

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

February 21, 2023

Shawn Biazar
SBS Construction and Engineering, LLC
10209 Snowflake Ct. NW
Albuquerque, NM 87114

RE: L & C Transport
Permanent C.O. - Accepted
Engineer's Certification Date: 12/22/22
Engineer's Stamp Date: 04/15/21
Hydrology File: K09D043

Dear Mr. Biazar:

PO Box 1293

Based on the Certification received 12/29/2022, site visit on 01/06/2023, and work order close out approval on 02/21/2023, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

NM 87103

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: L&C Transport Office and Shop **Building Permit #:** _____ **Hydrology File #:** K09D043
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 22-A, Block 8, Original Townsite of Westland
City Address: 108 94TH STREET, NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 7632 William Moyers Avenue, NE, ALBUQUERQUE, NM 87114
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12-21-2022 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

SBS CONSTRUCTION AND ENGINEERING, LLC

December 22, 2022

Mr. Tiequan Chen, P.E.
Principal Engineer, Hydrology
Development Review Services
City of Albuquerque Planning Department
PO Box 1293, 600 Second Street, NW
Albuquerque, NM 87103

RE: L & C Transport Office and Shop, 108 94th Street, NW, Hydrology File: K09D043
Grading and Drainage Certification for Occupancy

Dear Mr. Chen;

Attached please find a copy of the as-built grading plan certification for above referenced project. This project was connected to work order which consist if construction of half of 94th Street and volcano Road, NW. After completion of the construction, the owner of property, did not like the entrance grade from 94th Street and added another entrance on Volcano Road, NW.

This went through an administrative amendment. However, this entrance (on Volcano Road) does not show on the original approved grading plan. A sheet was added to the work order and the entrance was constructed. We have attached a copy of the entrance on the second sheet submitted and a copy of the sheet that was added to work order. We have submitted the closeout package to DRC for final acceptance of the infrastructure. We are requesting grading certification for final occupancy.

If you require additional information regarding this project, please do not hesitate to contact me at (505) 804-5013.

Sincerely,



Shawn Biazar, Managing Member

CITY OF ALBUQUERQUE



February 16, 2023

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Trinidad Lorena Jaquez, Owner
Trinidad Lorena Jaquez
927 Sunwest Dr SW
Albuquerque, NM 87121

RE: **L&C Transport**
City Project Number: **593085**

Dear Trinidad Lorena Jaquez:



This is to certify that the City of Albuquerque accepts the construction of the infrastructure provided in the Work Order Construction Plans, City Project No. **593085**. The work was completed pursuant to the required infrastructure listed in the Infrastructure Improvements Agreement (IIA) Procedure B, between **Trinidad Lorena Jaquez**, and the City of Albuquerque executed on **October 19, 2020**.

Please note that the title "Subdivision Improvements Agreement" and the word "Subdivider" which may have been used in the original agreements are respectively replaced with the title "Infrastructure Improvements Agreement" and the word "Developer". These changes have no substantive effect on this Certificate of Completion and Acceptance.

Having satisfied the requirements referenced above, the IIA and any associated Financial Guaranty, held by the City, can now be released. Any performance/ warranty bond and the indemnity and hold harmless provisions of the IIA in favor of the City shall remain in effect. The contractor's warranty period will begin **February 16, 2023** and is effective for a period of one (1) year.

Should you have any questions or issues regarding this project, please contact me at (505) 924-3997.

Sincerely,

DocuSigned by:

C7E1CB5481E9486... 

Shahab Biazar, P.E., City Engineer
Development Review Services
Planning Department
City of Albuquerque

cc **Trinidad Lorena Jaquez**, e-mail)

Vincent Paul, DMD Maps & Records (e-mail)

Doug Rizor, DMD Street Maintenance (e-mail)

Stephen Woodall, DMD Street Maintenance (e-mail)

Tim Brown, DMD Traffic Operations (e-mail)

David G. Gutierrez, ABCWUA Utility Development (e-mail)

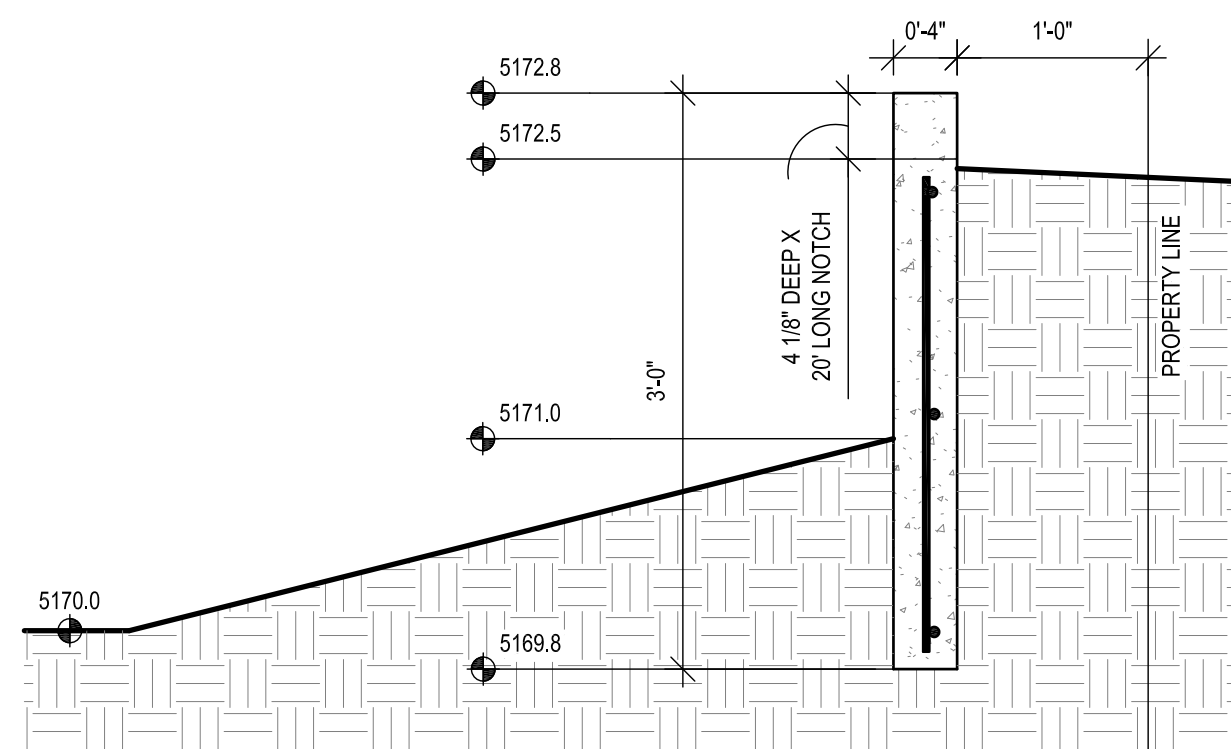
David Jaramillo, Maps & Records (e-mail)

