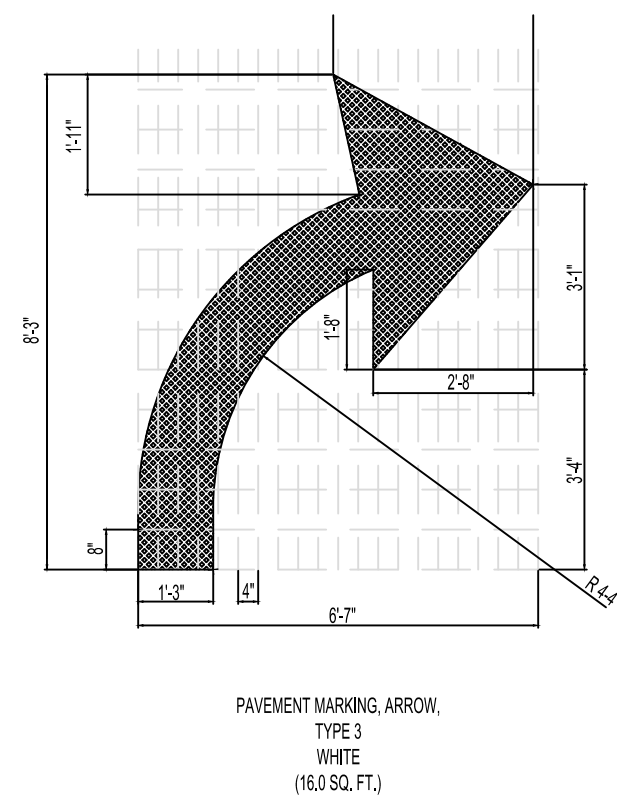
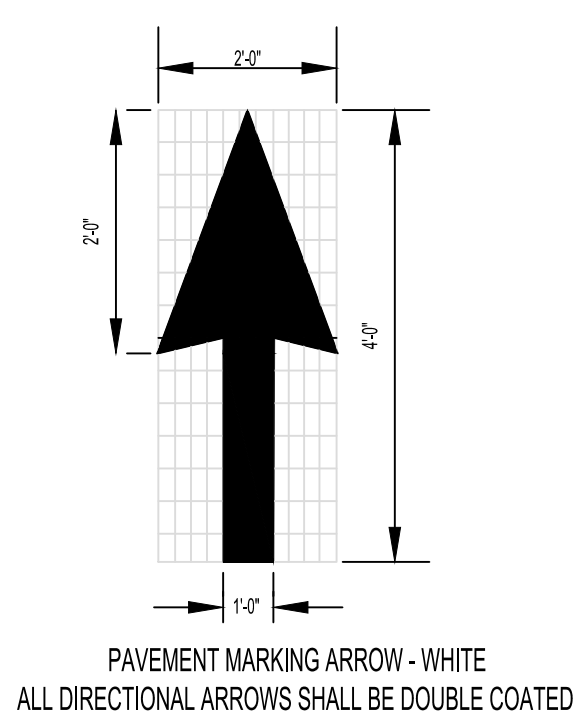
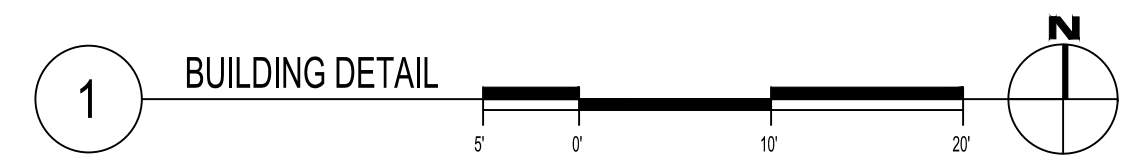
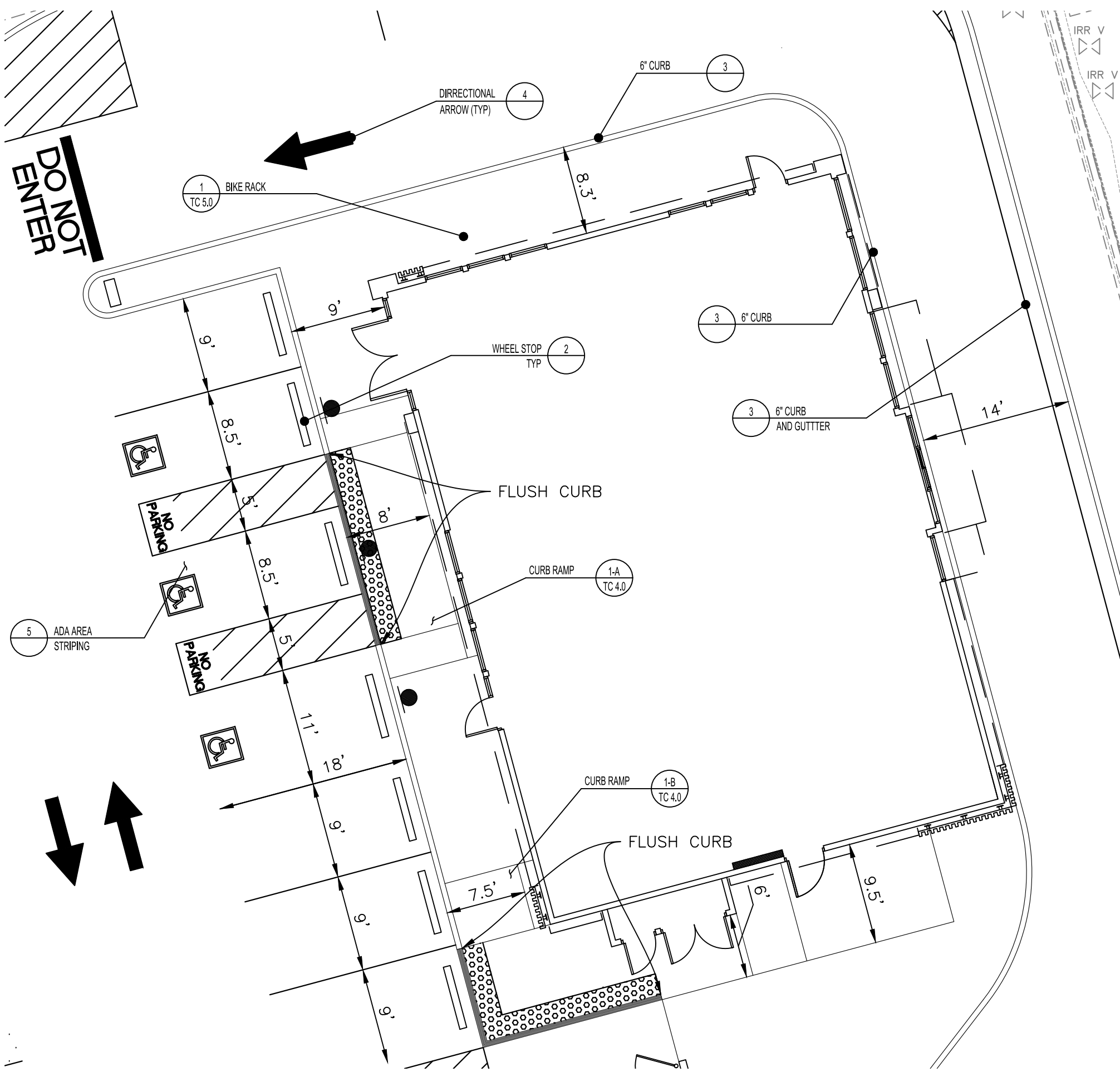
PANDA EXPRESS

