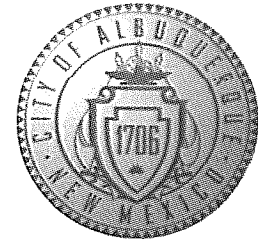


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 17, 2022

Andres Ramirez
rtm engineering consultant
24361 El Toro Road, suite 230
Laguna Woods, CA 92637

Re: Panda Express
98th St. NW
Traffic Circulation Layout
Architect's Stamp 05-09-22 (K09-D038)

Dear Mr. Ramirez,

Based upon the information provided in your submittal received 05-16-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Identify the right of way width, medians, curb cuts, and street widths on 98th St. NW.
2. Provide the width for the streets at north side and south side of the site.
3. Provide the number of Bicycle parking spaces required by the IDO.
4. What will separate your site from the street on the north side of your site? Please address this concern.
5. Keynote 27: provide ADA ramp details and reference COA std dwg.
6. Define ADA pedestrian pathway by labeling of ramp, flush pavement and dimensioning of pathway.
7. ADA curb ramps must be updated to current standards and have truncated domes installed.
8. Provide dimensions for the existing parking spaces.
9. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
10. Provide details for "NO PARKING" pavement marking. And provide details for all proposed pavements marking.
11. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
12. The minimum drive through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.
13. Please provide a sight distance exhibit
14. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.

PO Box 1293

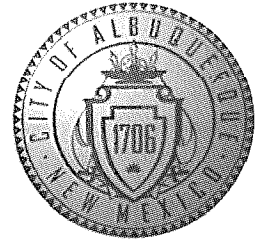
Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

15. Please specify the City Standard Drawing Number when applicable.
16. Shared Site access: driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
17. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
18. Provide a copy of Fire Marshal Approval.
19. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
20. Please provide a letter of response for all comments given.
21. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

PO Box 1293

Albuquerque

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

NM 87103

For log in and evaluation by Transportation.

www.cabq.gov If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

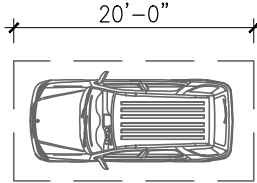
FEE PAID: _____

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|----|--|----|---|----|--|----|---|----|---|----|--|---|---|----|-----------------------|
| 32 | SEALED CONC SIDEWALK (AQUA MIX SEALER'S CHOICE GOLD). CONCRETE TO BE LIGHT BROOM TEXTURE FINISH. PROVIDE UNDER SLAB TREATMENT PER SOIL REPORT. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. | 27 | ACCESSIBLE RAMP | 22 | CONC. DRIVEWAY | 19 | ROOF DRAIN AND OVERFLOW DRAIN FROM ROOF TO EXIT TO DAYLIGHT THRU FACE OF WALL. COLD CLIMATES WILL REQUIRE CONNECTION TO STORM SEWER. ARCHITECT TO VERIFY WITH LOCAL JURISDICTION. | 14 | ACCESSIBLE PARKING POLE SIGN | 10 | DRIVE THRU LANE SENSOR LOOP. INSTALL/POSITION SO LOOP IS CENTERED ON ACTIVE PANEL OF DRIVE THROUGH WINDOW. SEE DETAIL. | 5 | PAVING - SEE CIVIL PLAN | 1 | LIMIT OF CONSTRUCTION |
| 33 | CLEARANCE BAR/BASE INSTALLED BY SIGN VENDOR. | 28 | DIRECTIONAL SIGN - NO POWER, GC TO COORDINATE WITH SIGN COMPANY | 23 | EDGE OF SIDEWALK AT PLANTER | 23 | EDGE OF SIDEWALK AT PLANTER | 15 | INTERNATIONAL ACCESSIBILITY SYMBOL @ PARKING SPACE | 11 | DRIVE THROUGH MENU BOARD INSTALLED BY SIGN COMPANY. VERIFY WITH PANDA PM (SEE GENERAL NOTE ABOVE) | 6 | IRRIGATED LANDSCAPING, REFER TO LANDSCAPE DRAWINGS | 2 | PROPERTY LINE |
| 34 | EXISTING TRANSFORMER PAD. RE: CIVIL AND ELEC. DRAWINGS | 29 | ORDER CONFIRMATION BOARD | 24 | CONCRETE CURB AT LANDSCAPE AREA. | 24 | CONCRETE CURB AT LANDSCAPE AREA. | 16 | ACCESSIBLE PARKING SPACE AND LOADING ZONE PAINT LOADING ZONE W/ 4" WIDE STRIPES @3'-0" O.C. | 12 | DIRECTIONAL ARROW | 7 | HEAVY DUTY CONCRETE APRON FOR DUMPSTER ENCLOSURE. REFERENCE CIVIL DRAWINGS FOR SPECIFICATIONS | 3 | NEW SITE LIGHT POLE |
| | | 30 | RUBBER WHEEL STOP. REF: CIVIL DRAWINGS | 25 | EXPANSION JOINT @ 20'-0" O.C. MAX. | 25 | EXPANSION JOINT @ 20'-0" O.C. MAX. | 17 | PAINT 4" WIDE SOLID PARKING STRIPING W/ TWO (2) COATS HIGHWAY WHITE PAINT | 13 | ACCESSIBLE PATH OF TRAVEL | 8 | TRASH ENCLOSURE, CONFIRM BIN SIZE WITH LOCAL WASTE MANAGEMENT COMPANY. | 3A | EXISTING LIGHT POLE |
| | | 31 | MOTORCYCLE PARKING SPACES | 26 | TOOLED JOINTS @ 5'-0"x5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C. | 26 | TOOLED JOINTS @ 5'-0"x5'-0" O.C. EXPANSION JOINT @ 20'-0" O.C. | 18 | DESIGNATED HANDICAP PARKING SPACE | | | 9 | GC TO COORDINATE LOCATION OF SIGN WITH SIGN CO. | 4 | NEW SWITCHGEAR |

