# CITY OF ALBUQUERQUE

March 03, 2015

Mr. Jeff Wooten, PE
Wooten Engineering
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109

Re: **Applebee's, 98<sup>th</sup> St.**
**Traffic Circulation Layout**
Engineer's/Architect's Stamp dated 2-27-15 (K09-D038)

Dear Mr. Wooten,

Based upon the information provided in your submittal received 2/27/15, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The proposed development looks like it may meet the threshold for a Traffic Impact Study based upon the combined square footage of the Applebee's and proposed adjacent retail site. Provide a trip generation.

2. For next submittal, please provide site address and/or legal description.

3. On next submittal, please label drawing as "Traffic Circulation Layout" in lieu of "Site Plan".

4. Provide separate D.R.C. drawings for outer curbs on 98<sup>th</sup> St. R.O.W. On the Traffic Circulation layout, provide a dimension from the median curb to the proposed curb, and label lane widths for southbound traffic on 98<sup>th</sup> Street.

5. Subject site entrance off of 98<sup>th</sup> St. must have a 5 ft. keyway for vehicles backing up out of parking spaces shown at Keyed Note 10. In order to accomplish this requirement, the developer may reduce parking space width to 8.5 ft.

6. The ADA van accessible sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please show detail on drawing.

7. The ADA van accessible aisles are required to be a minimum 8.5 feet in width. Label these widths on the site plan.

8. The ADA access aisle shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide,
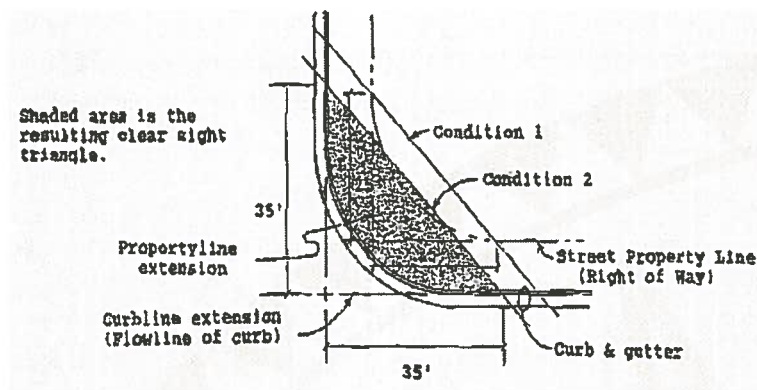
*Albuquerque - Making History 1706-2006*

placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)

9. Parking spaces must be a minimum of 18 ft. in length. Proposed drawing shows all spaces as 16 ft. in length. Per code, "Compact Parking" shall only consist of one-third of the total number of parking spaces, excluding number of handicap parking spaces. Either increase the parking space length to 18 feet while maintaining the 24-foot wide parking aisle, or call out a 2-foot overhang over the islands to satisfy the 18-foot requirement. For all parking spaces that are kept compact, list them as "Compact".

10. Label curb radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet, but 10 feet is shown for many of these islands. Also show the 2-foot radii as applicable. (See Figure 23.7.2 of the DPM.)

11. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the HC parking stall access aisles to the building entrances. Please show detail on drawing. Please show detail for call-out notes #5 and #25 for curb ramps, showing all details including the maximum 12:1 slope for the ramp, the maximum 2% cross-slope and all necessary dimensions. (In order to meet this requirement, a 6-foot wide landing area is required at the top of the ramps from the parking lots to the proposed retail building. Otherwise, the ramp may be changed to the same style of the ramps in front of the Applebee's as long as they are 6 feet wide.) For the Applebee's ramps, call out the ramps to be a minimum of 6 feet wide.

12. Per the DPM, a 6-foot wide ADA accessible pathway is required from the public right-of-way to the building entrances. For all call-outs for Note 12 for the pedestrian walkways only, label the dimension of the pedestrian walkway as 6 feet. Also, provide a minimum dimension of 6 feet behind the back of the ramp on the south side of the south entrance.

13. Label the existing curb ramp on the north side of the north entrance. Call out for truncated domes to be placed on this existing ramp.

14. Design delivery vehicle route needs to be shown.

15. For each of the two driveway entrances off of 98th Street, please provide a clear sight triangle. (see the Development Process Manual, Chapter 23, Section 3, Part D.5 Intersection Sight Distance).

