

CITY OF ALBUQUERQUE



November 30, 2020

Ronald R. Bohannon, PE
Tierra West LLC
5571 Midway Park NE
Albuquerque, NM 87109

**Re: Maverik (98th and Bluewater)
9701 Bluewater Rd NW
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 9-29-20 (K09D044)
Certification dated 11-24-20**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 11-24-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:


- Please complete items on Transportation Punch list.

Once corrections are complete resubmit

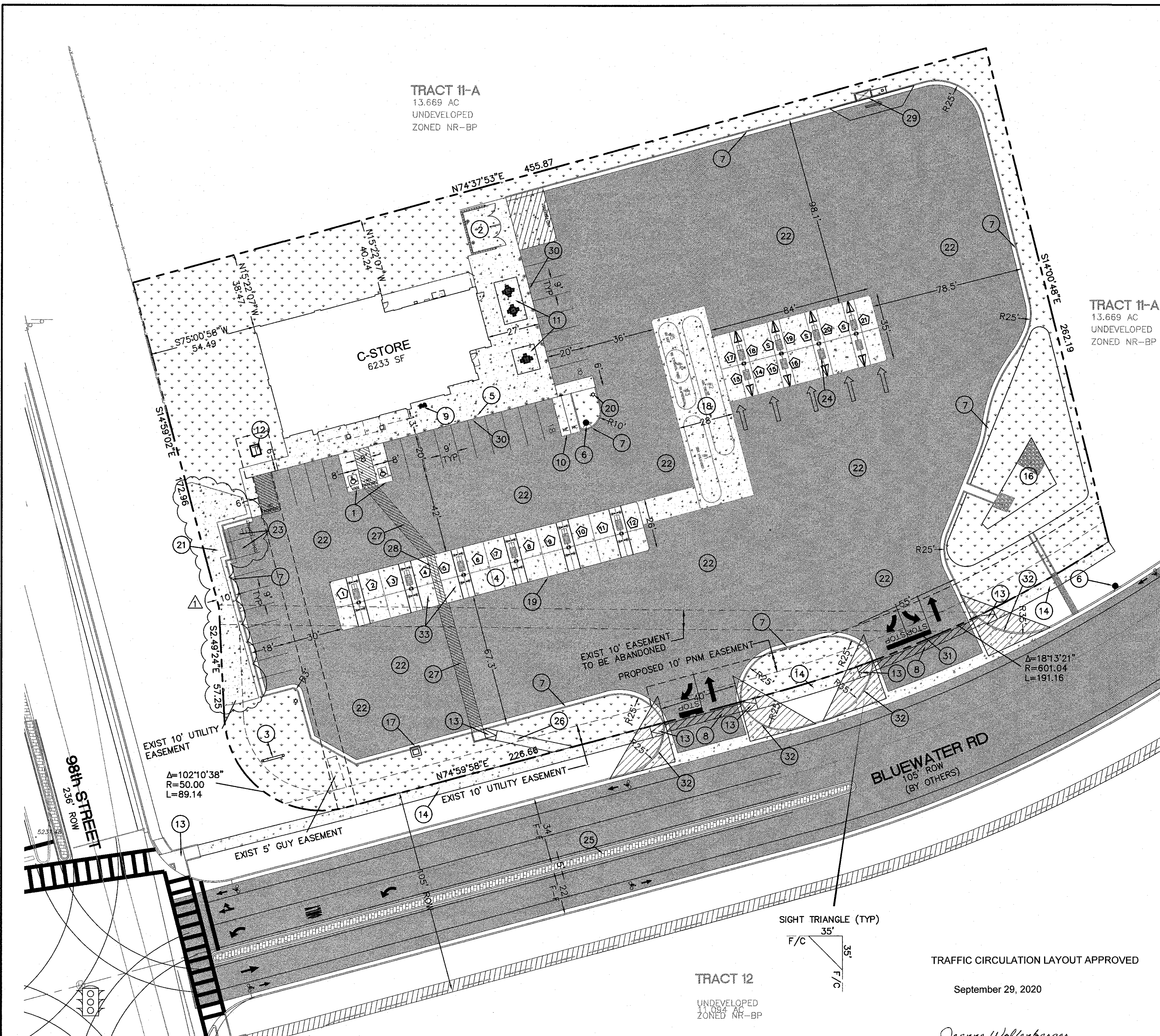
1. The approved and stamped TCL with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

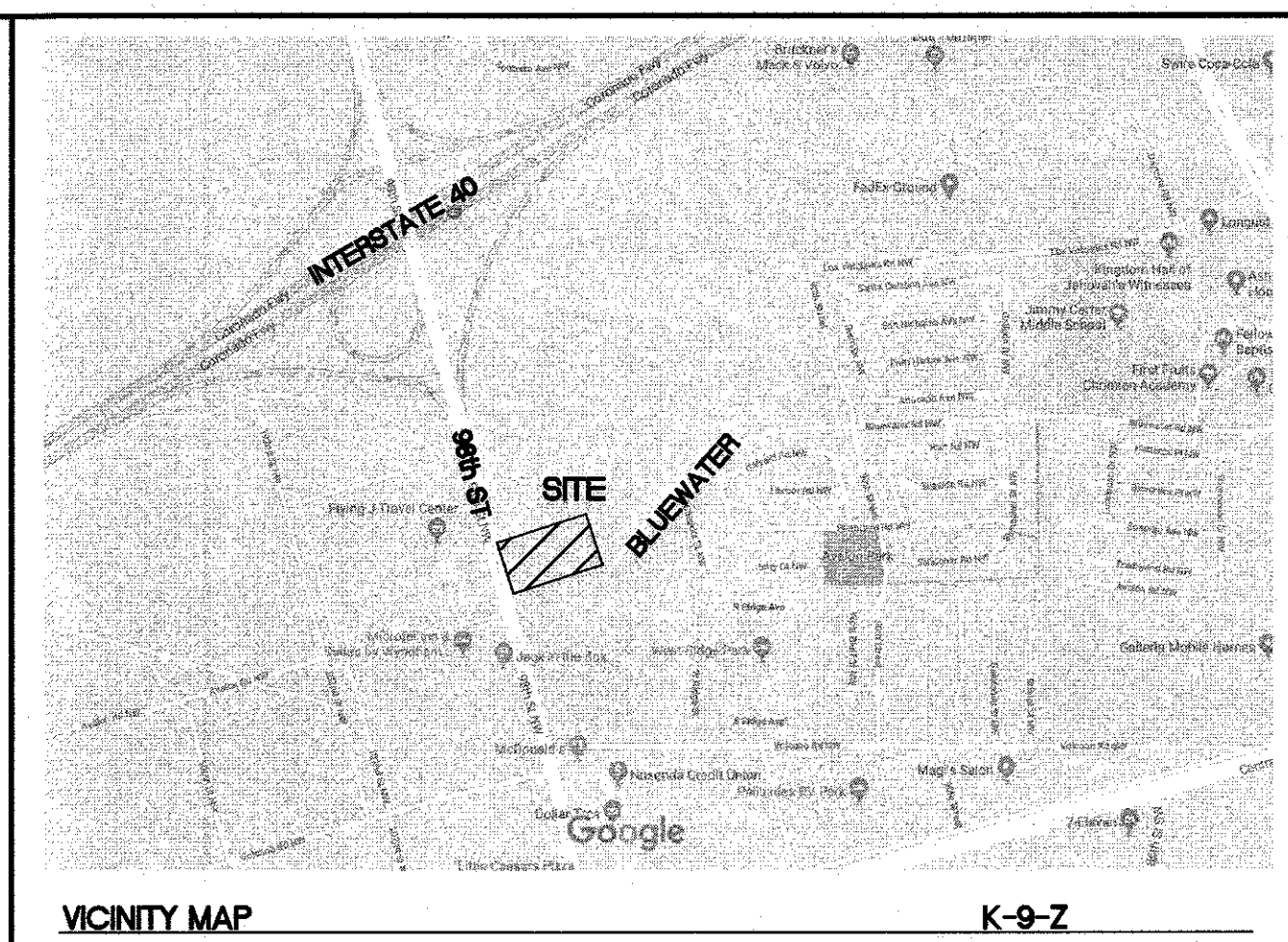


LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	PROPOSED HYDRANT
	TRAFFIC SIGNAL
	ASPHALT PAVEMENT
	LANDSCAPE AREA
	STRIPED ADA ROUTE