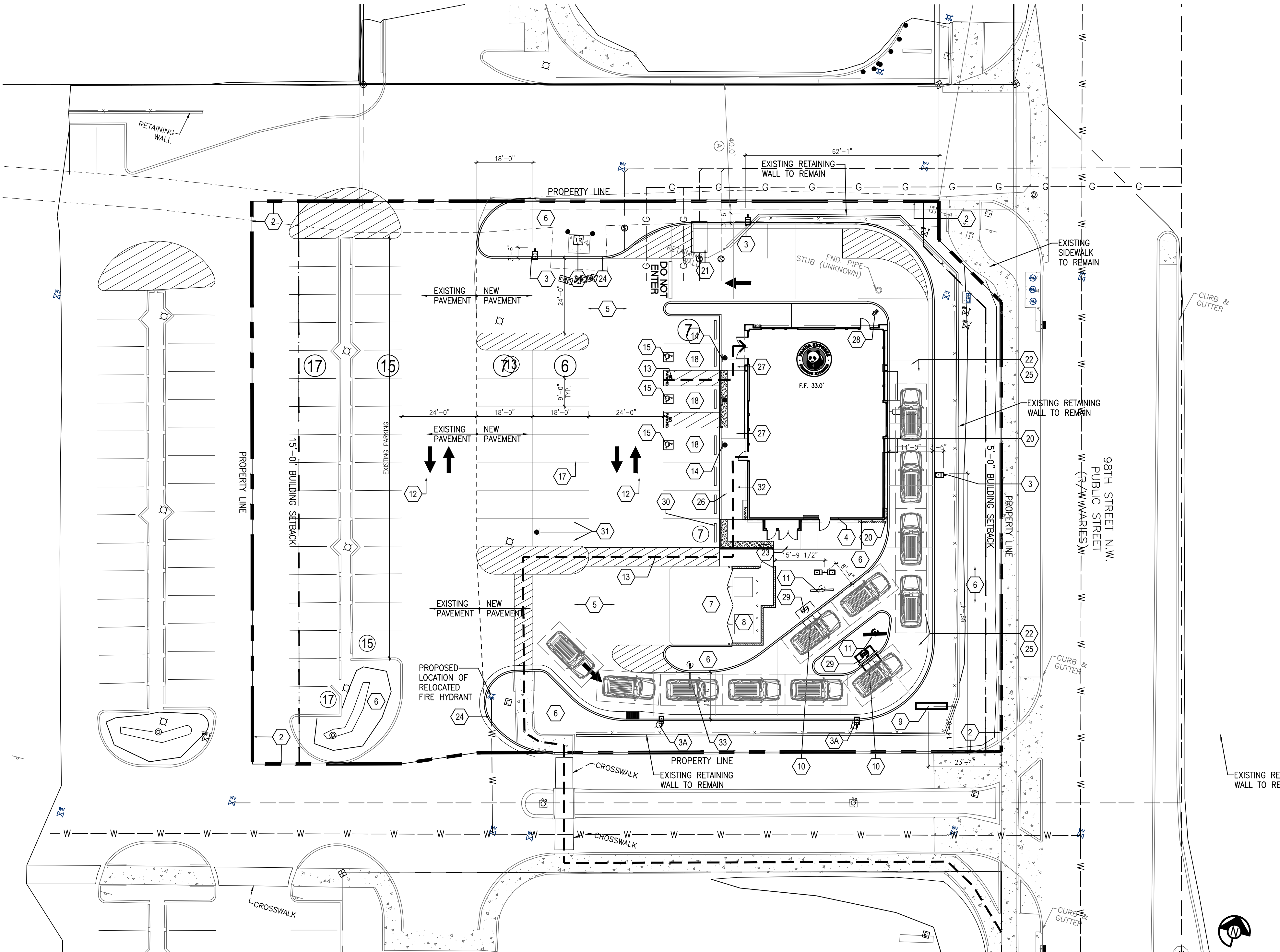
KEY NOTES

Scale= NTS

LEGEND
PROPERTY LINE
BUILDING SETBACK



LEGEND

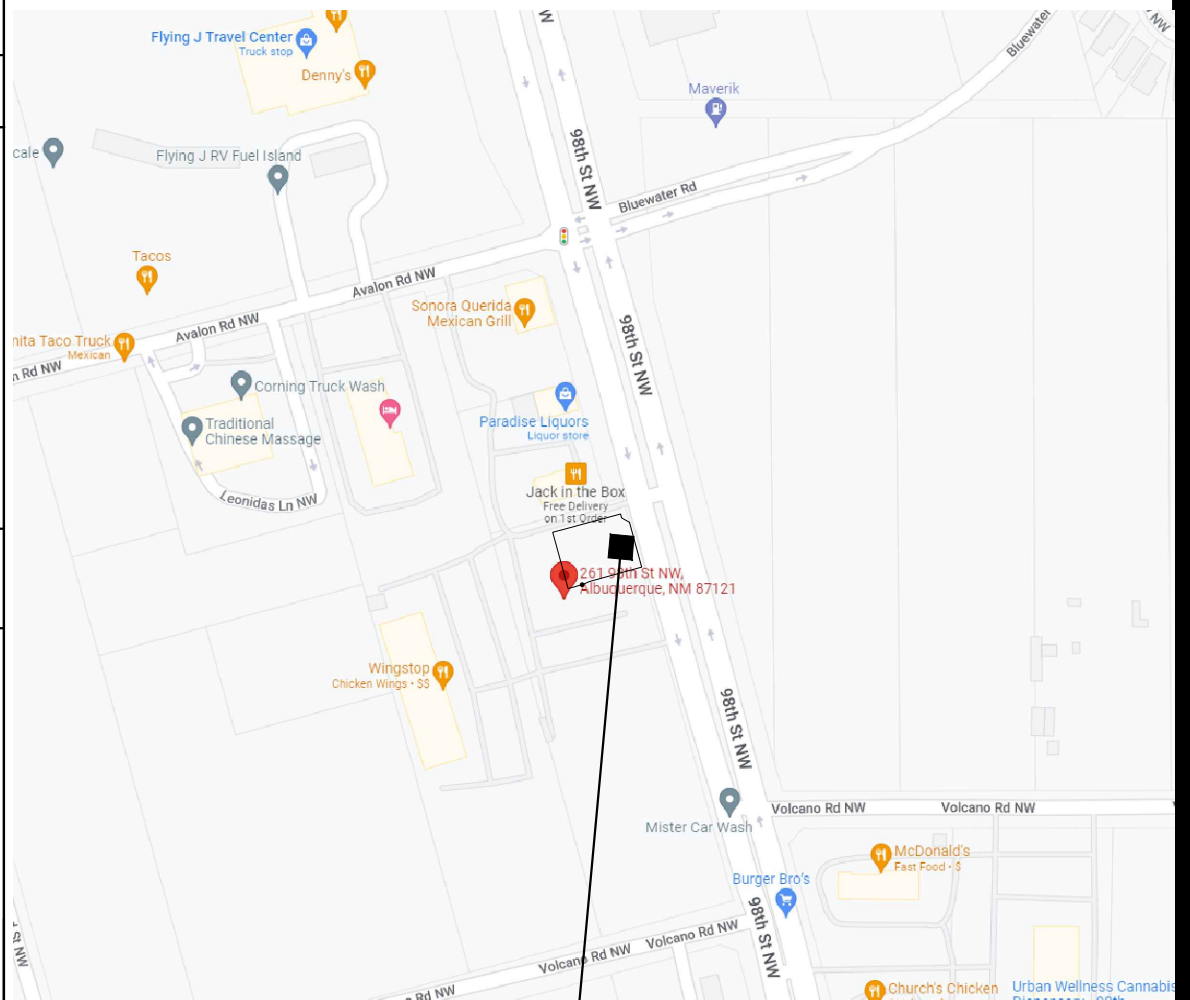


SITE PLAN

1

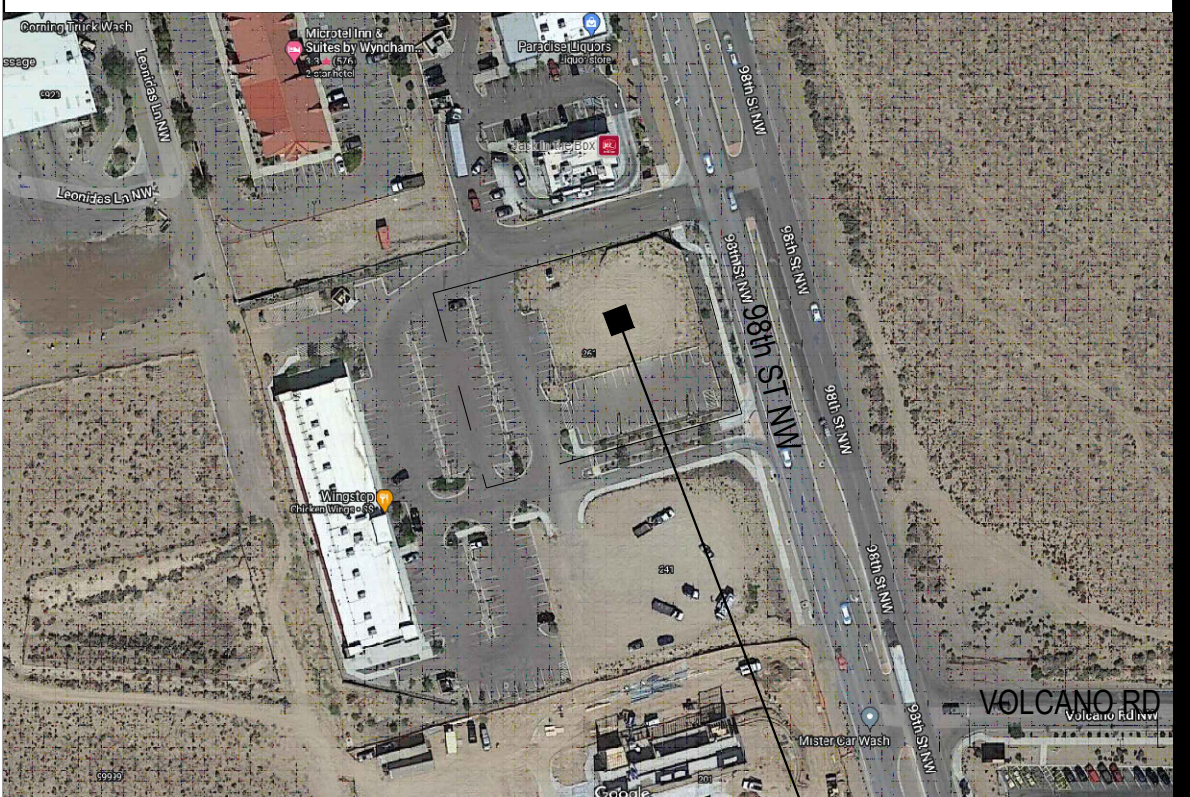
Scale= 1" = 20'-0"

| | |
|--|---|
| PANDA EXPRESS RESTAURANT - SITE INFORMATION: | |
| SITE AREA: | 42,368 SF / 0.973 ACRES |
| BUILDING AREA: | 2,600 SF |
| OCCUPANCY: | GROUP 2A (ASSEMBLY) |
| PARKING CALCULATION: | |
| PER IDO TABLE 5-5-1: MINIMUM OFF-STREET PARKING REQUIREMENTS | |
| RESTAURANT 8 SPACES / 1,000 SQ.FT. GFA REQUIRED | 2.6 x 8 = 20.8 SPACES REQUIRED |
| PROPOSED PROVIDED: | 49 REGULAR + 3 ACCESSIBLE 52 PARKS PROVIDED |
| MOTORCYCLE PROVIDED: | 2 STALLS |