Robert Nunez, DMD IT (e-mail)

Monica T. Gonzales ABCWUA GIS Coordinator (e-mail)

Maps@abcwua.org

City Project Number: **593085**



DETENTION POND CONCRETE CUT-OFF WALL

1" = 1'-0"

DRAINAGE CERTIFICATION

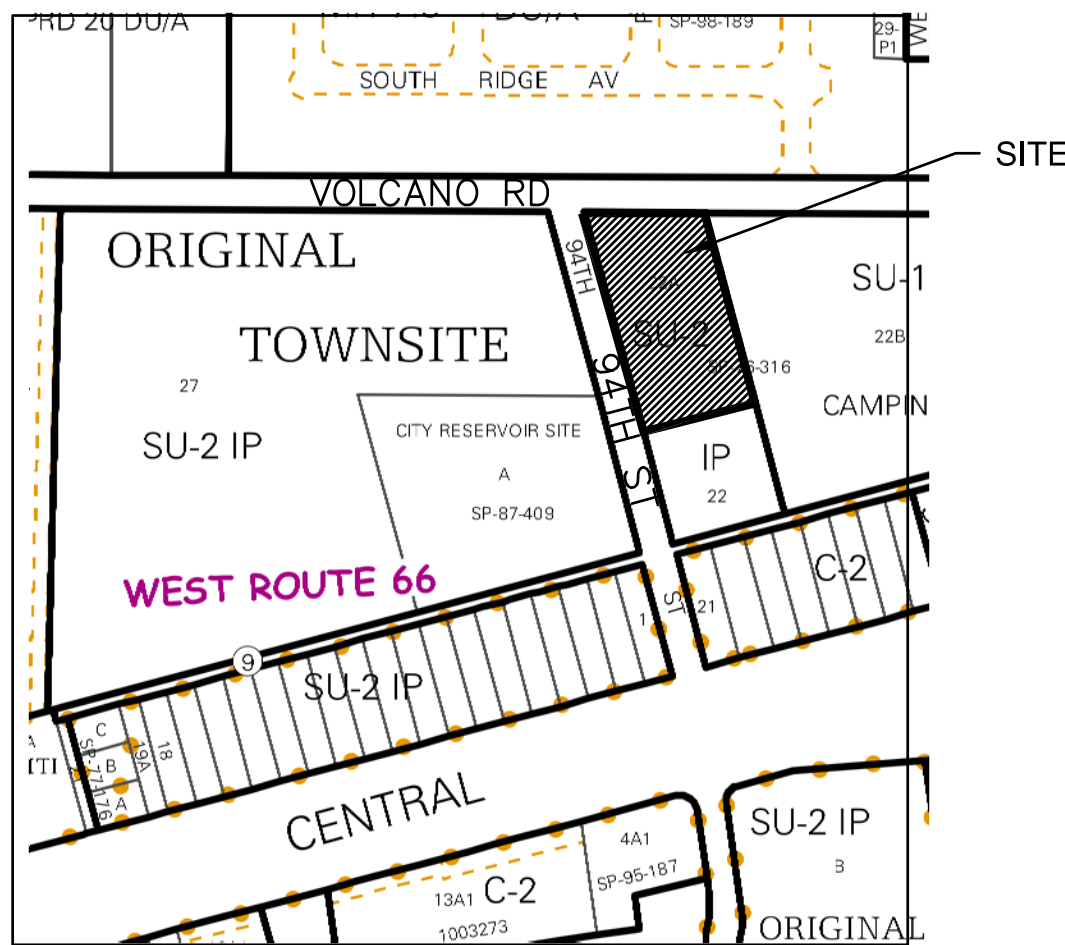
I, **REZA AFAGHPOUR**, NMPE 11814, OF **SBS CONSTRUCTION AND ENGINEERING, LLC**, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED **08-15-2018**. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY **NMPS 9801, LEONARD MARTINEZ**, OF **SBS CONSTRUCTION AND ENGINEERING, LLC**. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPOUR, NMPE 11814
REGISTERED PROFESSIONAL ENGINEER
12/20/2022
DATE

LEGEND

- EXISTING CONSTRUCTION
- NEW CONTOUR
- EXISTING BUILDING FINISH FLOOR ELEV
- NEW SPOT ELEVATION
- NEW CONSTRUCTION
- RD ROOF DRAIN
- TC TOP OF CURB
- TW TOP OF WALL ELEVATION



VICINITY MAP

K09

DRAINAGE ANALYSIS

LEGAL: Lot 22-A, Block 8, Original Townsite of Westland

AREA: 1.6706 acres (72,770 SF)

BENCHMARK: ACS brass disk "12-K9"
ELEV= 5219.837 (NAVD 1988)

TBM: Top back of street curb opposite SW property corner of the site.
ELEV= 5174.71 (NAVD 1988)

SURVEYOR: The Survey Office dated December, 2017

FLOOD HAZARD: From FEMA Panel 35001C0328J (11/14/2016), this site is identified as being within Zone 'X' which is outside the 0.2% annual chance floodplain.