KEYED NOTES

- ACCESSIBLE PARKING PER ADA STANDARDS (1.0% MIN - 2.0% MAX SLOPE)
- DUMPSTER SEE DETAIL SHEET SP-2
- MONUMENT SIGN
- AUTO FUELING ISLANDS
- BOLLARD (TYP)
- PROPOSED FIRE HYDRANT PER COA STD DWG 2340
- 6" CURB AND GUTTER PER DETAIL C-6 SHEET DET-2
- 4' MIN ADA PATHWAY AT 2% MAX CROSS SLOPE
- BICYCLE RACK (2' W x 6' L), SEE DETAIL SHEET SP-2
1' CLEAR ZONE AROUND RACK REQUIRED
- MOTORCYCLE PARKING W/SIGN
- PICNIC AREA
- TRANSFORMER
- ACCESSIBLE RAMP, SEE DETAIL SHEET SP-2
- 6' CONCRETE SIDEWALK PER COA STD DWG 2430
- POND
- AIR STATION
- FUEL TANKS LOCATION
- FUEL CANOPY (4264 SF)
- SITE LIGHTING, FULLY SHIELDED, MAX HEIGHT 30' (TYP)
- CONCRETE SLOPE PAVING
- ASPHALT PAVING (HEAVY DUTY)
(1.0% MIN - 6.0% MAX SLOPE)
REFER TO GEOTECH REPORT BY TERRACON DATED 4-22-19
- COMPACT CAR SPACE (15'x9')
(1.0% MIN - 6.0% MAX SLOPE)
- TRUCK FUELING ISLAND
- RAISED MEDIAN (BY OTHERS)
- 6' SIDEWALK PER COA STD DWG 2430
- 8' PEDESTRIAN CROSSWALK
- 4' PEDESTRIAN CROSSWALK
- RV SEWER DUMP, SEE DETAIL SHEET MU-2
- ZERO CURB
- PAVEMENT MARKINGS (TYP), SEE DETAIL SHEET DET-1
- DRIVEWAY ENTRANCE PER COA STD DWG 2426,
TO BE CONSTRUCTED WITH THIS PROJECT INDER
BUILDING PERMIT NO BP-2020-003570
- ADA DISPENSERS
- FUEL DISPENSER NO



LEGAL DESCRIPTION:

TRACT 11-B, PLAT OF TRS 1 THRU 12 AVALON SUBDIVISION UNIT 5

ADDRESS
9701 BLUEWATER RD NW
ALBUQUERQUE, NM 87121

UPC NO: 100905705529520103

SITE DATA

PROPOSED USAGE: MAVERIK ADVENTURE'S FIRST STOP GAS/CONVENIENCE STORE
LOT AREA: 130,823 SF (3.00 ACRES)
ZONING: NR-BP
BUILDING AREA: 6233 SF

PARKING REQUIRED: 25 SPACES (4 SPACES/1000 SF)

PARKING PROVIDED: 34 SPACES (INCLUDES ACCESSIBLE PARKING)

HC PARKING REQUIRED: 2 SPACES

HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 1 SPACES (1 SPACE FOR 1 TO 25 REQUIRED PARKING)

MC PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 3 SPACES (3 SPACES OR 10% OF REQUIRED PARKING)

BICYCLE PARKING PROVIDED: 3 SPACES

LANDSCAPE AREA REQUIRED: 26,075 SF (20% OF NET AREA)

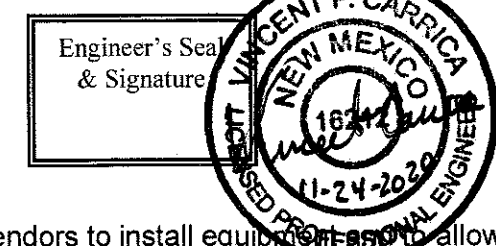
LANDSCAPE AREA PROVIDED: 73,641 SF

EXECUTIVE SUMMARY

THE 3.0 ACRE SITE IS LOCATED IN THE NORTHEAST CORNER OF THE 98th STREET AND BLUEWATER ROAD INTERSECTION. THE CURRENTLY UNDEVELOPED SITE WILL BE DEVELOPED AS A MAVERIK ADVENTURES FIRST STOP GAS STATION AND CONVENIENCE STORE WITH SEPARATE FUELING LOCATIONS FOR AUTO AND LARGE VEHICLE FUELING. ACCESS TO THE SITE WILL BE OFF BLUEWATER ROAD, WHICH WILL BE EXTENDED TO 98th STREET (BY OTHERS). SEPARATE ACCESS DRIVES WILL BE CONSTRUCTED FOR AUTOS AND LARGE VEHICLES. ADJACENT PROPERTIES WILL NOT BE ADVERSELY AFFECTED BY THIS DEVELOPMENT. A TRAFFIC IMPACT STUDY WAS PREPARED BY TERRY BROWN AND APPROVED FOR THIS SITE. THE COA ZHE APPROVED A REQUEST FOR A CONDITIONAL USE PERMIT FOR THE PROPOSED LARGE VEHICLE FUELING COMPONENT OF THE PLAN

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Vincent Carrica, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Planning Department and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings.