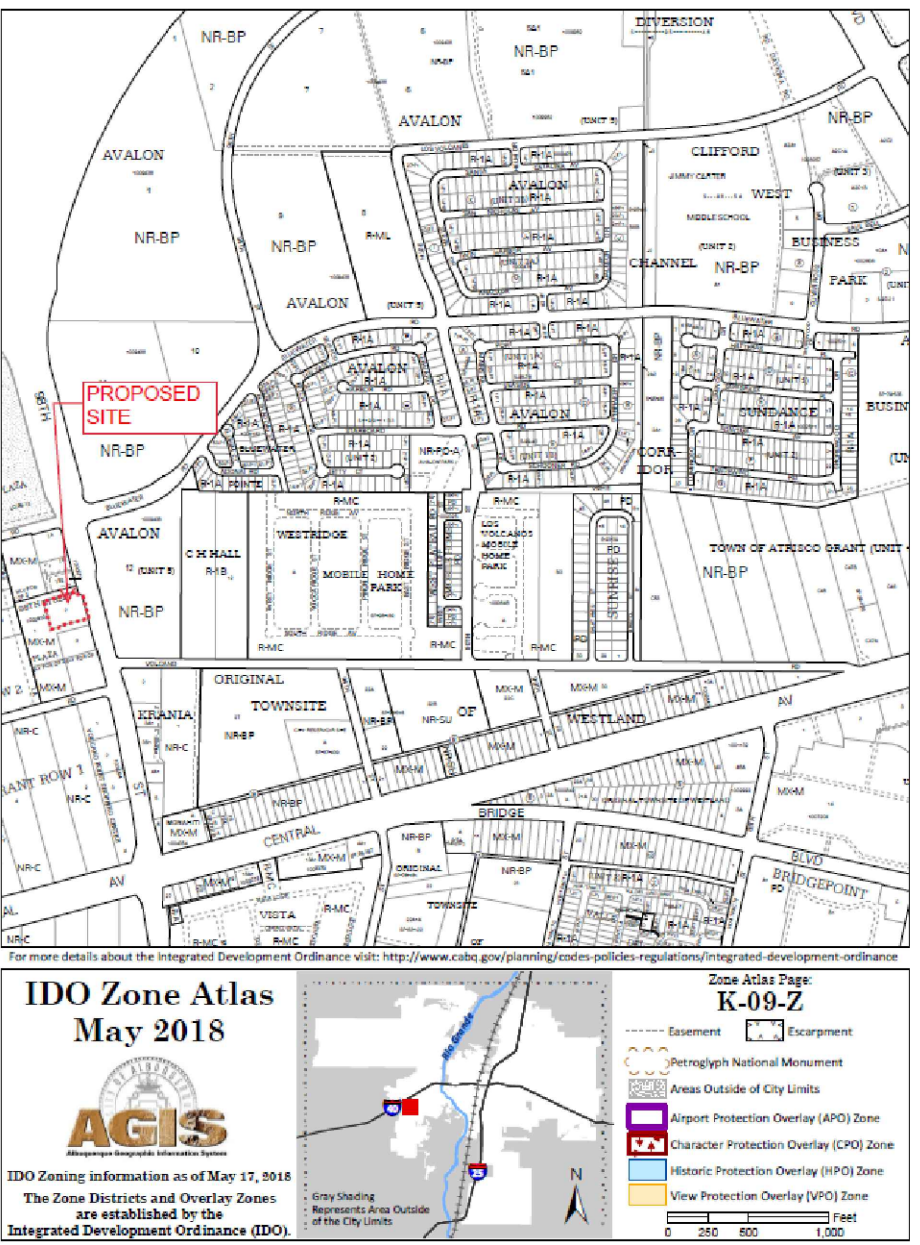
VICINITY MAP

Scale= NTS



KEY PLAN

Scale= NTS



IDO ZONE ATLAS MAP

-

Scale= NTS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

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ISSUE DATE:

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| TRAFFIC SUBMITTAL | 05.09.22 |
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DRAWN BY: RMLL

PANDA PROJECT #: S8-23-D220241
PANDA STORE #: D220241
ARCH PROJECT #: 21229



Heights Venture
ARCHITECTURE + DESIGN

HOUSTON 1111 North Loop West, Suite 800
Houston, Texas 77008
713.869.1103 V

DALLAS 5741 Legacy Drive, Suite 320
Plano, Texas 75024
972.490.7292 V

PANDA EXPRESS

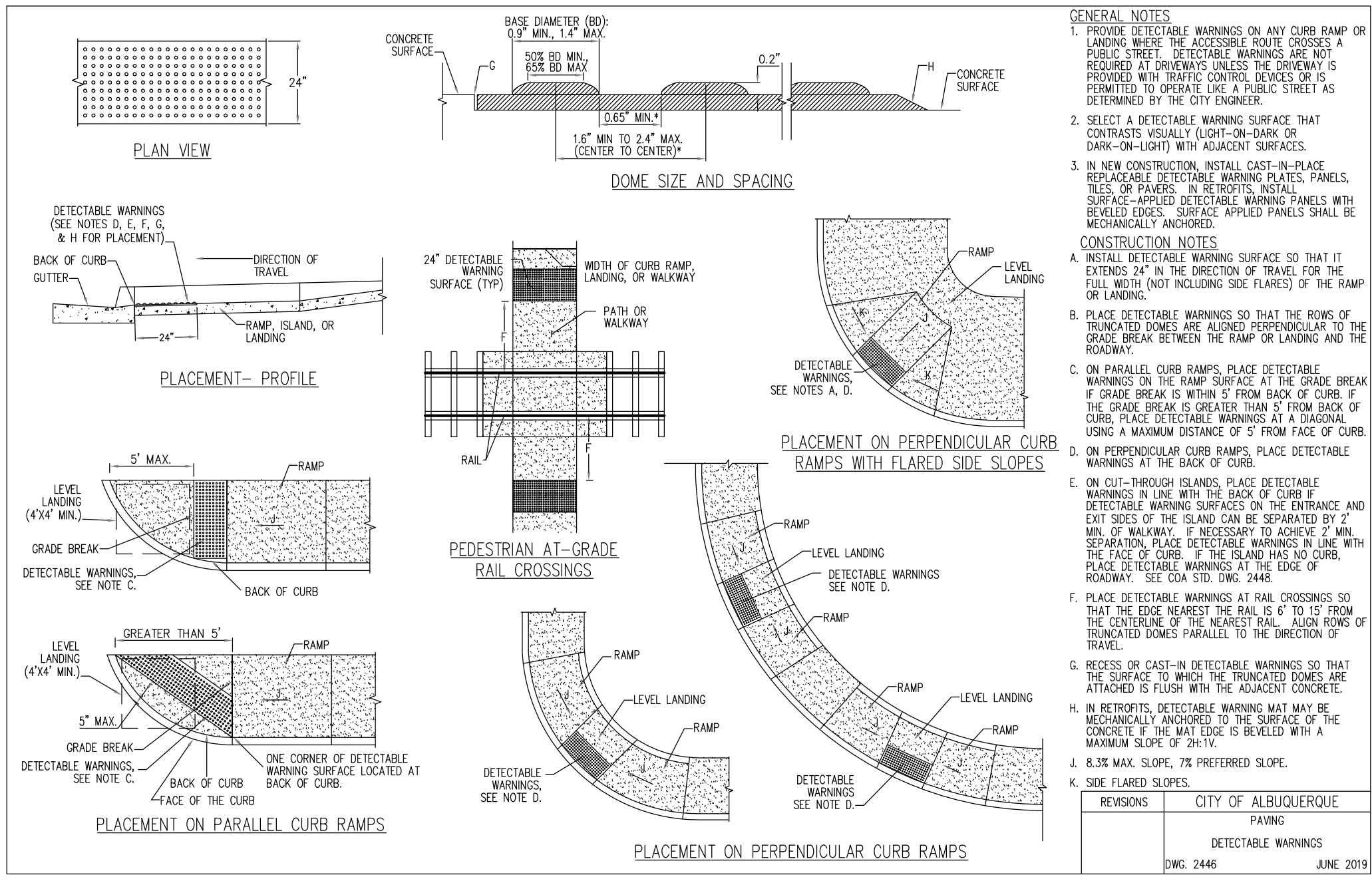
PANDA HOME - CUSTOM
261 98TH ST. NW
ALBUQUERQUE, NM 87121