# CITY OF ALBUQUERQUE



Shaded area is the resulting clear sight triangle.

35'

Propertyline extension

Curbline extension (Flowline of curb)

35'

Condition 1

Condition 2

Street Property Line (Right of Way)

Curb & gutter

16. Please add the following note to the clear sight triangle: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area." (The signage called out by Keyed Note number 18 may interfere with this requirement.)

17. Label the recording information for the existing 40-foot access easement and DRB Case Number.

18. Platting action and infrastructure list must be finalized prior to approving Traffic Circulation layout with regard to proposed curb and sidewalk.

19. Please include two copies of the traffic circulation layout at the next submittal.

PO Box 1293

Albuquerque

New Mexico 87103

Resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. If you have any questions, please contact me at (505) 924-3924.

www.cabq.gov

Sincerely,

Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

SCALE: 1"=30'
30' 15' 0 30'
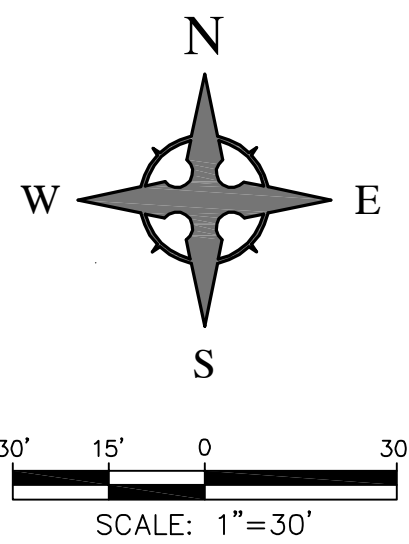
**CAUTION – NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

## PARKING CALCULATIONS

| BUILDING AREA: | # SEATS | AREA (SQUARE FEET) |
|---|---|---|
| APPLEBEE'S | 254 | 5,500 SF |
| RETAIL | N/A | 14,400 SF |
| RETAIL (ADJACENT TO APPLEBEE'S) | N/A | 2,000 SF |

| PARKING REQUIREMENTS: | RATIO | REQUIRED | PROVIDED |
|---|---|---|---|
| APPLEBEE'S | 1/4 SEATS | 64 spaces | 54 spaces |
| RETAIL | 1/200 SF | 72 spaces | 93 spaces |
| RETAIL (ADJACENT TO APPLEBEE'S) | 1/200 SF | 10 spaces | 10 spaces |
| TOTAL | | 146 spaces | 157 spaces |

| | REQUIRED | PROVIDED |
|---|---|---|
| HANDICAP PARKING | 8 spaces | 8 spaces |
| MOTORCYCLE PARKING | 5 spaces | 6 spaces |
| BICYCLE PARKING | 7 spaces | 14 spaces |

**VICINITY MAP - Zone Atlas K-9**

### DSA
**Darren Sowell**
ARCHITECTS
4700 Lincoln N.E., Suite 111
Albuquerque, N.M. 87109
Phone: (505) 342-6200
Fax: (505) 342-6201

Note: Contractor shall provide the necessary traffic control and pull necessary permits when doing any work in Central Ave. R/W.

VERIFY ACTUAL BLDG DIMENSIONS WITH ARCH PLANS PRIOR TO STAKING.

ALL SIGNAGE SHALL BE PLACED SUCH THAT THE ADA ACCESSIBLE ROUTES ARE NOT BLOCKED. 36" CLEAR REQ'D.