EXISTING CONDITIONS: The site is undeveloped and slopes down from the northwest to the southeast at 2%. It is bounded on the west by 94th Street, on the north by Volcano Road, on the east by a CMU wall, and on the south by a developed Century Link facility. The site discharges to the Century Link parcel.

FIRST FLUSH: $Q = (0.44 - 0.10)(15,500)/12 = 439$ CF
This volume will be provided in the detention pond located at the SE corner of the site as the storage depth of 0.15' provides 600 CF storage volume.

OFFSITE FLOWS: A portion of the adjacent 94th Street R/W discharges to the site, but the proposed street curb will divert the offsite runoff to existing inlets on 94th Street located south of the site.

PROPOSED IMPROVEMENTS: The proposed development includes an office and shop buildings. A covered parking area, covered shade structure, and future residence are also included in the impervious area calculations.

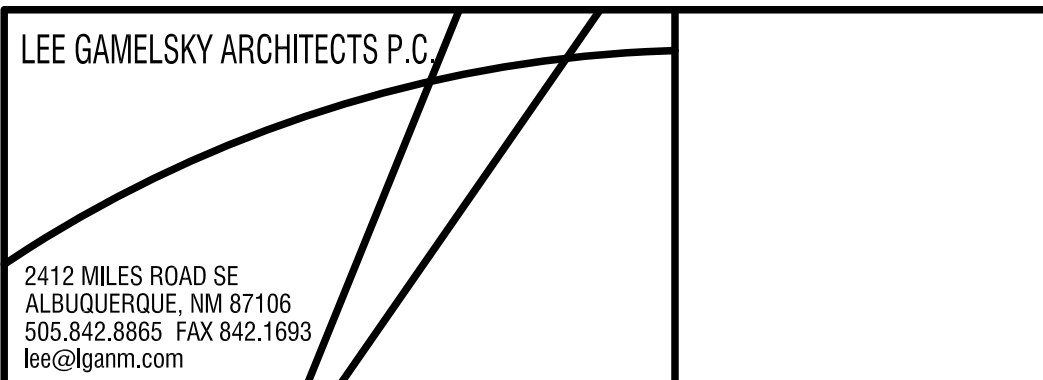
DRAINAGE APPROACH: The proposed drainage plan will follow historic flow paths. Building roof runoff will discharge to the east and south sides of the buildings. Site runoff will be carried overland to the SE corner. The proposed pond will contain the 10-day storage volume.

HYDROLOGY: For precipitation Zone 1 with 100% B land treatment
Existing $Q = (2.03)(1.67) = 3.4$ CFS

The proposed buildings and walks are 21% of the area with the balance of the site either base course or undeveloped considered as land treatment type 'C'.
Proposed $Q = (1.31)(2.87) + (0.36)(4.37) = 5.3$ CFS

The $V_{100} = (57,270)(.0825) + (15,500)(.1642) = 7,270$ CF
The $V_{10\text{-day}} = 7,270 + (15,500)(.1225) = 9,170$ CF