TC 1.0

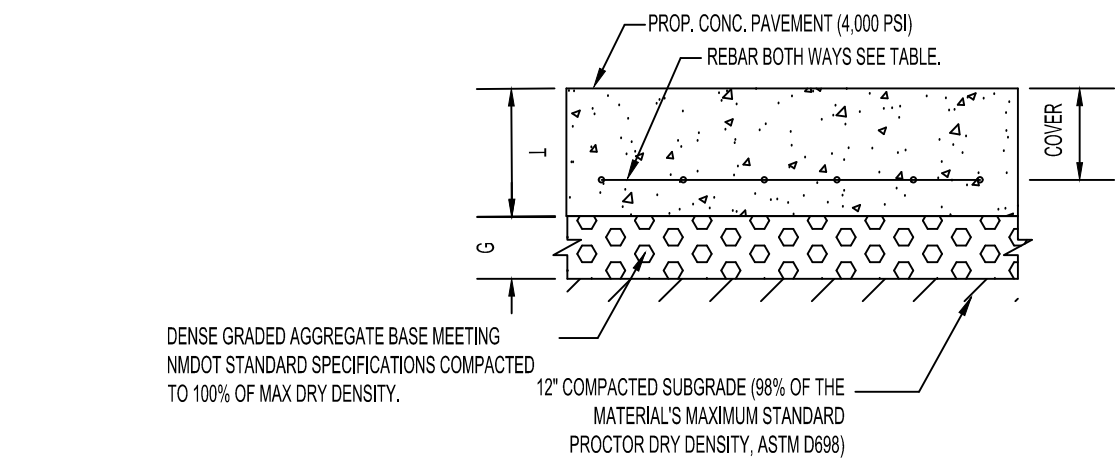
TRAFFIC CIRCULATION PLAN

PANDA HOME - SQUARE CUSTOM

DRB SUBMITTAL

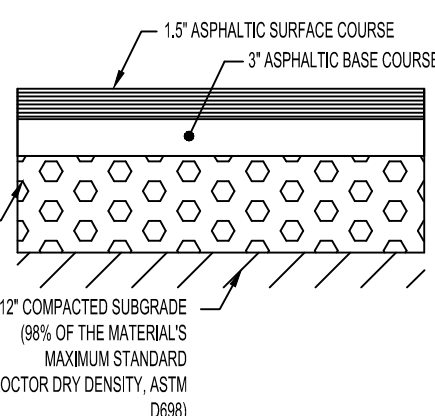


1 CURB RAMPS AND PAVING DETECTABLE WARNING

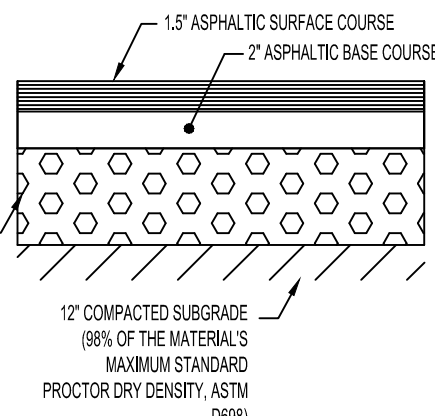


| THICKNESS / REINFORCEMENT TABLE | | | | | |
|------------------------------------|--------------------------------|------------------------------------|--------------------------------|---------------------------------------|--|
| CONCRETE SECTION DESIGNATION | (T) SLAB THICKNESS (IN.) | (COVER) COVER (IN.) (2" MIN) | (G) BASE THICKNESS (IN.) | MAX. EXPANSION JOINT SPACING (FT.) | 60,000 PSI STEEL REINFORCING STEEL BAR SIZE & SPACING* |
| | | | | | |
| SIDEWALK | 5" | 2 | 4" | 15 | #3 @ 24" C-C |
| DRIVE THRU | 5.5" | 2 | 4" | 15 | #3 @ 24" C-C |
| DUMPSTER | 5.5" | 2 | 4" | 15 | #3 @ 24" C-C |