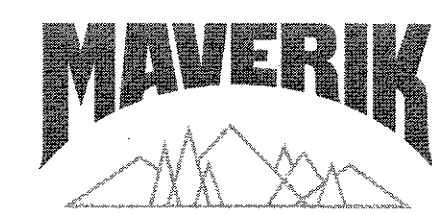
NOTES

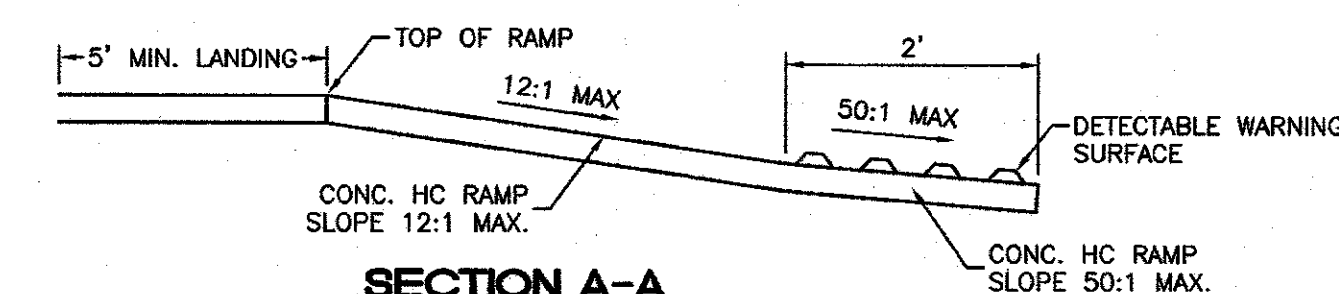
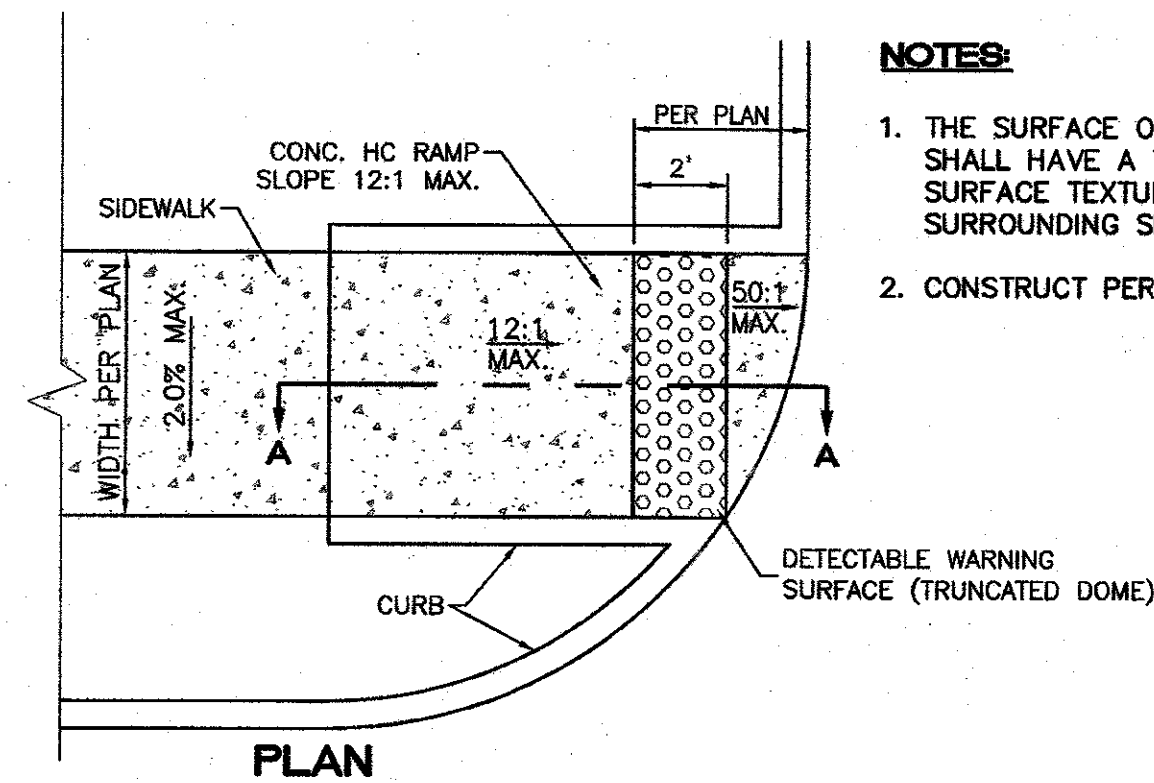
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL SIDEWALKS AND OTHER ROADWAY IMPROVEMENTS LOCATED OUTSIDE THE BOUNDARY LINES OF THE 3 ACRE LOT WILL BE BUILT BY OTHERS WITH THE EXCEPTION OF CURB RETURNS, VALLEY GUTTERS AND ADA RAMPS AT ENTRANCES TO THE SITE WHICH SHALL BE BUILT WITH THIS PROJECT BY THE CONTRACTOR

The Purpose of this Temporary Certification is to allow equipment vendors to install equipment and allow contractor to complete punch list items.

August-2020

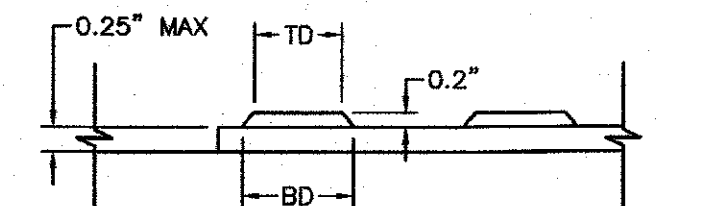
NO.	DATE	REMARKS	BY
1	9-18-2020	REMOVED WALL, ADDED SLOPE PAVING, RELOCATED COMPACT SPACES	PM
REVISIONS			
ENGINEER'S SEAL		MAVERIK STORE #NM-98th ST AND BLUEWATER RD	DRAWN BY pm
TRAFFIC CIRCULATION PLAN			DATE 4-10-2020
			DRAWING 2018086-SP
			SHEET #
			SP-1
			JOB # 2018086
TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com			