The retention pond volume provided is 9,200 CF at 2.1' depth

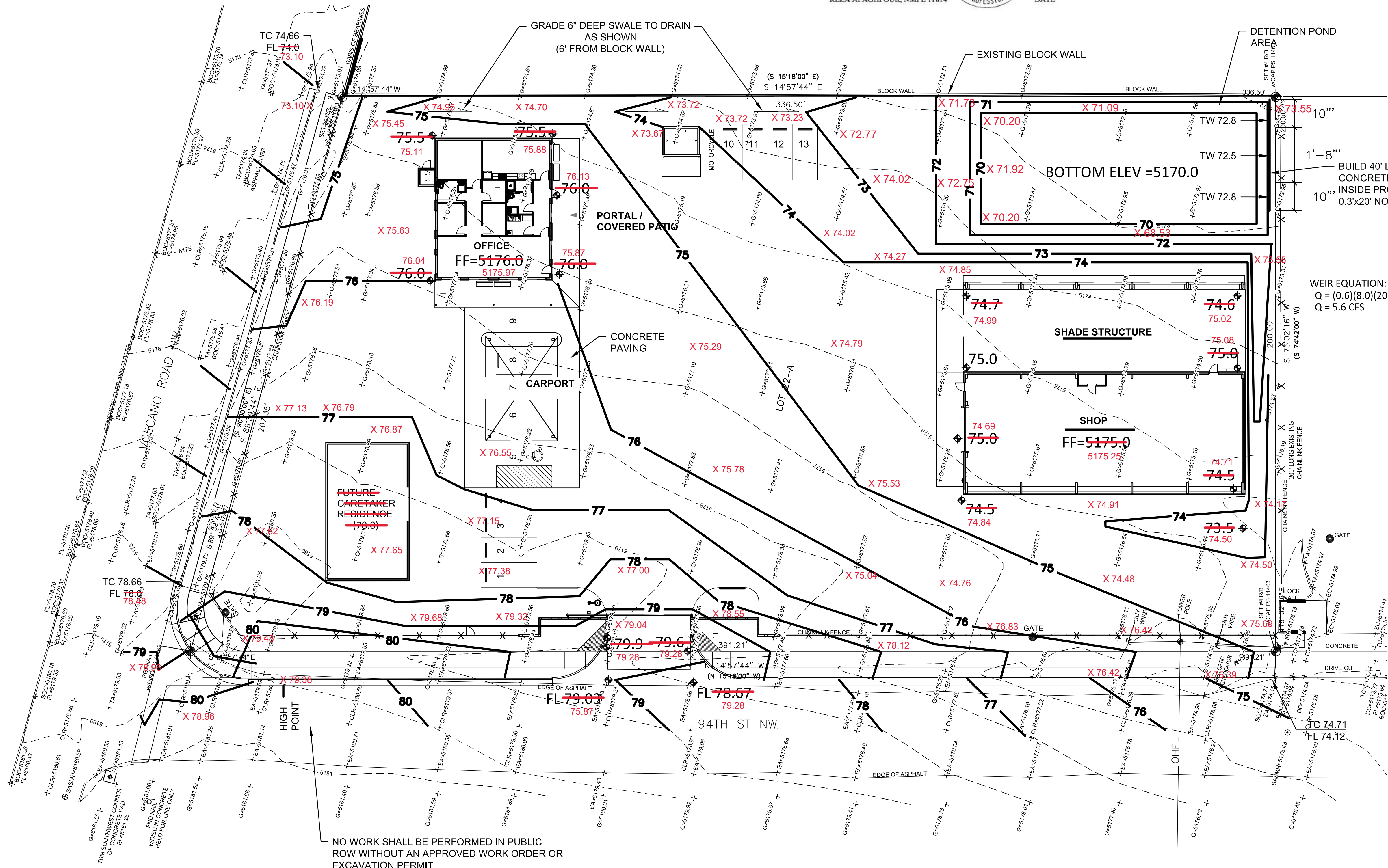


L&C TRANSPORT OFFICE AND SHOP
Albuquerque, New Mexico

PROJECT ARCHITECT:
LEE GAMESKY, AIA
Project #:
Date: 19 MARCH 2018

GRADING PLAN

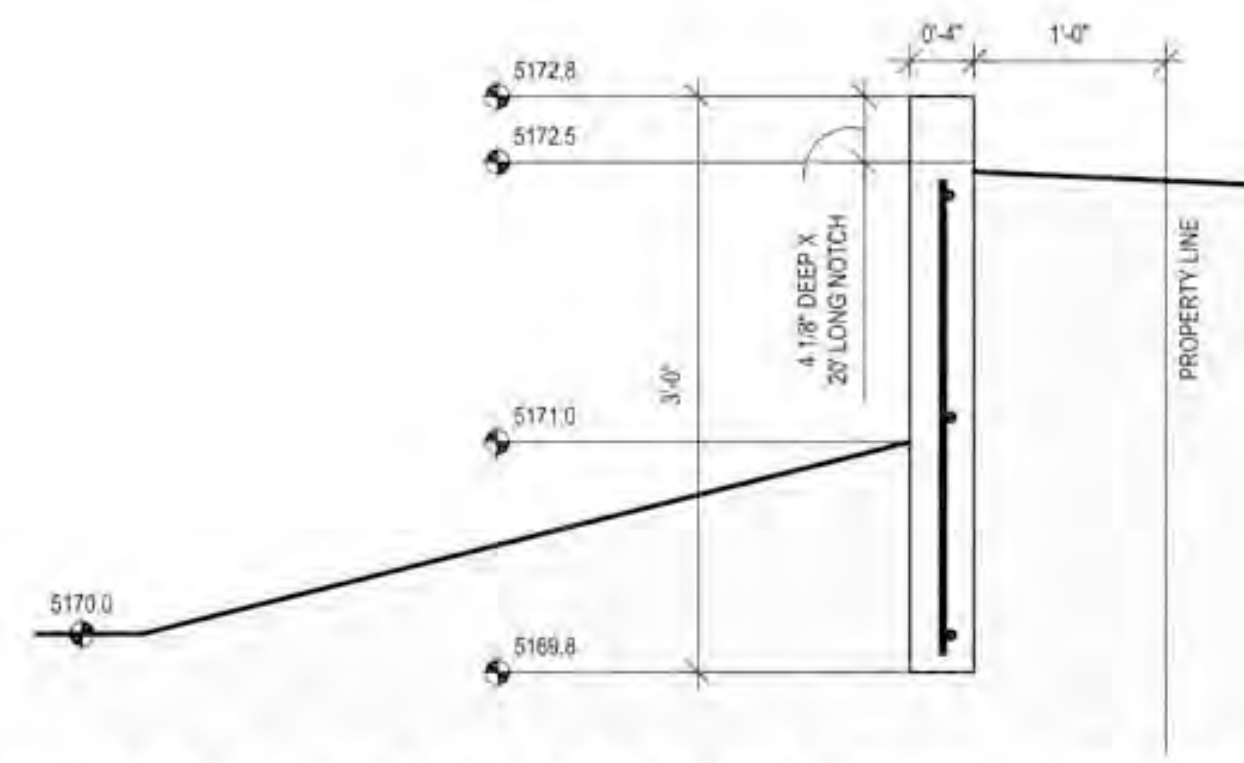
By: WTB
GRADING & DRAINAGE PLAN
Sheet: Of:
C-100



GRADING AND DRAINAGE PLAN

1" = 20'

0 20' 40'