### KEYED NOTES

1. TRASH ENCLOSURE PER COA STANDARDS.

2. TRASH ENCLOSURE PER APPLEBEES DETAIL. REF ARCHITECTURAL DETAILS.

3. INSTALL MEDIAN CURB/GUTTER (6" HIGH) PER COA STD DWG 2415B.

4. INSTALL STANDARD 8" CURB/GUTTER PER COA STD DWG 2415A (BY SEPARATE CONTRACT).

5. INSTALL CURB RAMP WITH TRUNCATED DOMES PER COA STD DWGS 2440 AND 2441.

6. INSTALL CONCRETE SIDEWALK PER DETAIL ON DETAIL SHEET.

7. INSTALL TRUNCATED DOMES PER DETAIL SHEET; NO RAMP.

8. INSTALL CONCRETE SIDEWALK WITH TURNDOWN EDGE PER DETAIL ON DETAIL SHEET.

9. ASPHALT PAVEMENT, SEE PAVING DETAILS ON DETAIL SHEET.

10. INSTALL CUT-OFF WALL (FLUSH WITH ASPHALT PAVING) PER COA STD DWG 2415B.

11. PROPOSED SITE LIGHTING, SEE MEP PLANS.

12. INSTALL 4" WIDE PAINT STRIPES AT 45° ANGLE TO PARKING STRIPES, SPACED AT 1'-6" (WHITE PAINT IN PARKING LOT, BLUE PAINT IN ACCESSIBLE PARKING AREAS).

13. PAINTED WHEELCHAIR SYMBOL (BLUE) TO MEET ADA STANDARDS.

14. INSTALL H/C SIGNAGE PER DETAIL ON DETAIL SHEET. ADD VAN ACCESSIBLE SIGNAGE WHERE NOTED. SIGN BASE PER DETAIL SHEET C1.6.

15. INSTALL 4" WIDE PAINT STRIPES (WHITE) FOR ALL PARKING SPACES.

16. INSTALL 'STOP' SIGN (R1-1-36 PER MUTCD STDS). SIGN BASE PER DETAIL ON DETAIL SHEET.

17. REDI-ROCK RETAINING WALL WITH RAILING PER DETAIL ON DETAIL SHEET. BOLT RAILING TO WALL PER MANUF. SPECIFICATIONS. STEP RAILING AS NEEDED. REF. RETAINING WALL PLANS FOR WALL DETAILS.

18. MULTI-TENANT SITE SIGNAGE. TO BE PERMITTED AND INSTALLED BY SIGN CONTRACTOR. REF MEP PLANS FOR ELECTRICAL.

19. INSTALL PAINTED STOP BAR PER DETAIL ON DETAIL SHEET.

20. NOT USED.

21. NOT USED.

22. 6' WIDE ASPHALT BIKE LANE (BY SEPARATE CONTRACT).

23. 6' WIDE CONCRETE SIDEWALK ALONG 98th ST (BY SEPERATE CONTRACT).

24. 10' WIDE CONCRETE SIDEWALK / TRAIL TRANSITION (BY SEPERATE CONTRACT).