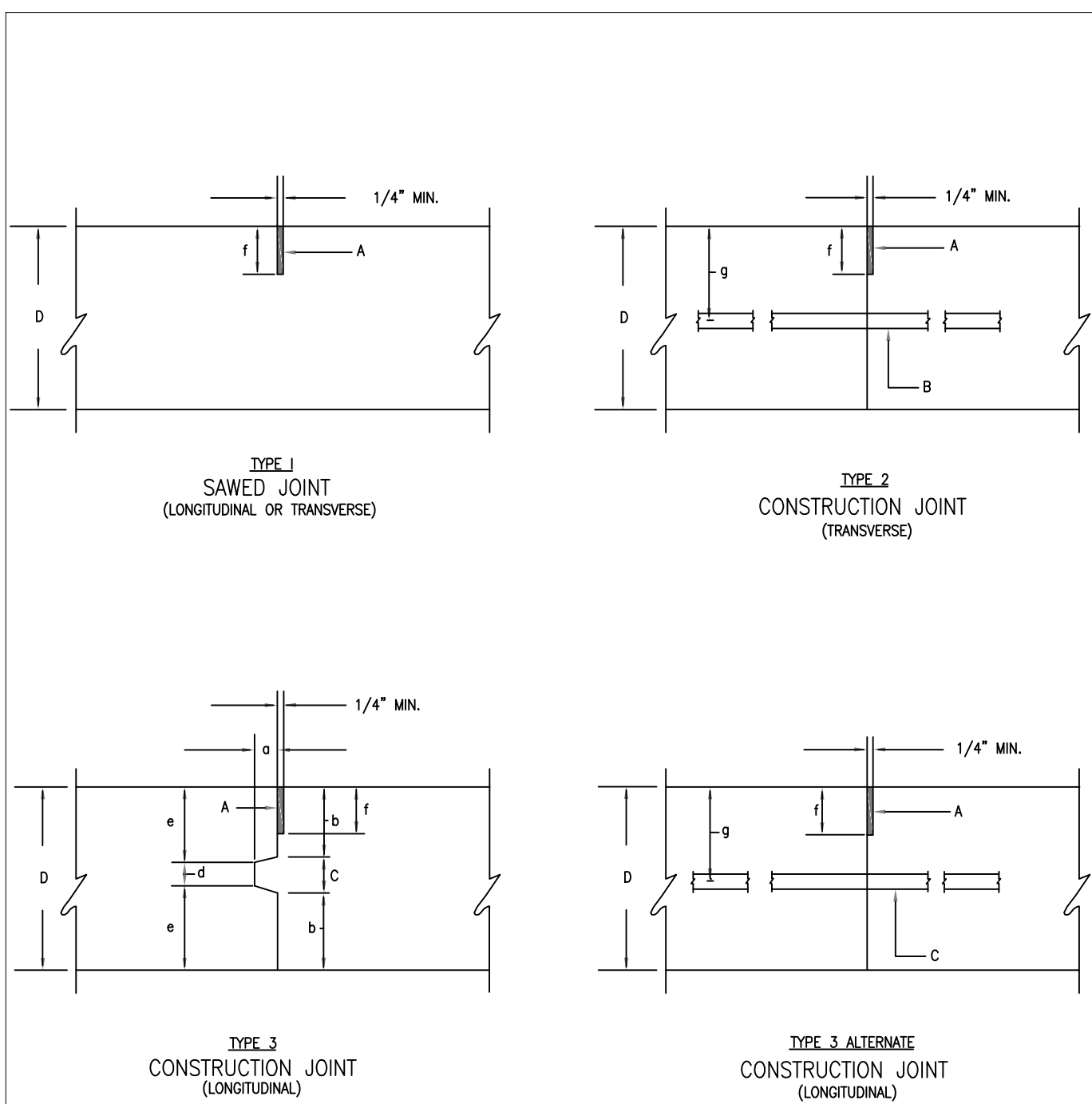
HEAVY-DUTY ASPHALT



LIGHT-DUTY ASPHALT

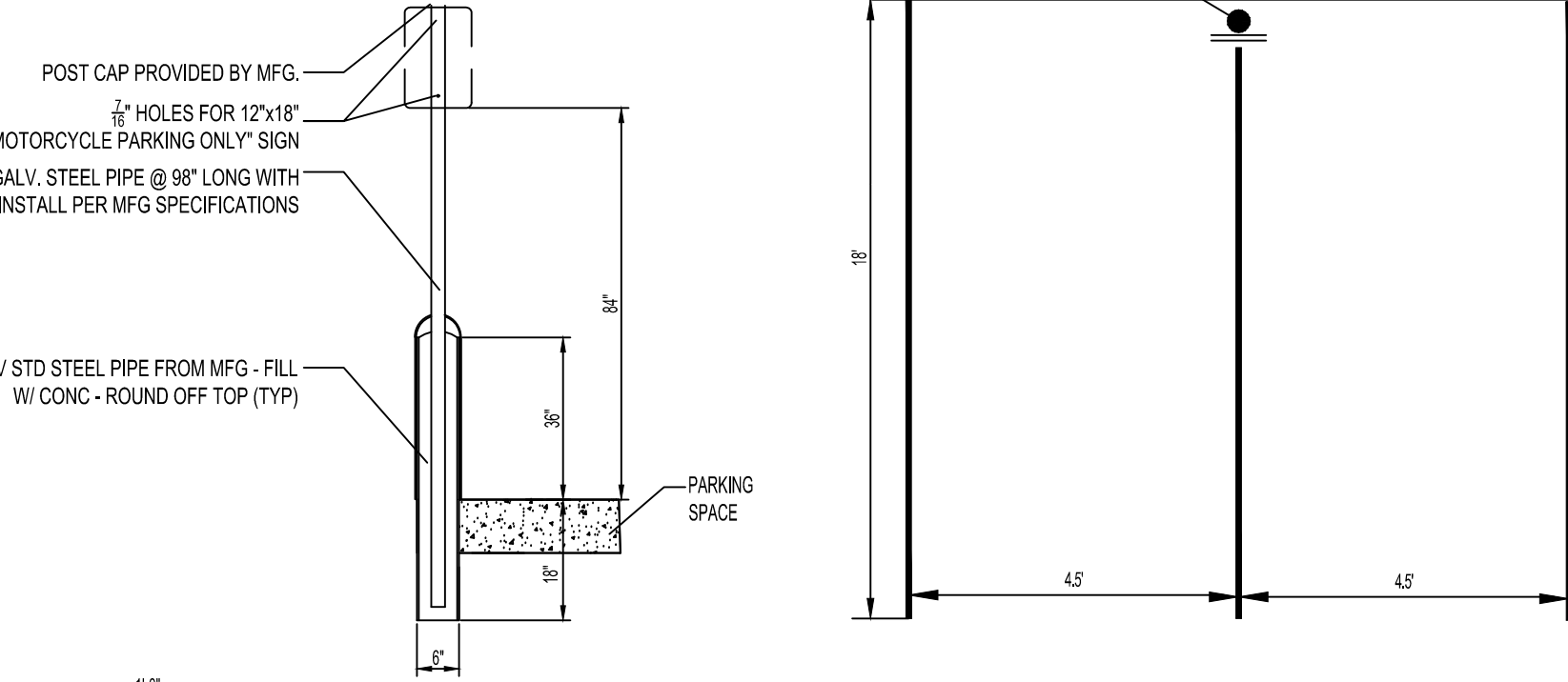
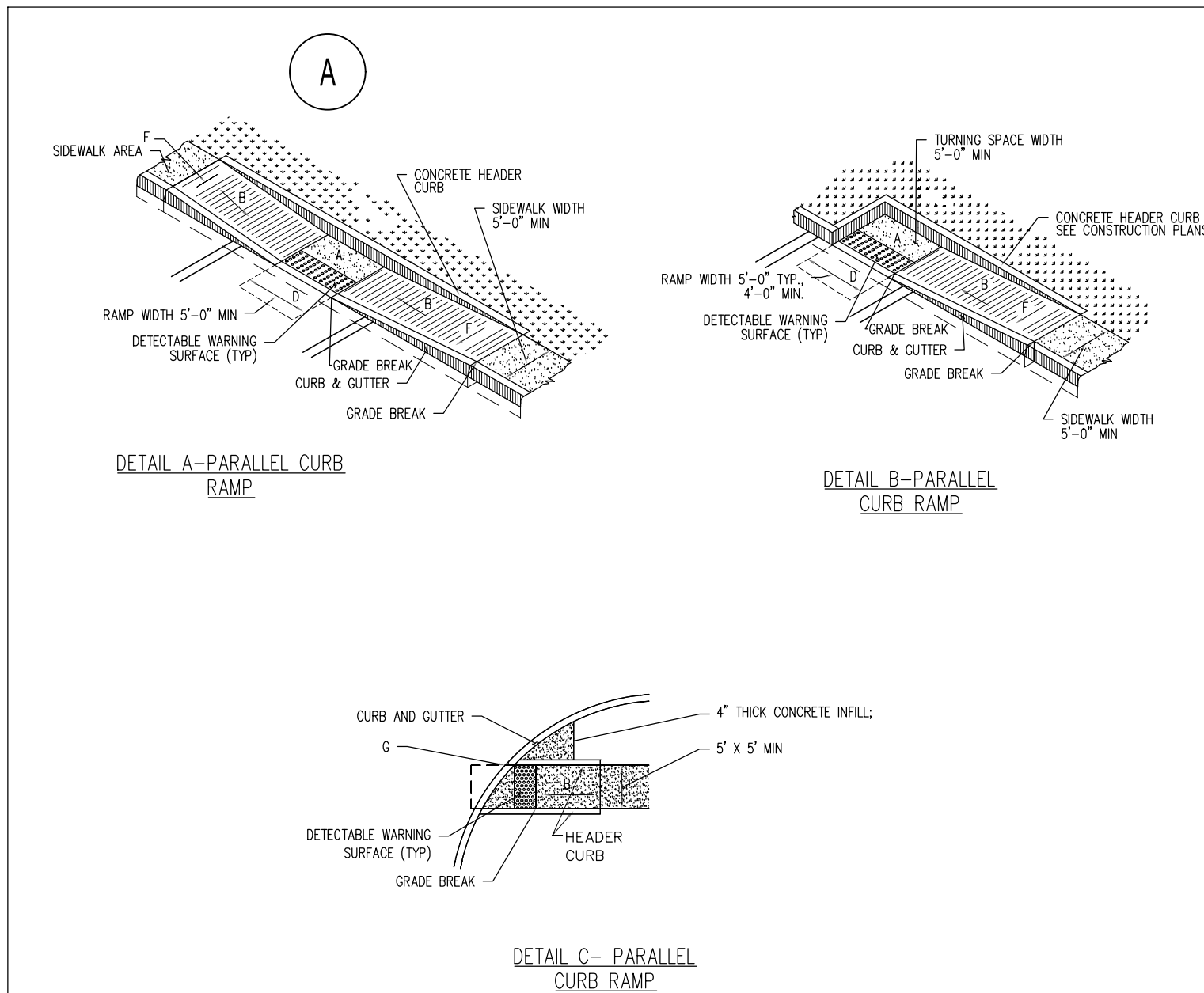