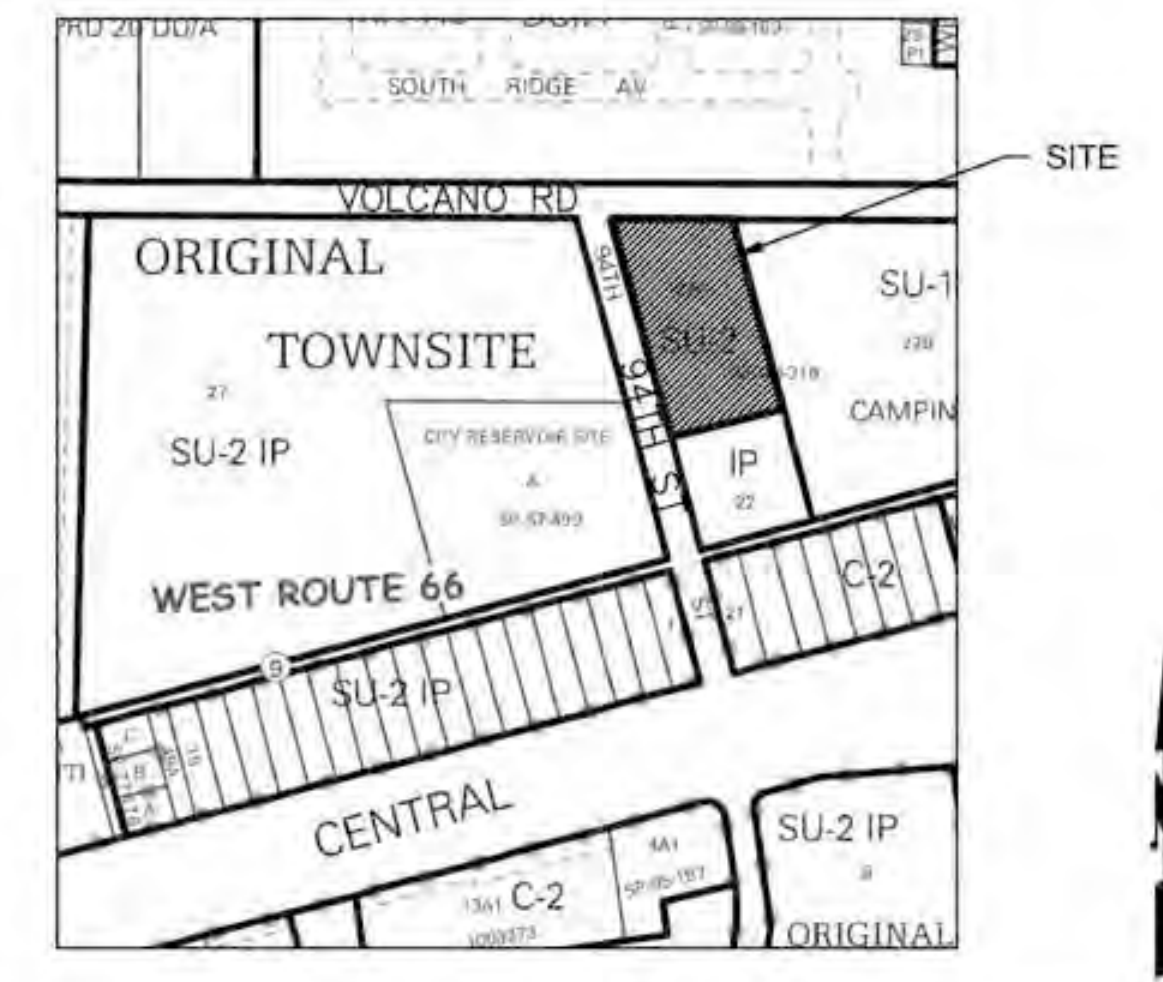


DETENTION POND CONCRETE CUT-OFF WALL

1" = 1'-0"

LEGEND

—	EXISTING CONSTRUCTION
—	NEW CONTOUR
FF=5176.0	EXISTING BUILDING FINISH FLOOR ELEV
◆36.5	NEW SPOT ELEVATION
—	NEW CONSTRUCTION
— RD	ROOF DRAIN
— TC	TOP OF CURB
— TW	TOP OF WALL ELEVATION



VICINITY MAP

K09

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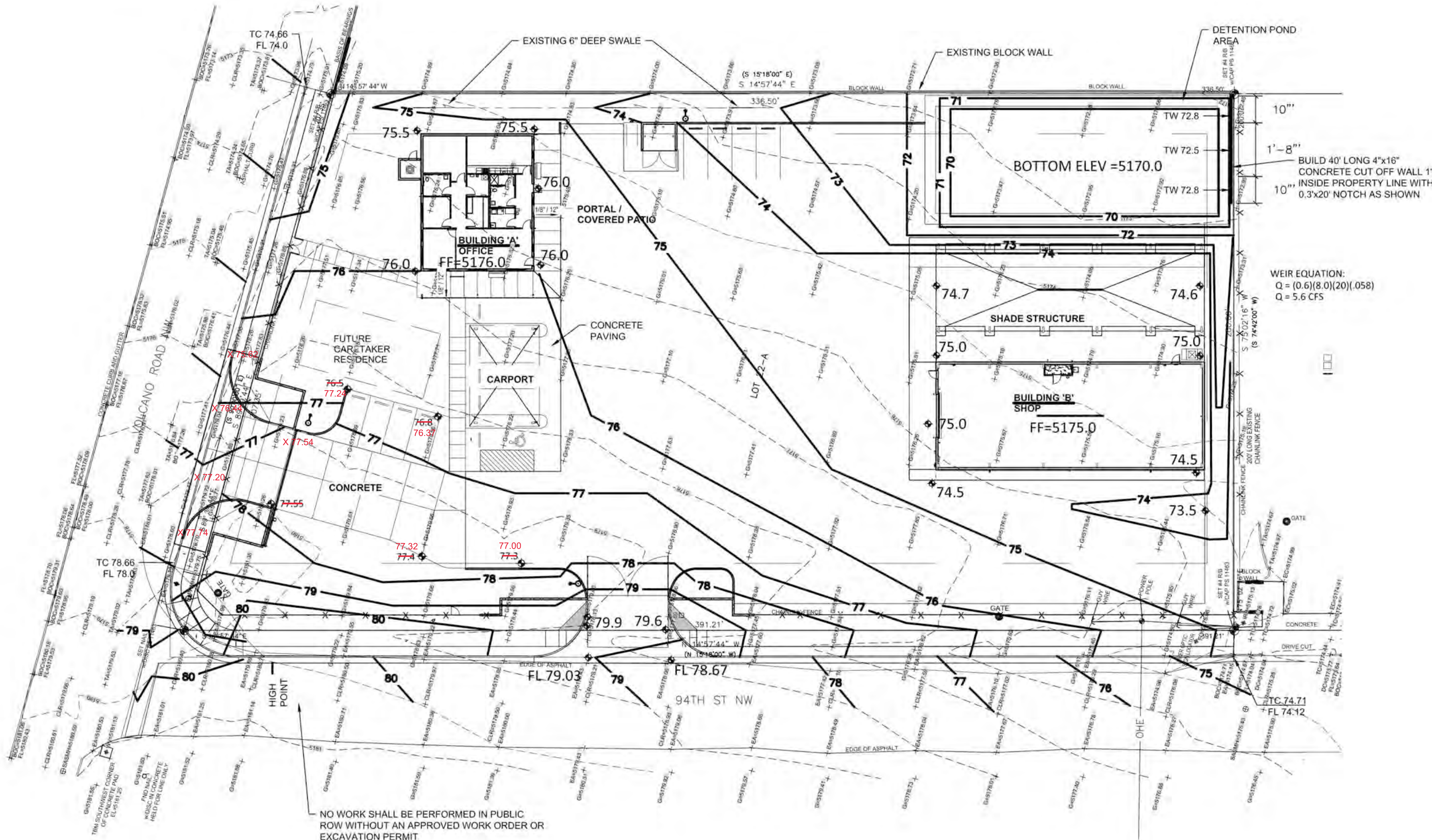
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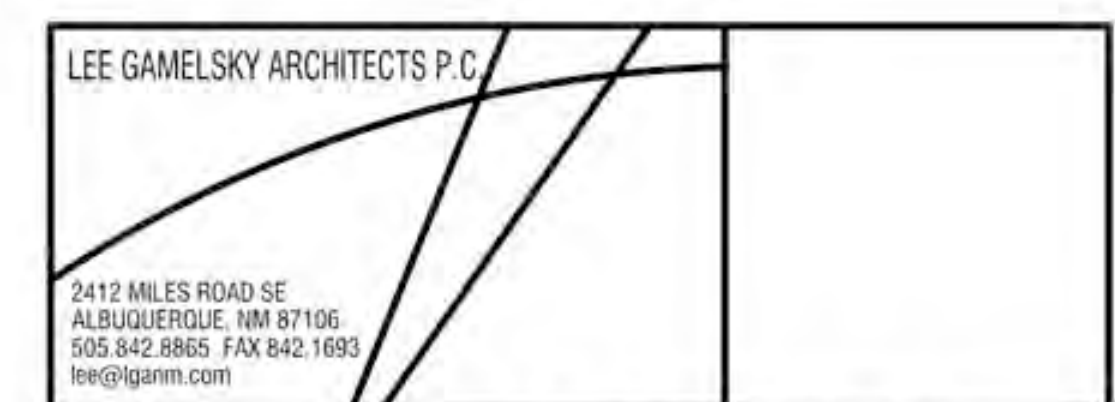
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GRADING AND DRAINAGE PLAN