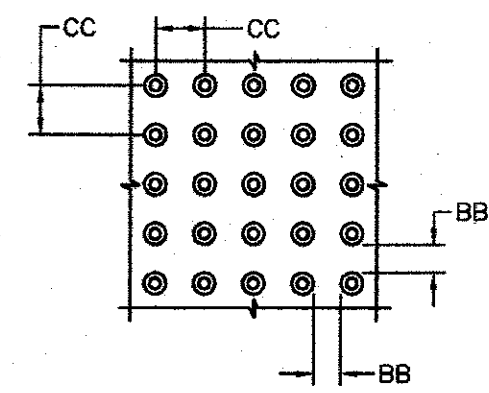


UNIDIRECTIONAL HC RAMP
NOT TO SCALE

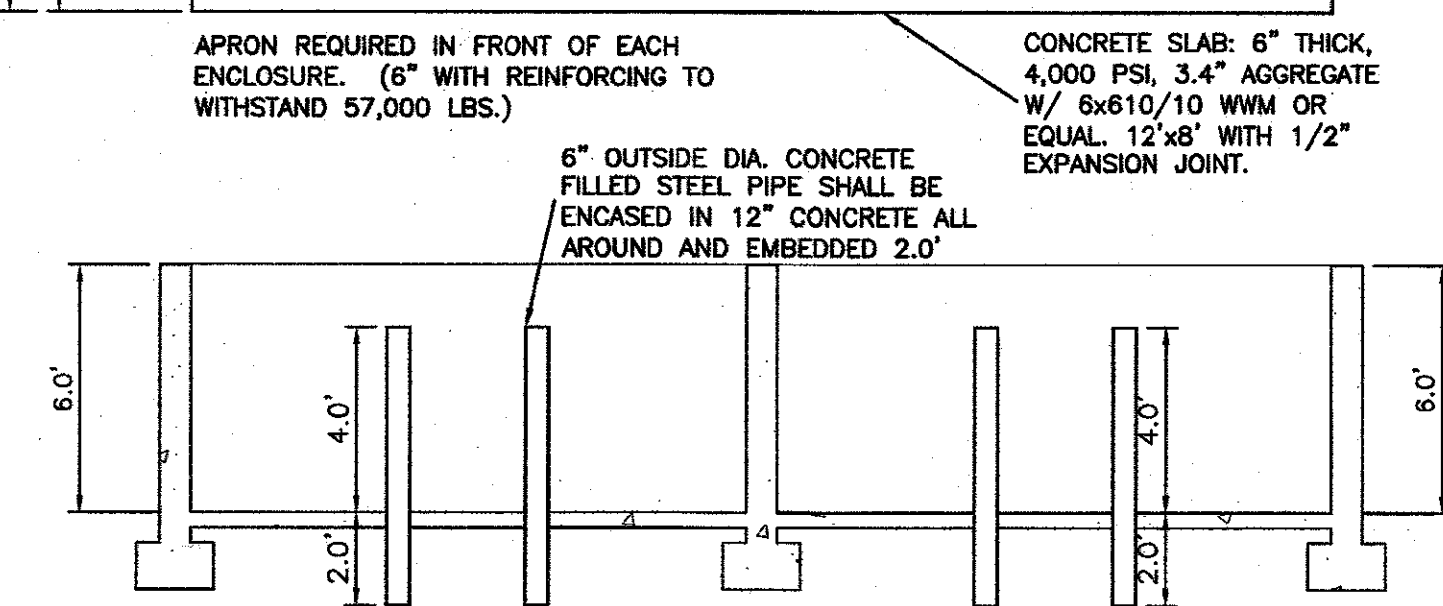
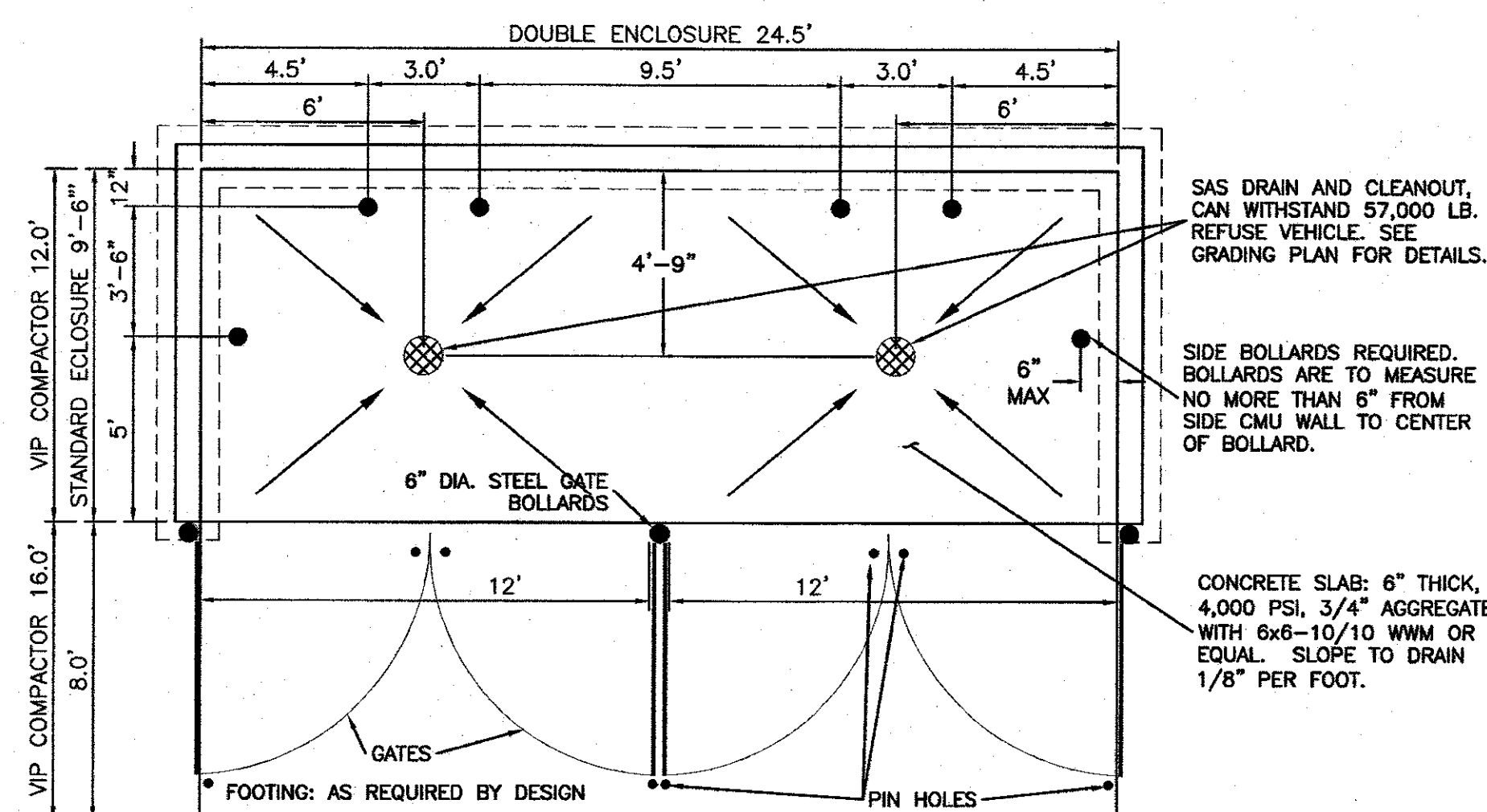
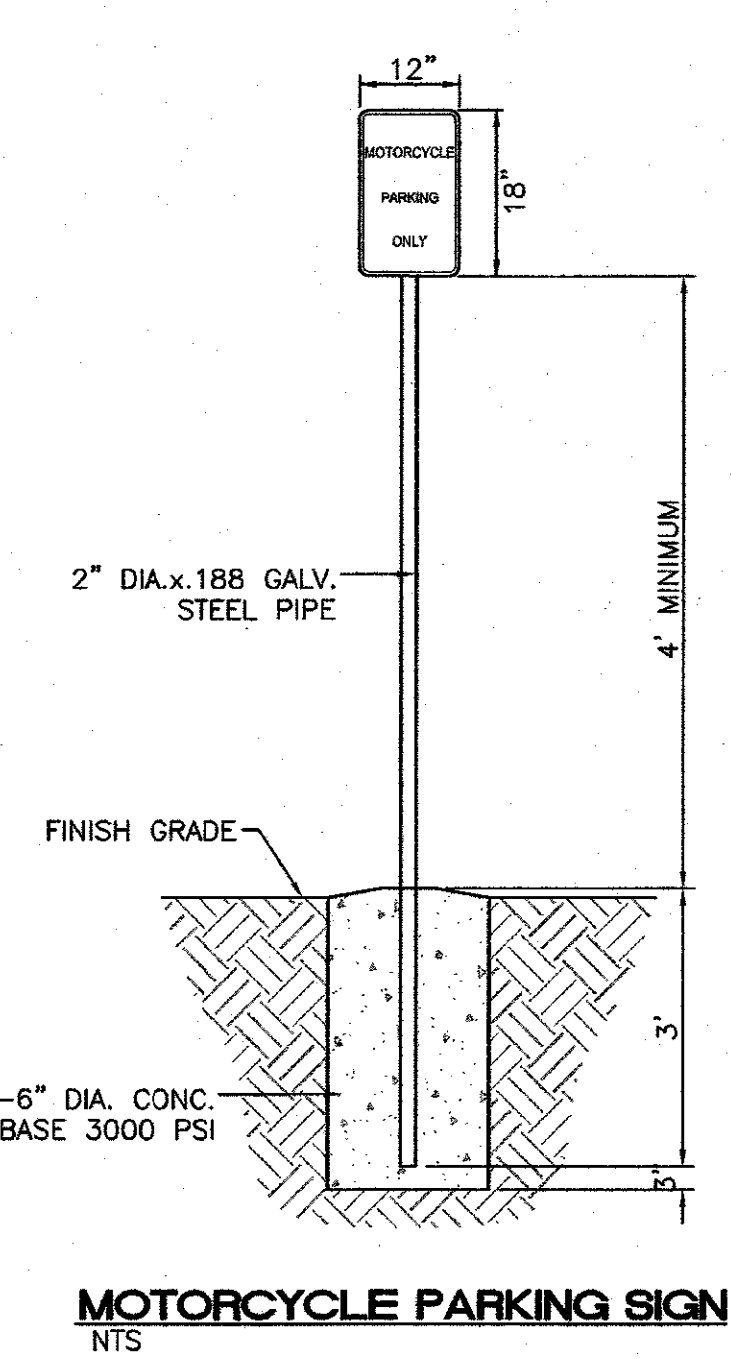