PANDA HOME - CUSTOM
261 98TH ST. NW
ALBUQUERQUE, NM 87121

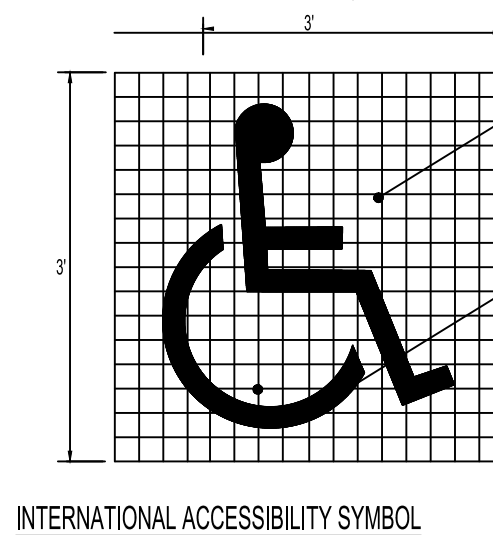
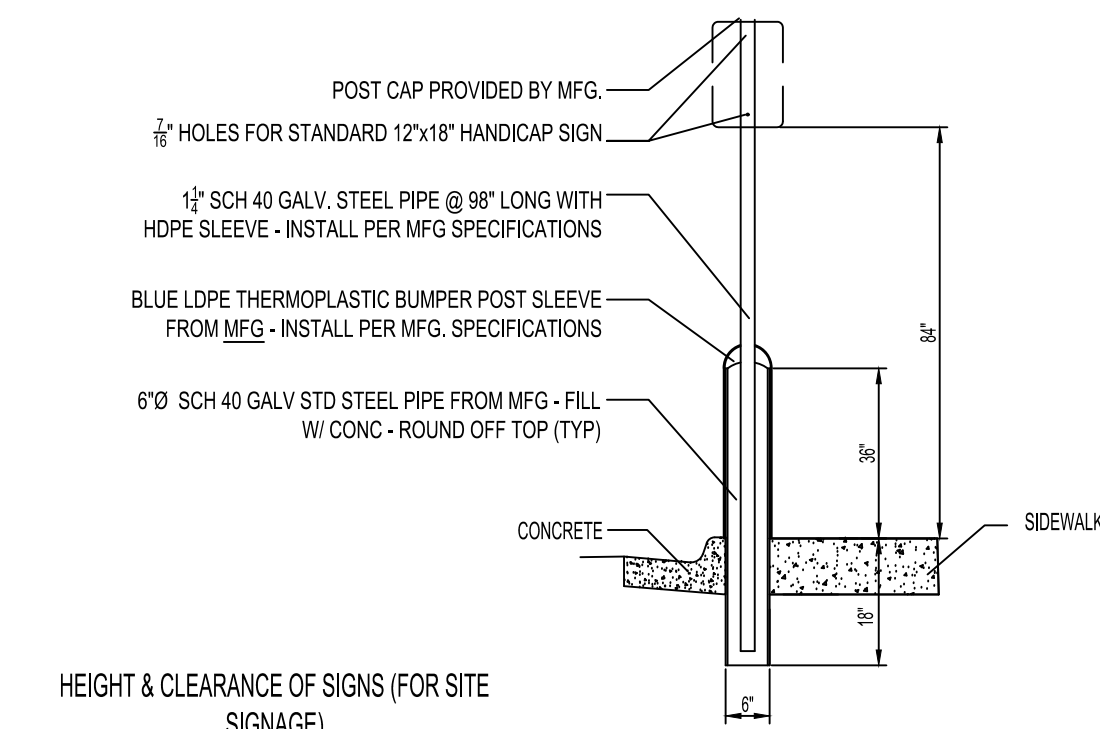
TC 1.0