1" = 20'

0 20' 40'



L&C TRANSPORT OFFICE AND SHOP
Albuquerque, New Mexico

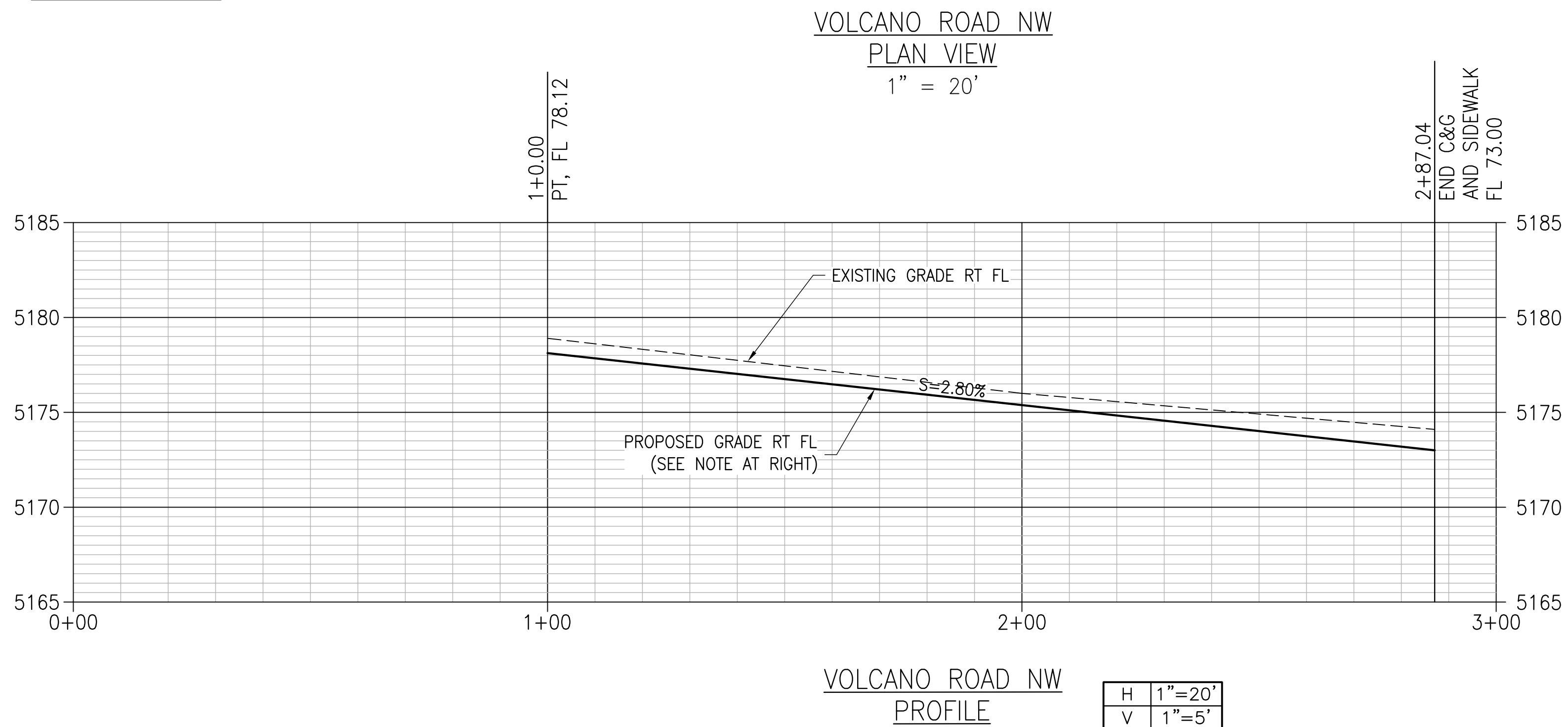
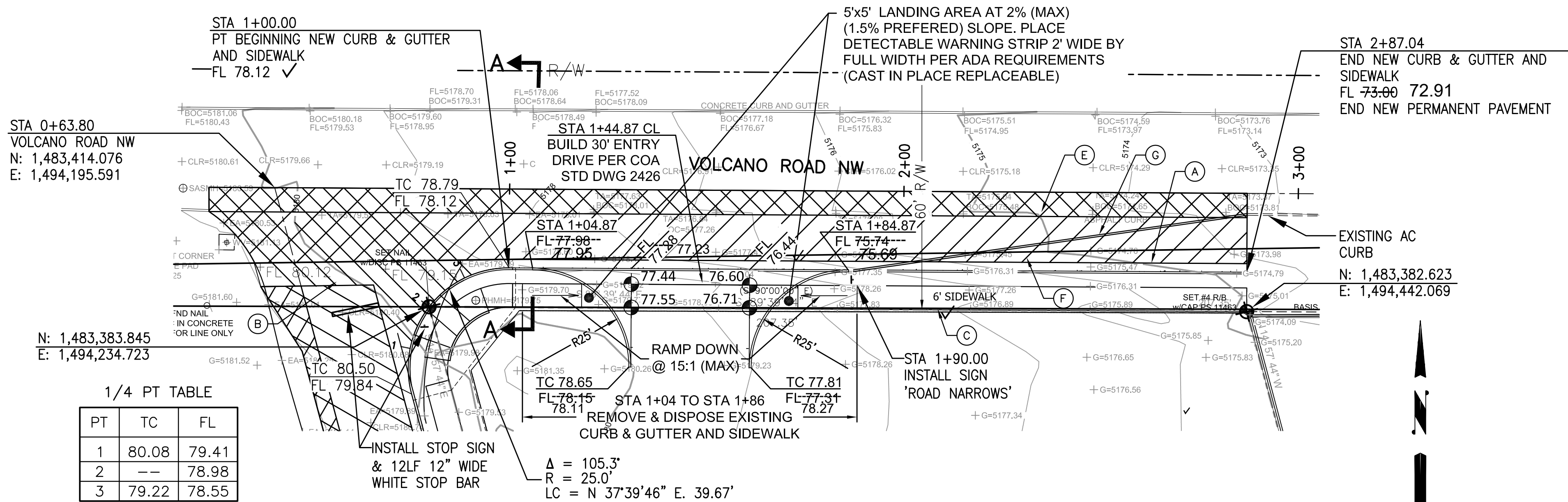
PROJECT ARCHITECT:
LEE GAMESKY, AIA