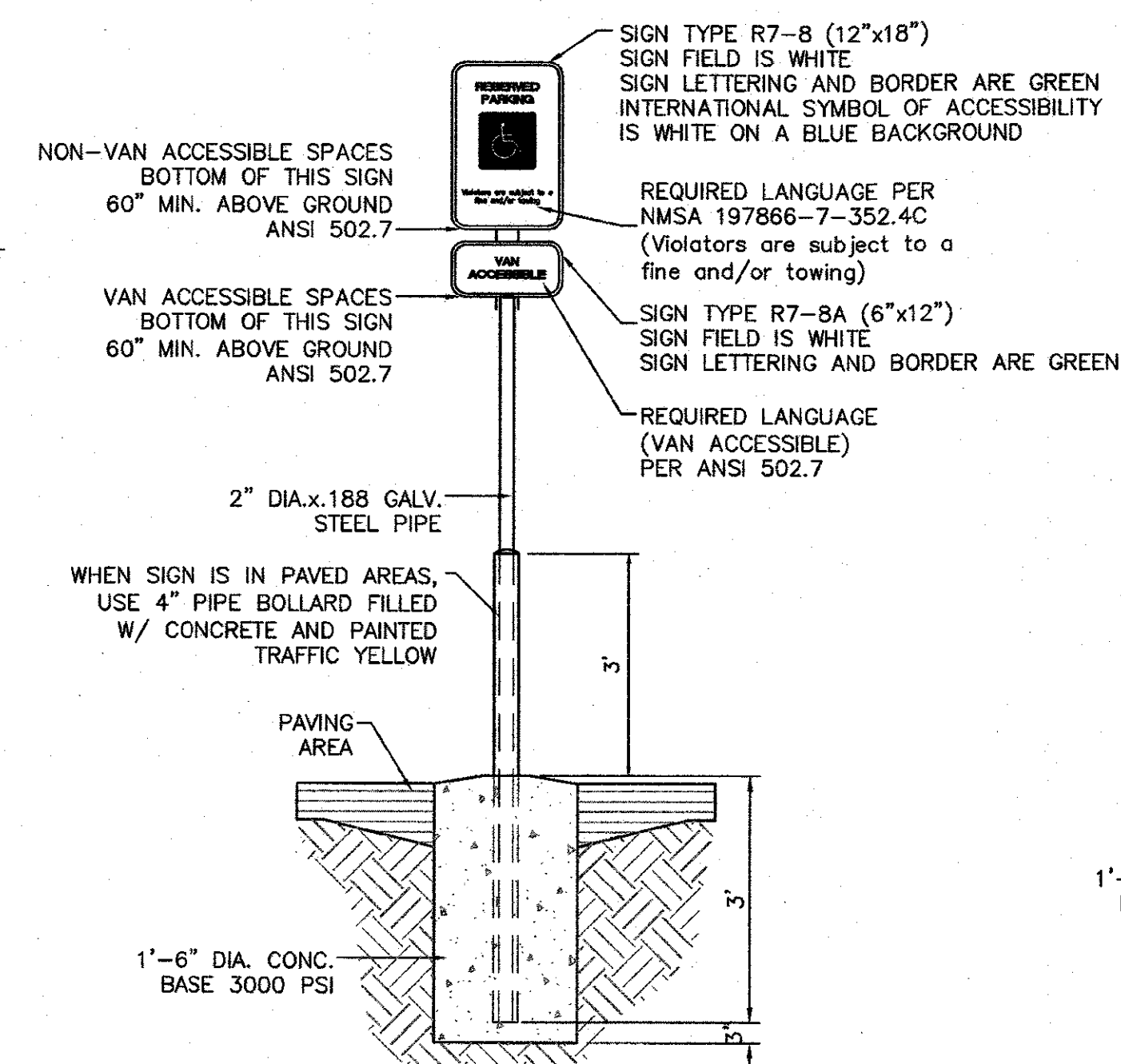
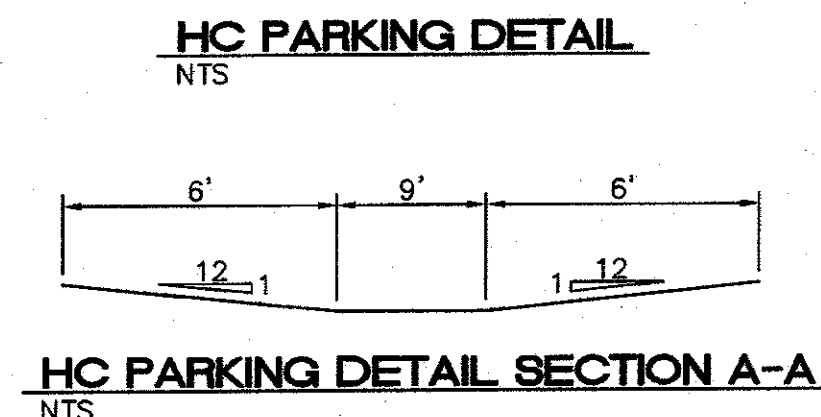
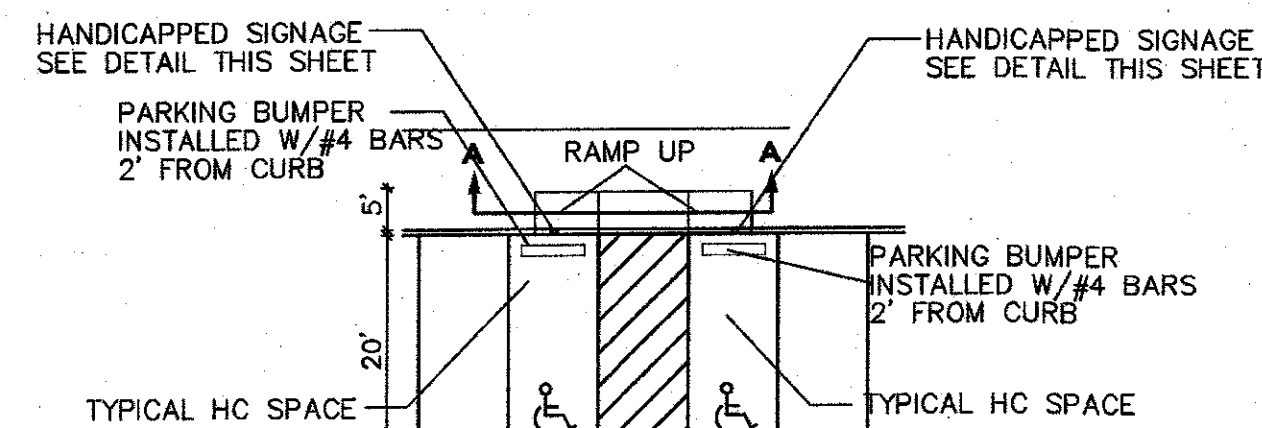
- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. CONSTRUCT PER A.D.A. STANDARDS.