TRAFFIC CIRCULATION PLAN

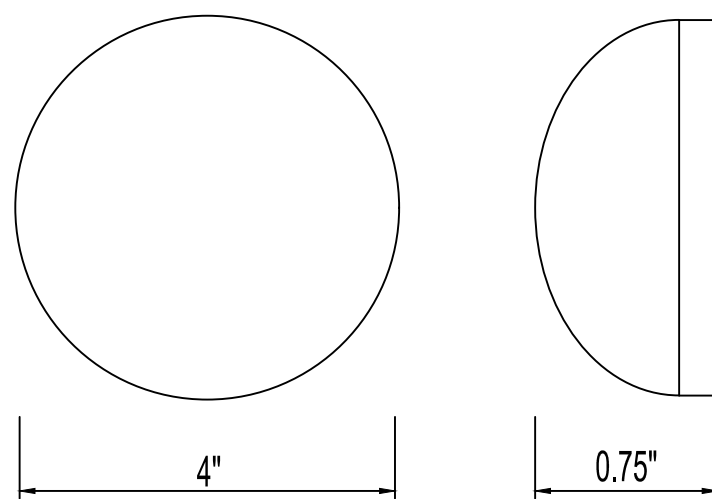
PANDA HOME - SQUARE CUSTOM



2 RUBBER WHEELSTOP NTS

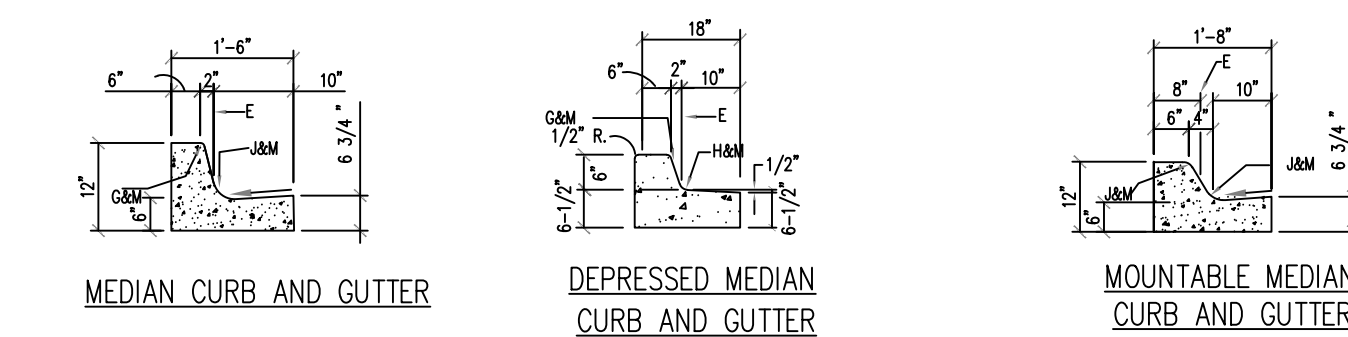
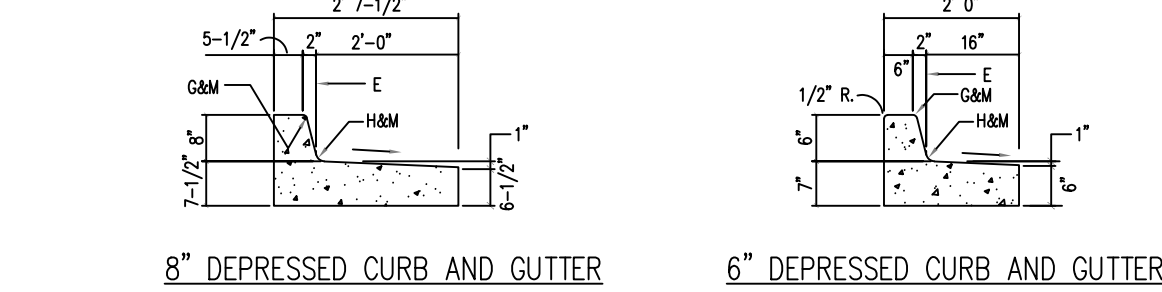
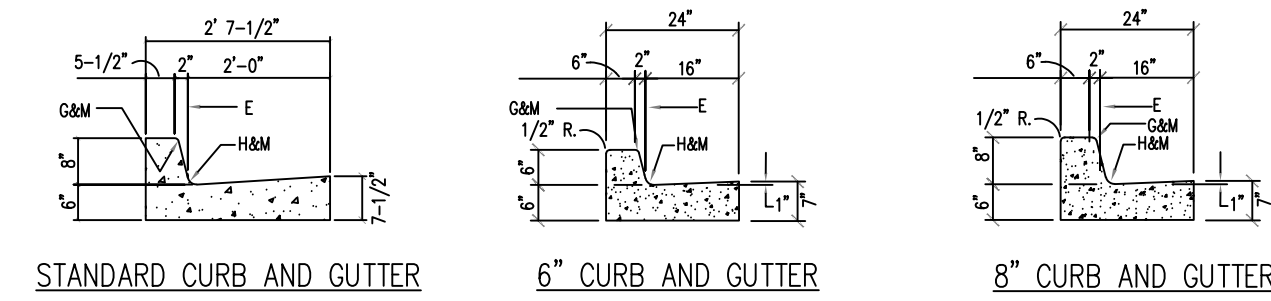