Project #:
Date: 19 MARCH 2016

GRADING PLAN

By: WTB
GRADING & DRAINAGE PLAN

Sheet: Of:
C-100



2" ASPHALT CONCRETE TYPICAL FINISH COURSE PLACED AFTER ALL MANHOLES, VALVES, COVERS/RINGS ARE SET TO GRADE. 1500 LBS. STABILITY TYPE B GRADATION.

TACK COAT AS REQUIRED BY THE THE ENGINEER BETWEEN ALL ASPHALT/AGGREGATE MATERIAL LIFTS.

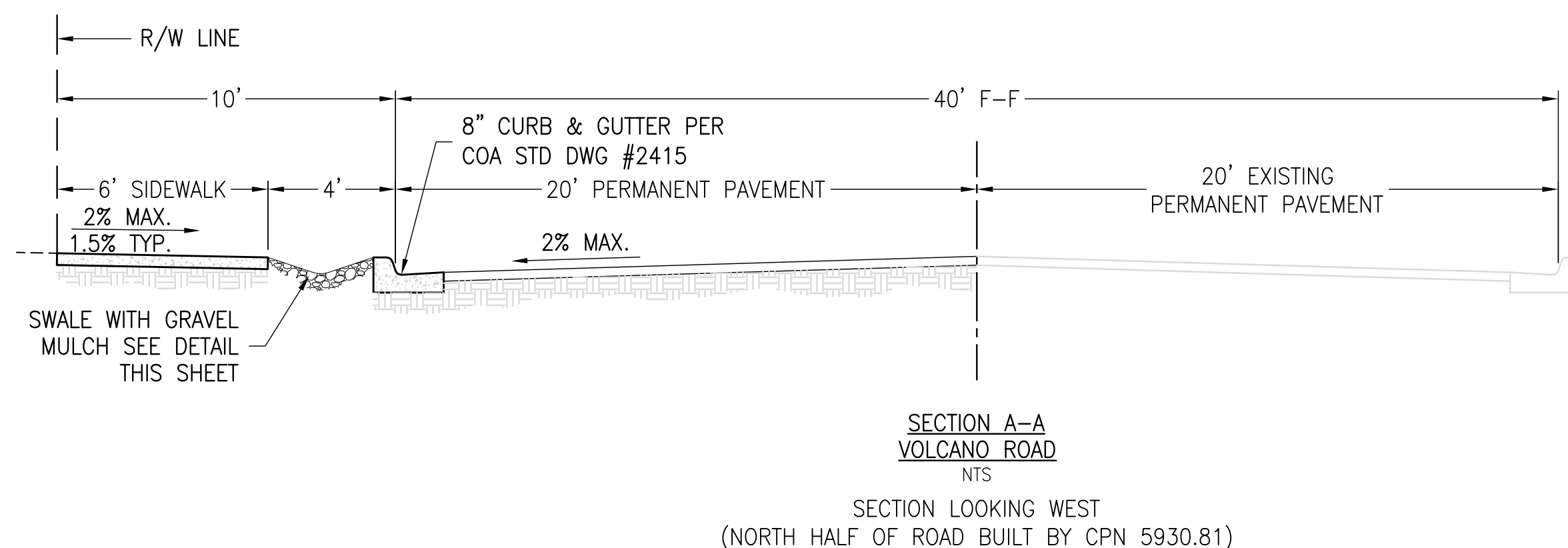
2" ASPHALT CONCRETE. 1500 LBS. STABILITY, TYPE B GRADATION.