BD - BASE DIAMETER 0.9" MIN
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



CC - CENTER TO CENTER SPACING 2.35"
BB - BASE TO BASE SPACING 1.48" MIN

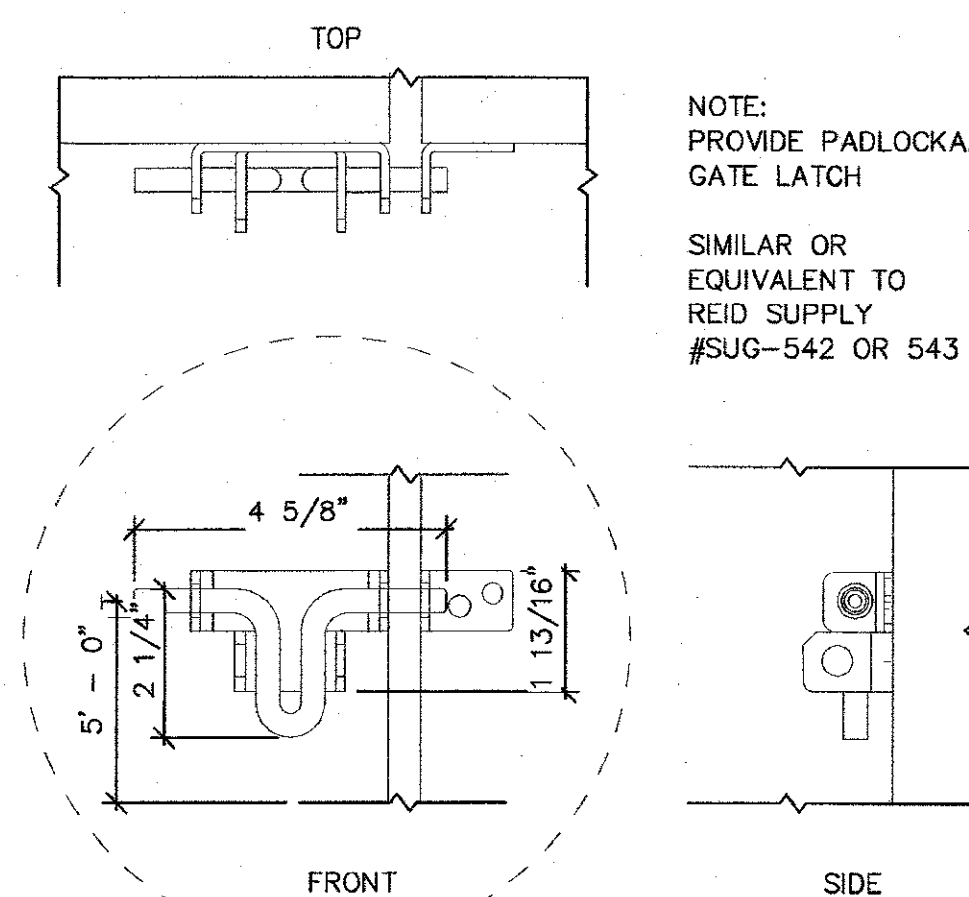
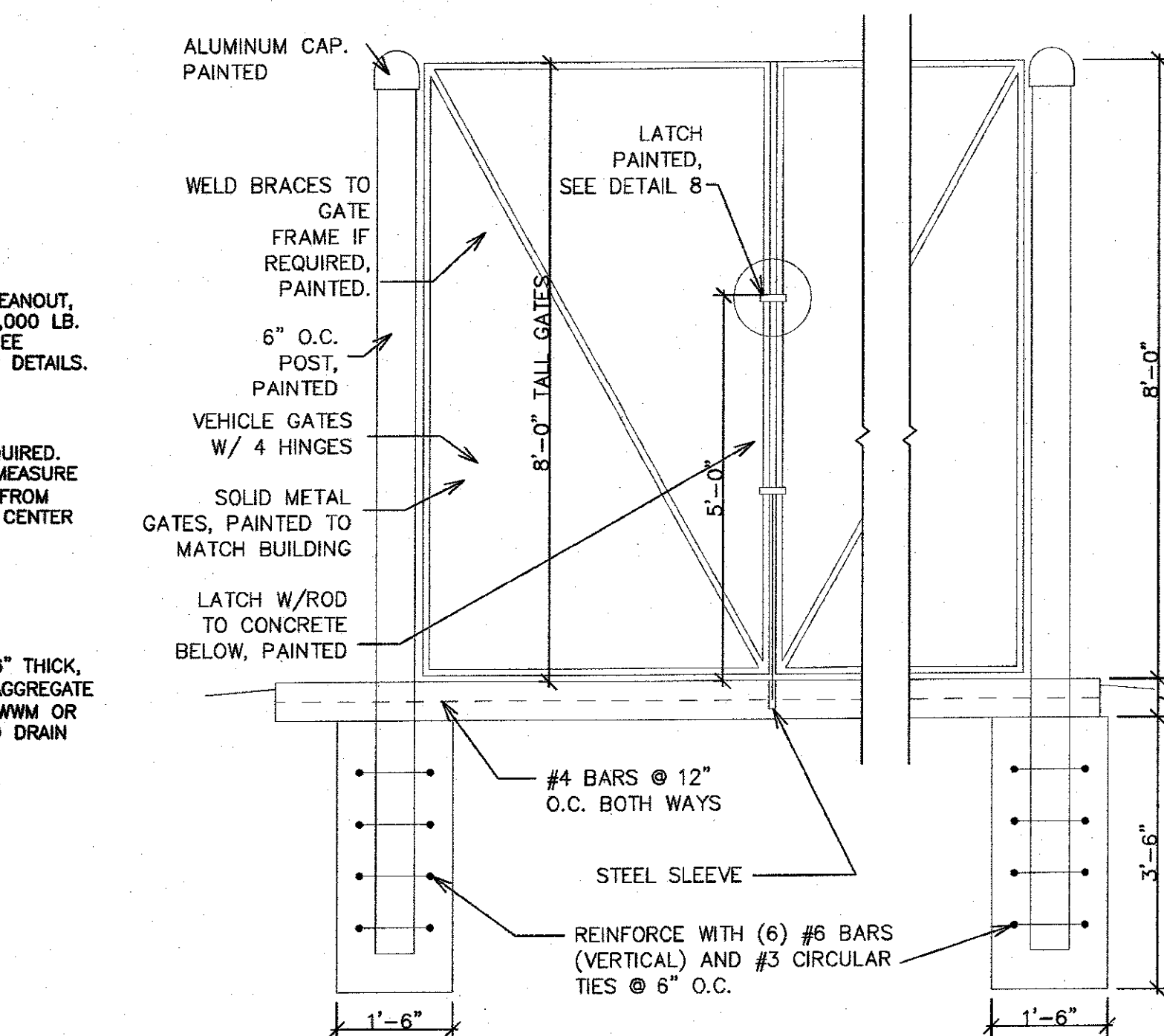
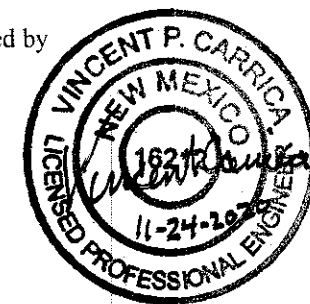


- NOTE:**
1. THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.
 2. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.

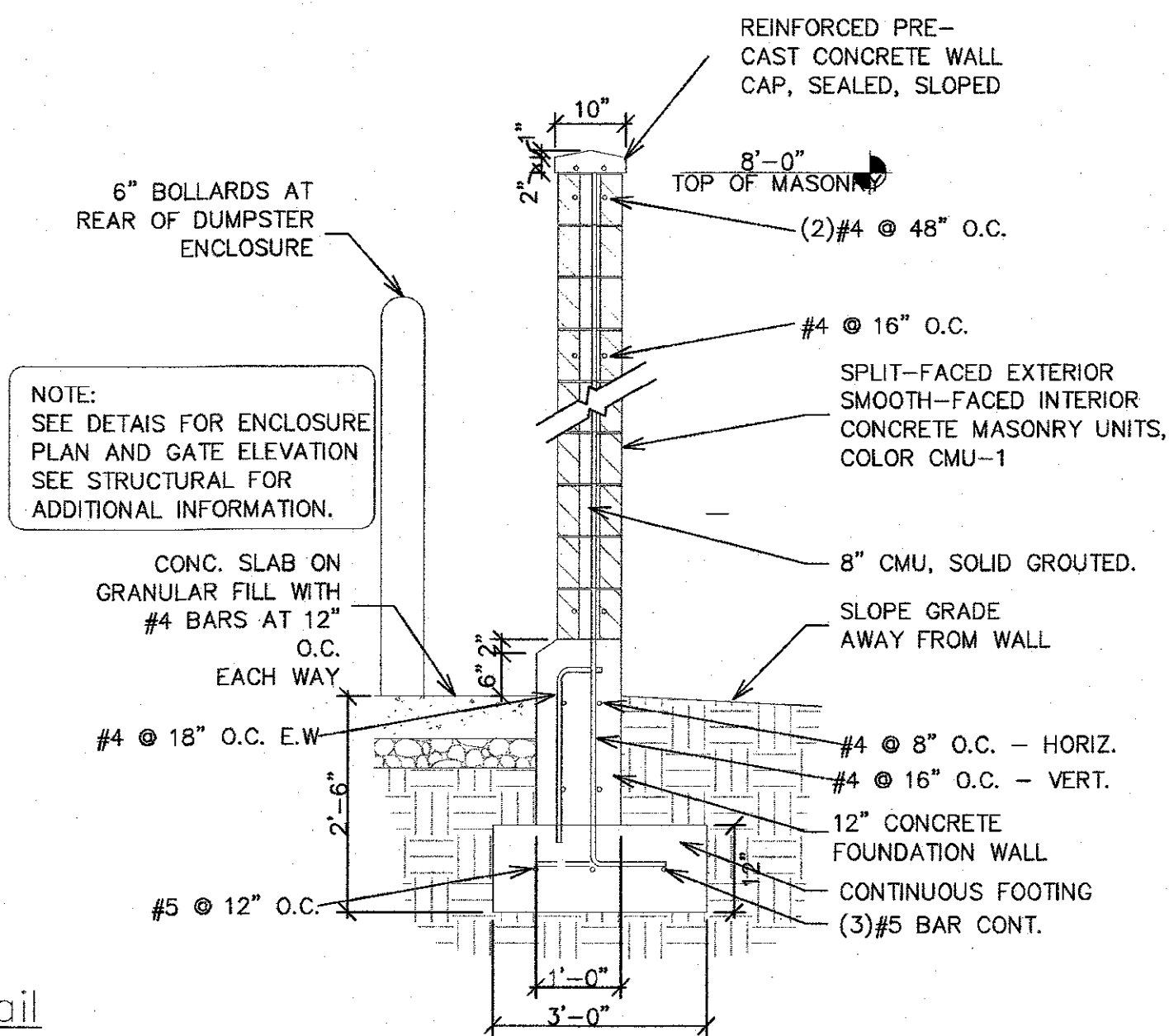
DUMPSTER w/SAS DRAIN - ENCLOSURE DETAIL
NTS
CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