INTERNATIONAL ACCESSIBILITY SYMBOL



PARKING ISLAND RAISED PAVEMENT MARKERS

5 ACCESSIBLE AREA AND STRIPING NTS

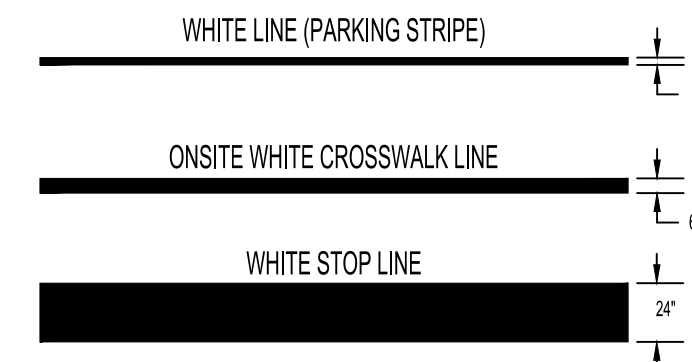
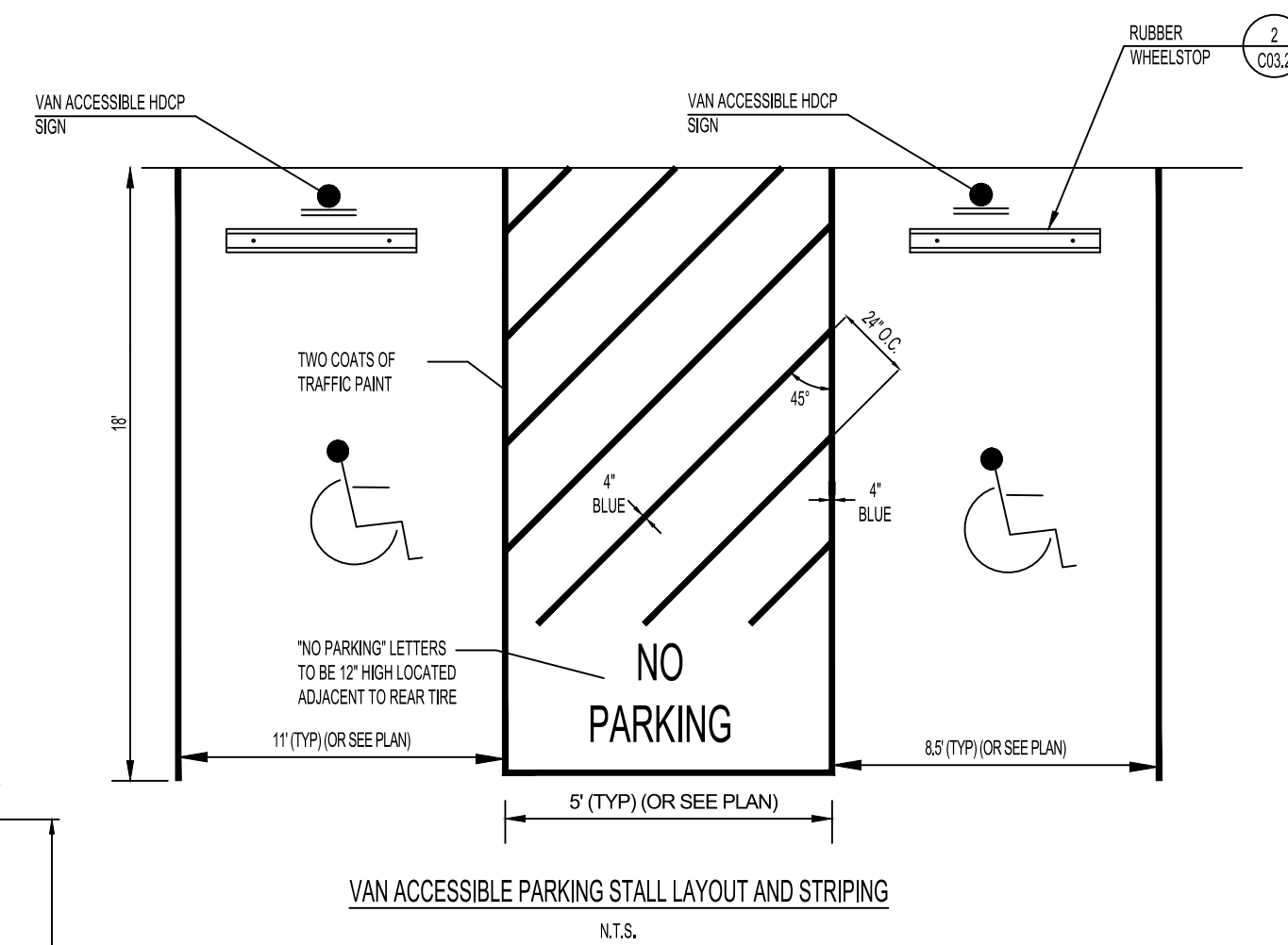