- ASPHALT NOTES:
- THE ASPHALT SURFACE COURSE SHOULD CONFORM TO THE MOST RECENT EDITION OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION (NMDOT) STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, FOR HOT MIX ASPHALTIC CONCRETE SURFACE COURSE.
 - THE BASE COURSE SHOULD CONFORM TO THE NMDOT STANDARDS FOR BASE COURSE COMPACTED TO 100 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
 - TACK COAT SHOULD BE PROVIDED ATOP EACH PAVEMENT SECTION.



| REVISIONS | CITY OF ALBUQUERQUE |
|-----------|---------------------|
| | PAVING |
| | CONCRETE JOINTS |
| DWG 2450 | JUNE 2019 |

2 PAVEMENT SECTION



- NOTES:
- REFERENCE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM) SECTION 7-4(K)(3) FOR ALL MOTORCYCLE PARKING SPECIFICATIONS
 - SIGNS TO MEET MUTCD STANDARDS AND SPECIFICATIONS

3 MOTORCYCLE PARKING



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

ISSUE DATE:

DRB SUBMITTAL 05-20-2022

DRAWN BY:

rtm

PANDA PROJECT #: S8-23-D220241

PANDA STORE #: D220241

ARCH PROJECT #: 21229



650 E. Algonquin Road
Suite 250
Schaumburg, IL 60193
Telephone: (847) 756-4380
www.rtmec.com
OH Certificate of Authority: 05046

Heights Venture
ARCHITECTURE + DESIGN

HOUSTON 11111 North Loop West, Suite 800 77008 713 869 1103 V
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