I, Vincent Carria, of the firm of Tierra West LLC, a Registered Professional Engineer in the State of New Mexico, do hereby certify, to the best of my knowledge and belief, that the infrastructure installed as part of this project has been inspected by me or by a qualified person under my direct supervision and has been constructed in accordance with the plans and specifications approved by the City Planning Department and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings.

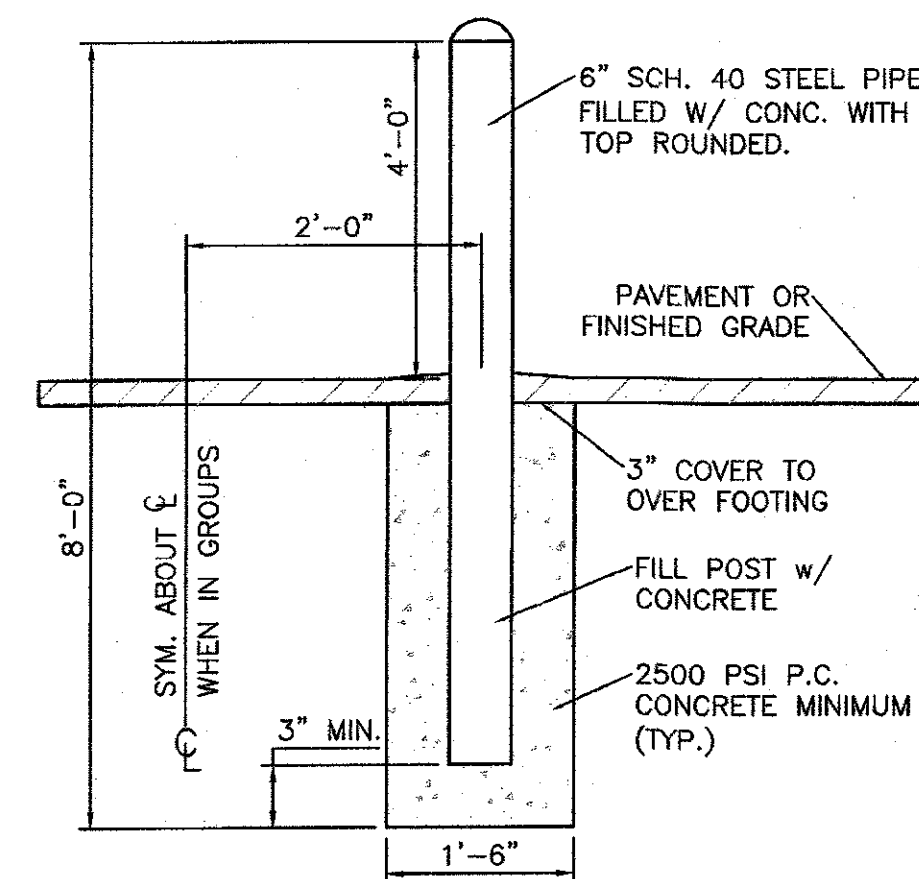
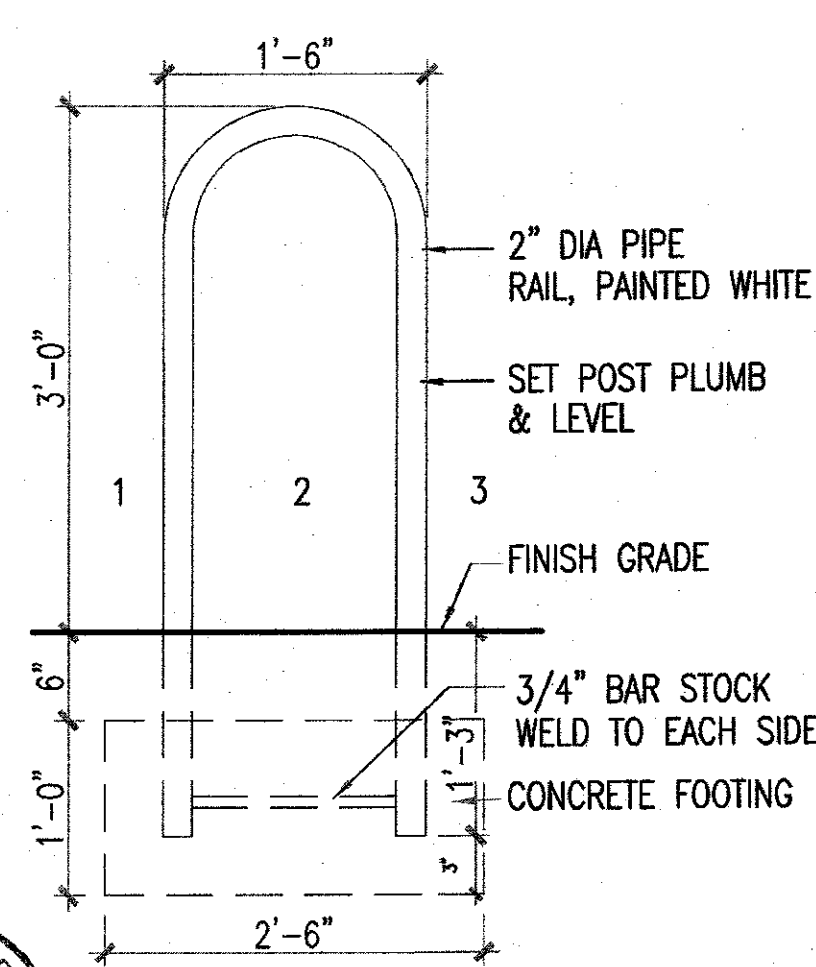
Engineer's Seal & Signature