3 CURB AND GUTTER DETAILS NTS

- GENERAL NOTES**
1. CURB, GUTTER AND CUT-OFF WALL WILL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE (PCC).
 2. FOR STANDARD AND MEDIAN C & G ADJACENT TO ASPHALT CONCRETE (AC) PAVEMENT, PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAVED OR TOoled A MINIMUM OF 1\"/>
 3. FOR ALL OTHER C & G AND CUT-OFF WALL PROVIDE CONTRACTION JOINTS AT 10' MAX SPACING. 1/2\"/>
 4. FOR C & G CONSTRUCTED WITH PCC PAVEMENT, CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.
 5. ALL EDGES SHALL BE EDGED WITH A 3/8\"/>
 6. REMOVE & REPLACE PAVEMENT 1' WIDE ADJACENT TO UP OF GUTTER WHEN CONSTRUCTING C & G ADJACENT TO EXISTING AC PAVEMENT.
 7. 1/4\"/>
 8. ADA = AMERICANS WITH DISABILITY ACT.

CONSTRUCTION NOTES
SEE CDA DRAWING 2415B

REVISIONS	CITY OF ALBUQUERQUE
	PAVING
	CURB AND GUTTER AND CURB CUT
	DETAILS
	DWG. 2415A FEBRUARY 2021



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REVISIONS:

ISSUE DATE:

TRAFFIC CIRCULATION PLAN

DRAWN BY:

rtm

PANDA PROJECT #: S8-23-D220241
PANDA STORE #: D220241
ARCH PROJECT #: 21229

rtm
engineering consultants
9225 Indian Creek Pkwy
Suite 1075
Overland Park, KS 66210
Telephone: (913) 322-1400
www.rtmec.com
KS Certificate of Authority: E-2641