5-1/2" AGGREGATE BASE COURSE. R-VALUE>50. 95% MIN. COMPACTION ASTM D1557.

FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE, OR PRIME COAT APPLIED AS REQUIRED BY THE ENGINEER UNTIL NEXT/FINAL SURFACING IS COMPLETED. SUBGRADE PREPARATION SHALL BE PERFORMED AFTER ALL SUBSURFACE R/W UTILITIES CONSTRUCTION COMPLETED.

1' SUBGRADE SOIL. R-VALUE>50, PLACED IN (2)-6" COMPACTED LIFTS. 95% MIN. COMPACTION, AT OPT. MOISTURE ± 2.0%, ASTM D1557, OR OPT. MOISTURE, TO +4%, ASTM D698 FOR SOIL W/35% OR MORE MATERIAL PASSING THE NO. 200 SIEVE.

PERMANENT PAVING SECTION

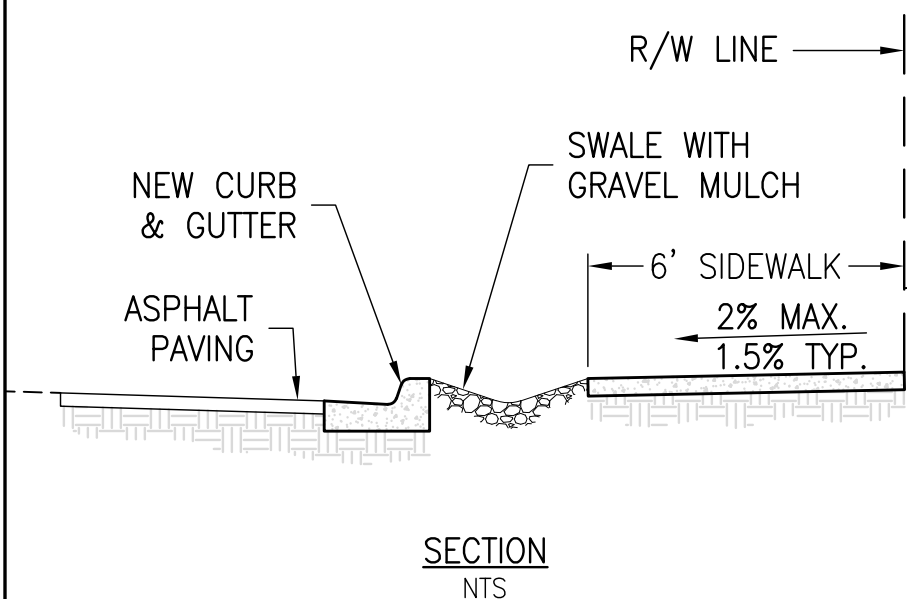


LEGEND



KEYED NOTES

- NEW CITY STANDARD CURB & GUTTER PER STD DWG NO. 2415A.
- NEW 6' VALLEY GUTTER AT INTERSECTION PER STD DWG NO. 2420.
- NEW 6' SIDEWALK PER STD DWG NO. 2430.
- NOT USED.
- REMOVE AND DISPOSE EXISTING ASPHALT CURB.
- REMOVE AND DISPOSE EXISTING PAVING AND REPLACE WITH NEW PERMANENT PAVING WHERE HATCHED.
- INSTALL 120LF ASPHALT CURB (TAPERED) AND 'ROAD NARROWS' SIGN.



NOTES:

- SWALE SHALL HAVE 5:1 SIDE SLOPES.
- FINAL GRADE EARTH SHALL BE 1-2" BELOW THE TOP OF CURB.
- SWALE SURFACE SHALL HAVE GRAVEL MULCH (3/4" MINIMUM). DO NOT FILL ENTIRE SWALE.

AS BUILT INFORMATION		BENCH MARK		SURVEY INFORMATION		BY		REVISIONS/REMARKS		DESIGNED BY:		DRAWN BY:		CHECKED BY:	
CONTRACTOR	SBS CONST.	DATE	4/19/22	City of Albuquerque Station	"ACS BM 12, K9"	ANTHONY L. HARRIS	DECEMBER, 2017			SM	08/15/2018	ES	08/15/2018	SM	08/15/2018
WORK STAKED BY	SBS CONST.	DATE	4/19/22	A 1-3/4" disc exposed to top of concrete manhole at NW	quadrant of 98th and Volcano NW										
INSPECTOR'S APPROVAL	ASHBENS	DATE	4/19/22	ELEV. = 5219.837 (NAVD 1988)	(NAD 1927)										
FIELD VERIFICATION	BBS CONST.	DATE	4/19/22												
DRAWING CORRECTED	BBS CONST.	DATE	4/19/22												
MICRO-FILM INFORMATION		RECORDED BY	DATE												
		NO.													



RECORD DRAWING

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
TITLE: L & C TRANSPORT OFFICE 108 94TH STREET NW ALBUQUERQUE, NEW MEXICO			
DESIGN REVIEW COMMITTEE APPROVED Aug. 30, 2021 DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL APPROVED Aug. 30, 2021 CITY ENGINEER	PRO. 7 DAY 7 YR.	PRO. 7 DAY 7 YR.
CITY PROJECT NO. 593085		ZONE MAP NO. K-09	SHEET: 4R OF 6