25. INSTALL CURB RAMP WITH TRUNCATED DOMES PER COA STD DWGS 2440 AND 2441 (BY SEPARATE CONTRACT).

26. INSTALL 12" CURB OPENING AT EVERY PARKING SPACE TO ALLOW DRAINAGE INTO PONDING AREA.

27. INSTALL 24" WIDE SIDEWALK CULVERT PER COA STD DWG 2236. LEAVE 6" OPENING FOR DOWNSPOUT.

28. INSTALL BIKE RACK PER DETAIL SHEET. SEVEN (7) SPACES PER RACK.

29. MOTORCYCLE PARKING. ADD PAINT LABEL PER CITY OF ALBUQUERQUE CODE.

### SITE INFORMATION

CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
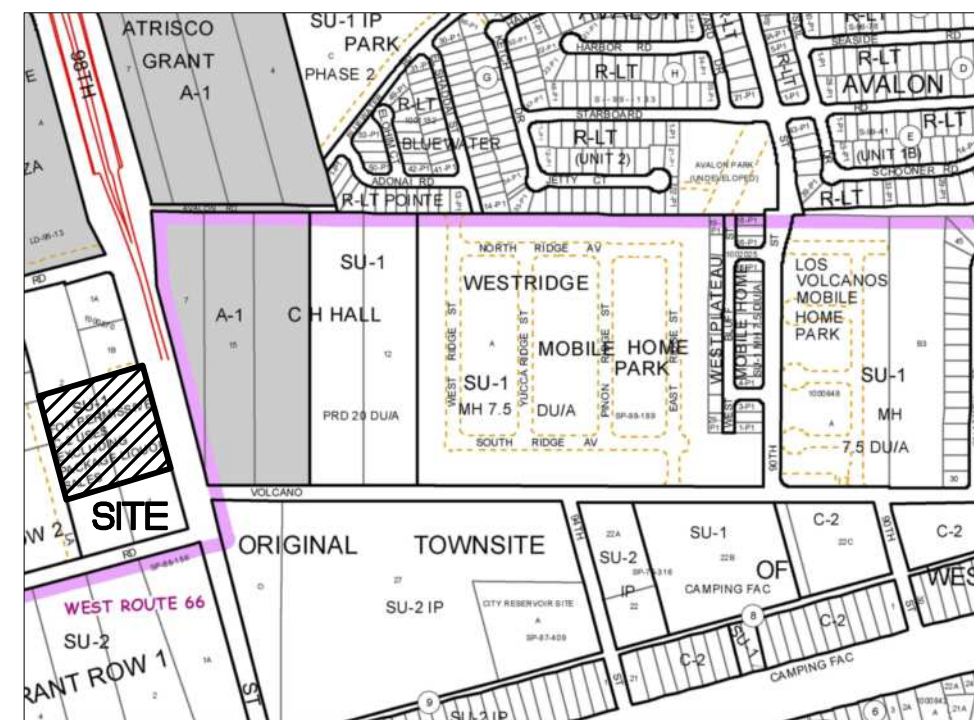
**CONTRACTOR TO PROVIDE PARKING LOT STRIPING, FIRELANE AND HANDICAP STRIPING PER THESE PLANS AND CITY OF ALBUQUERQUE REQUIREMENTS.**

TO PRESERVE THE PAINTING / STRIPING WITHIN PARKING AREAS, DO NOT APPLY PAINT UNTIL ALL OTHER POTENTIALLY DAMAGING CONSTRUCTION HAS BEEN COMPLETED.

**Wooten Engineering**
4700 Lincoln NE, Suite 111
Albuquerque, NM 87109
Ph: 505.980.3560

### Site plan labels

Jack-In-The-Box Tract 1-B-2, Unit A, Row 2 Town of Atrisco Grant (07/29/11, 11C-74)

Northerly Portion of Tract 2, Unit A, Row 2 Town of Atrisco Grant Warranty Deed (05/09/96, Bk. 96-13, Pg. 3290) Boundary Survey (Filed 97S-165)

98th Street NW R/W (Ex 106, Prop 111)

RETAIL +/-2,000 SF FFE=5232.50

Applebees +/-5,500 SF FFE=5232.50

PATIO

LOADING

PATIO

Proposed Retail +/-14,400 SF FFE = 5232.50

VERIFY ACTUAL BLDG DIMENSIONS WITH ARCH PLANS PRIOR TO STAKING.

Tract 2 +/-0.9726 Acres

Tract 1 +/-2.1695 Acres

Remainder Tract 3 +/-0.7887 Acres

Portions of Tracts of 1 and 2, West of Westland, Atrisco Grant Row 2, Unit A 174,500 sq. ft. 4.0060 ACRES

South Portion of Tracts 1 and 2, West of Westland, Atrisco Grant Row 2, Unit A Warranty Deed (01/23/06, Bk. A110, Pg.9444)

Ex 50' Pvt Access, Public Water & Drainage Esmt (No Access Granted to East)

Tract 3D, Atrisco Grant West of Westland Row #2 (10/01/98, 98C-291)

Tract 3E, Atrisco Grant West of Westland Row #2 (10/01/98, 98C-291)

Rebar w/cap LS#11463-used for E-W Line, Found 0.64' West of Property

Fiber Optic Box

LOADING

### Title block

**Applebees**
XXX 98TH STREET
ALBUQUERQUE, NEW MEXICO

**project title**

**project number**
1420

**drawing issuance**
PERMIT SET    02.27.2015

**drawing revisions**
No.    Description:    Date:

**professional seal**
JEFFREY TODD WOOTEN
16892
NEW MEXICO
PROFESSIONAL ENGINEER
2/27/2015
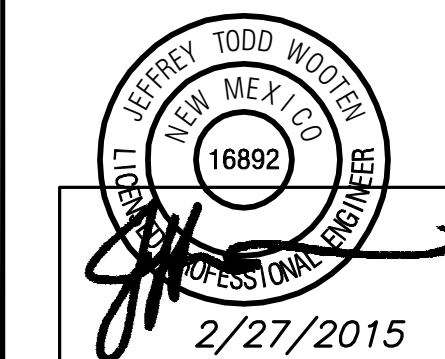
**drawing title**
Site Plan

**drawing number**
C1