Heights Venture
ARCHITECTURE • DESIGN

HOUSTON 1111 North Loop West, Suite 800 Houston, Texas 77008 713 889 1103 V
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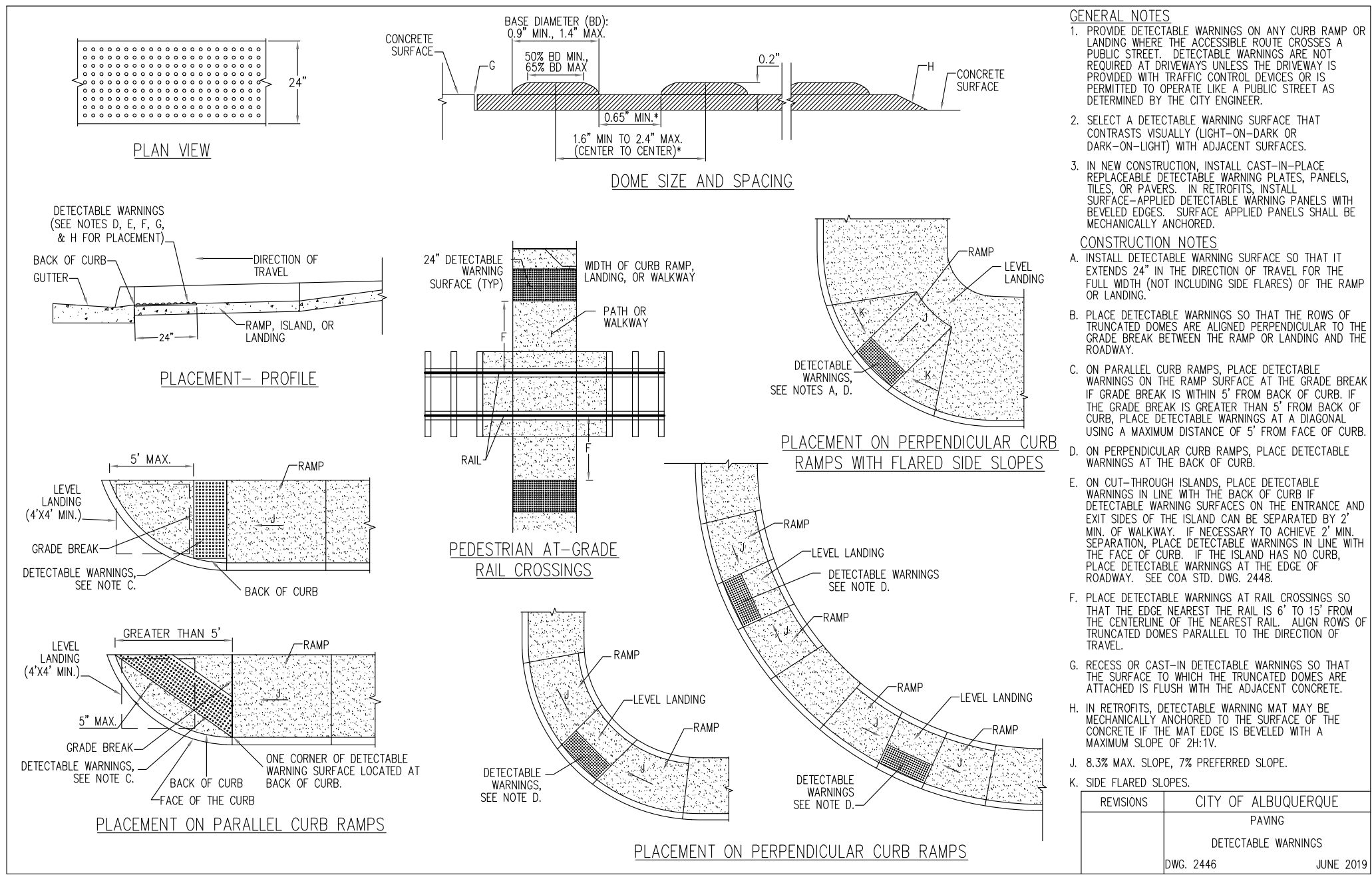
PANDA EXPRESS