PANDA EXPRESS

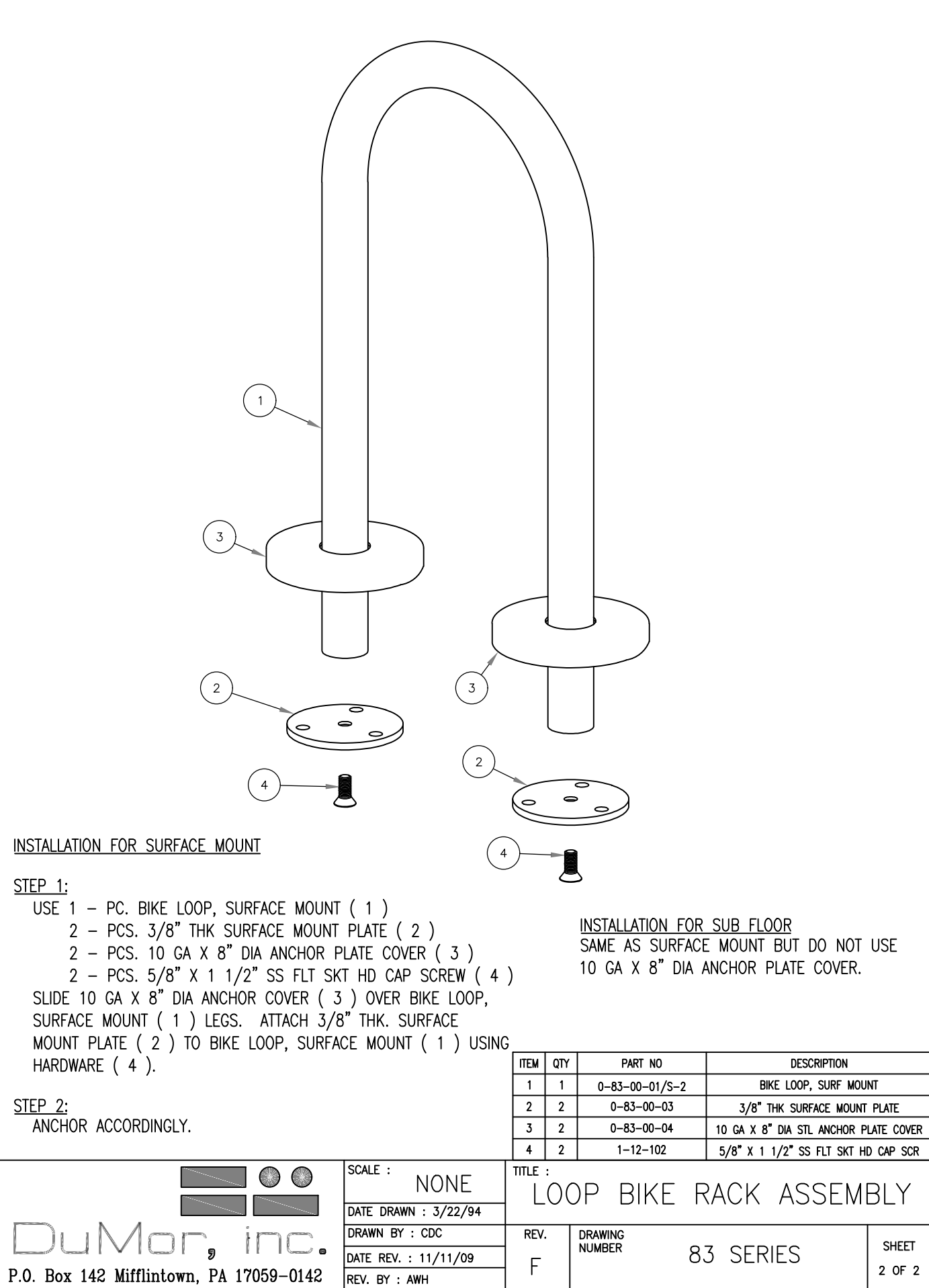
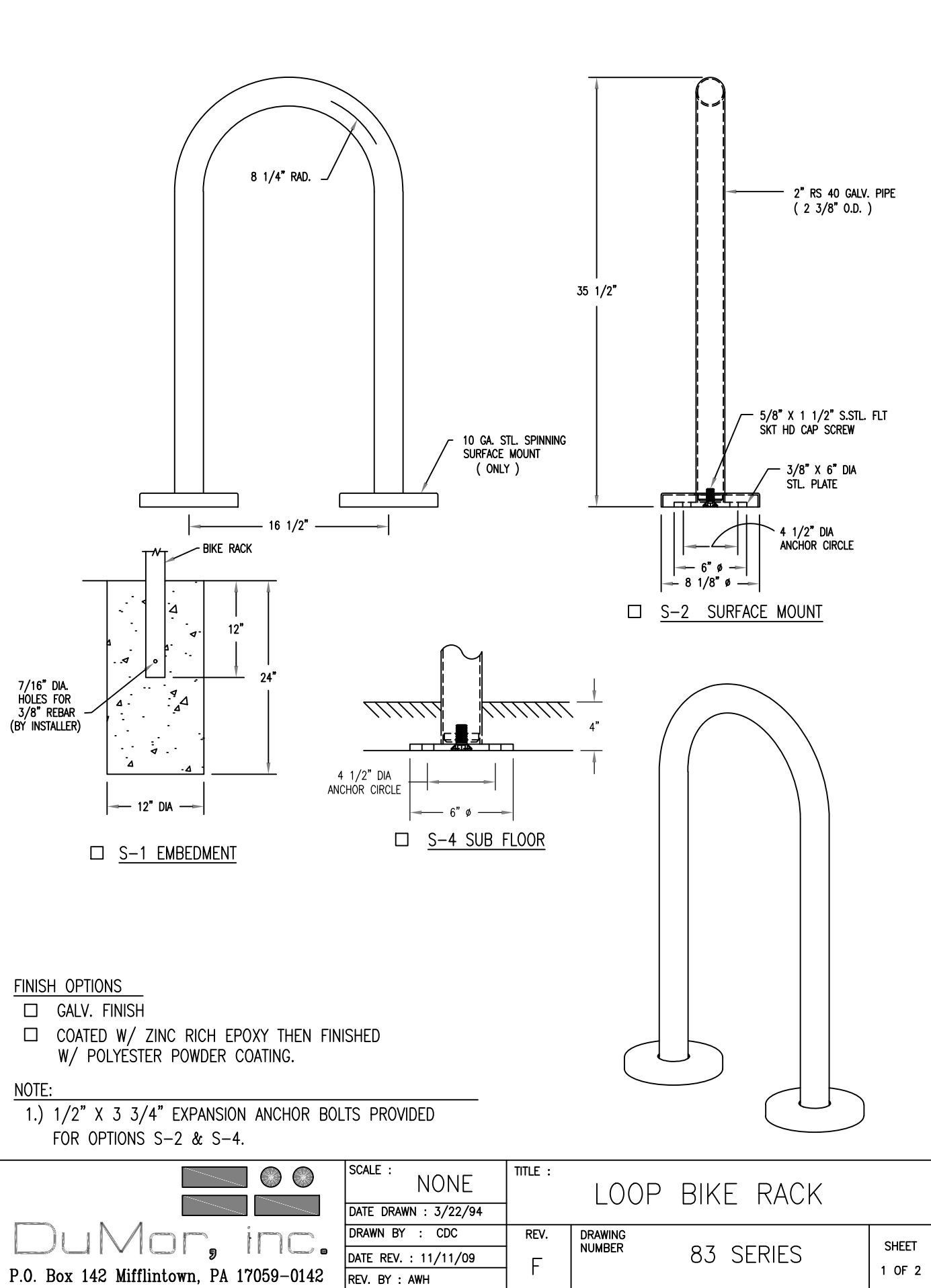
261 98TH STREET
ALBUQUERQUE, NM 87123

SITE
DETAILS II

TC 4.0

261 98TH STREET

DRB SUBMITTAL SET



1 BIKE RACK NTS



PANDA EXPRESS, INC.
1683 Walnut Grove Ave.
Rosemead, California 91770
Telephone: 626.799.9898
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| REVISIONS: | | |
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| ISSUE DATE: | | |
| | DRB SUBMITTAL | 05-20-2022 |
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DRAWN BY: rtm

PANDA PROJECT #: S8-23-D220241
PANDA STORE #: D220241
ARCH PROJECT #: 21229



Heights Venture
ARCHITECTURE DESIGN

HOUSTON 11111 North Loop West, Suite 800 Houston, Texas 77008 713 869 1103 V
DALLAS 5717 Legacy Drive, Suite 240 Plano, Texas 75024 972 490 7292 V

PANDA EXPRESS

261 98TH STREET
ALBUQUERQUE, NM 87123

SITE
DETAILS III
TC 5.0

261 98TH STREET

DRB SUBMITTAL SET