261 98TH STREET
ALBUQUERQUE, NM 87123

SITE
DETAILS I

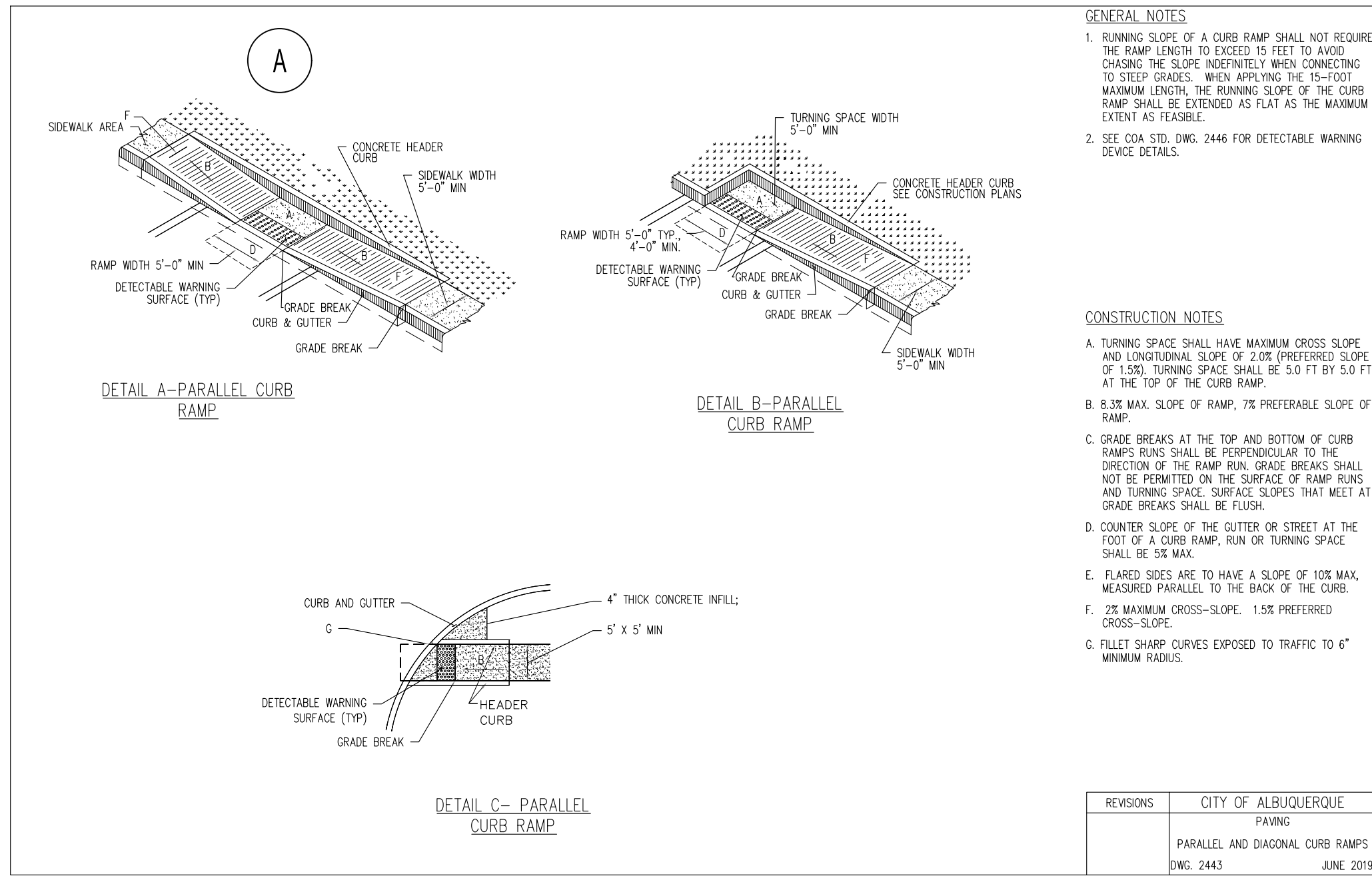
TC 3.0

261 98TH STREET



1 CURB RAMPS AND PAVING DETECTABLE WARNING

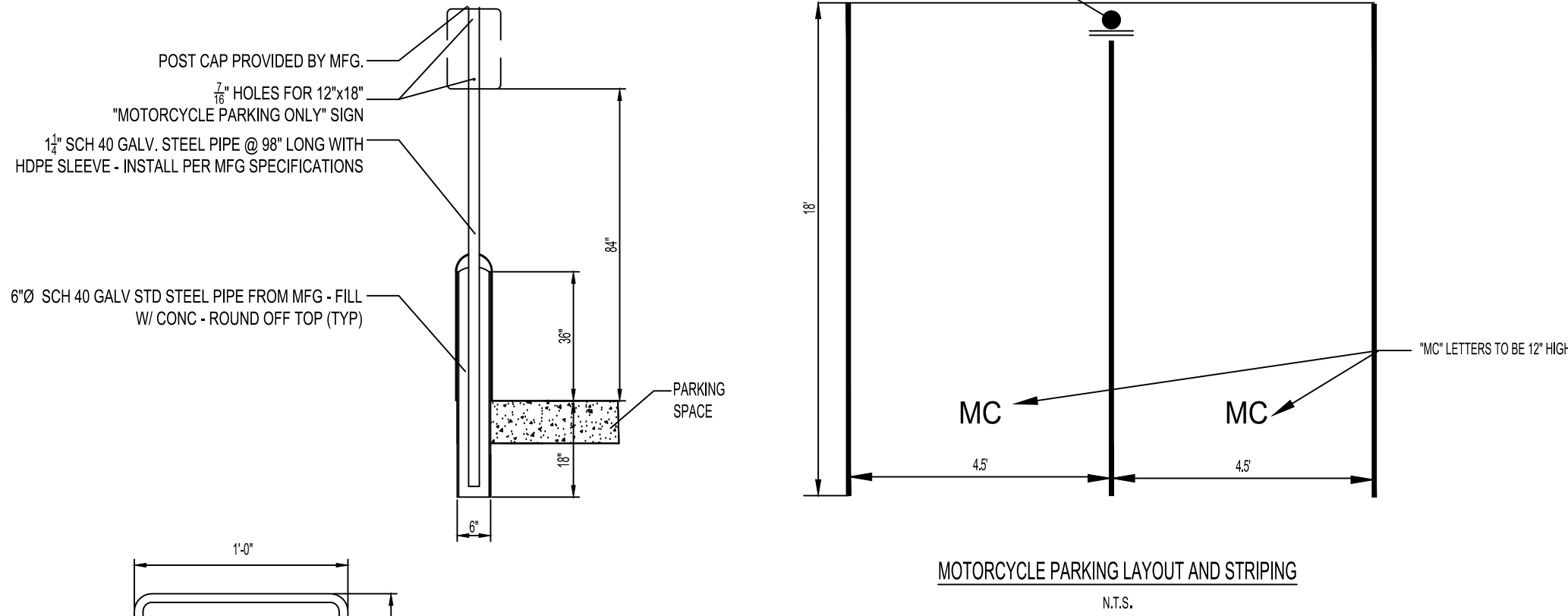
NTS



HEAVY-DUTY ASPHALT

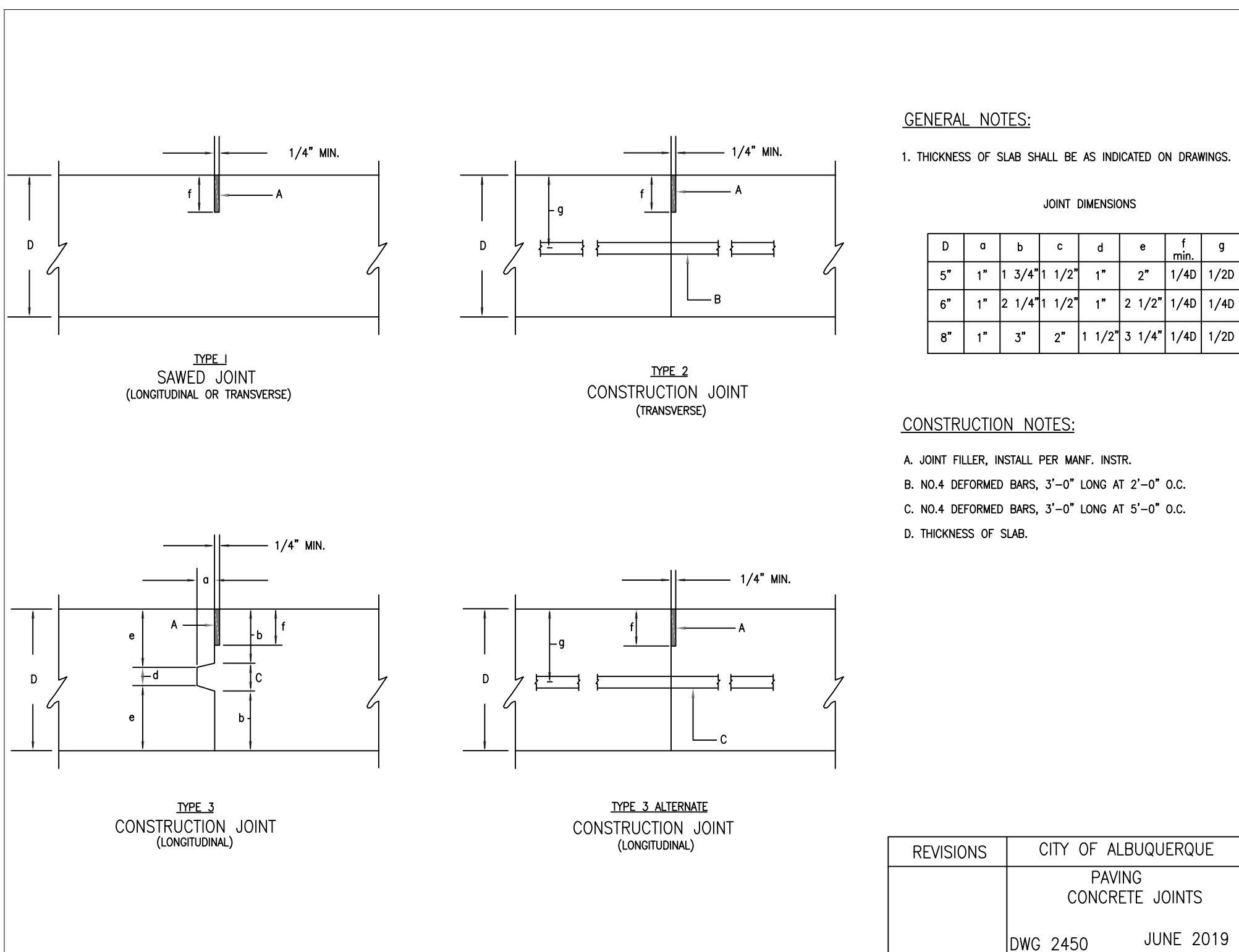
LIGHT-DUTY ASPHALT

- ASPHALT NOTES:**
- THE ASPHALT SURFACE COURSE SHOULD CONFORM TO THE MOST RECENT EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NDOT) STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, FOR HOT MIX ASPHALTIC CONCRETE SURFACE COURSE.
 - THE BASE COURSE SHOULD CONFORM TO THE NDOT STANDARDS FOR BASE COURSE COMPACTED TO 100 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
 - TACK COAT SHOULD BE PROVIDED ATOP EACH PAVEMENT SECTION.



3 MOTORCYCLE PARKING

NTS



2 PAVEMENT SECTION

NTS



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TRAFFIC CIRCULATION PLAN

DRAWN BY:

rtm

PANDA PROJECT #: S8-23-D220241

PANDA STORE #: D220241

ARCH PROJECT #: 21229

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PANDA EXPRESS

261 98TH STREET
ALBUQUERQUE, NM 87123

SITE
DETAILS II

TC 4.0

261 98TH STREET





PANDA HOME - SQUARE CUSTOM