Dumpster Enclosure Gate Latch Detail
SCALE: NONE



Dumpster Enclosure Wall Section
SCALE: NONE



NOTE: ALL PIPES SHALL BE PAINTED TRAFFIC YELLOW

BOLLARD DETAIL
NTS

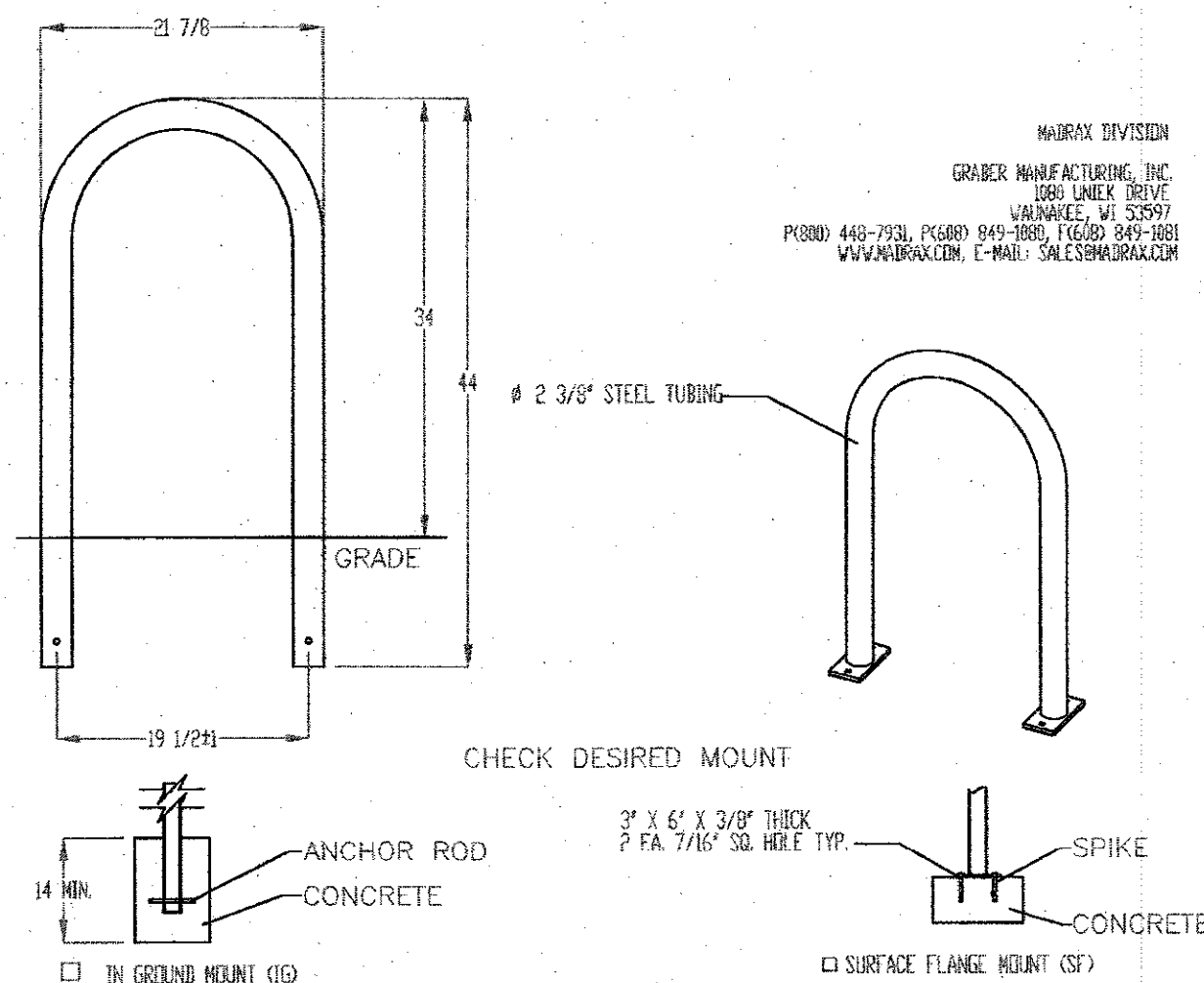
TRAFFIC CIRCULATION LAYOUT APPROVED

September 29, 2020

Jeane Wolfenbarger

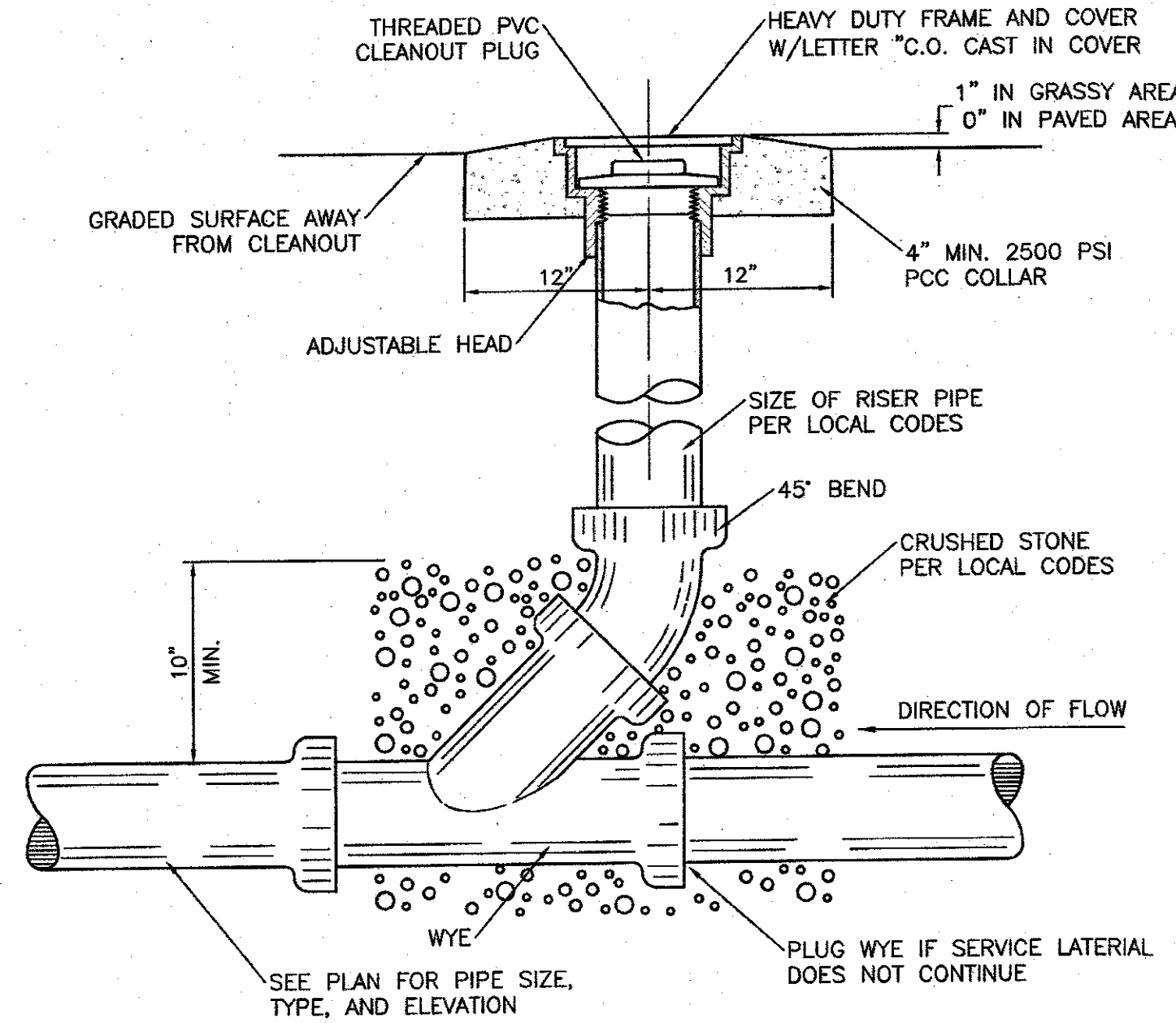
CD SET

<p>ENGINEER'S SEAL</p> <p>RONALD R. BOHANNAN NEW MEXICO 7868 04/09/2020 PROFESSIONAL ENGINEER</p> <p>RONALD R. BOHANNAN P.E. #7868</p>	<p>MAVERIK STORE #NM-98th ST AND BLUEWATER RD</p> <p>CONSTRUCTION DETAILS</p> <p>TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierwestllc.com</p>	<p>DRAWN BY pm</p> <p>DATE 4-10-2020</p> <p>DRAWING 2018086-SP</p> <p>SHEET # SP-2</p> <p>JOB # 2018086</p>
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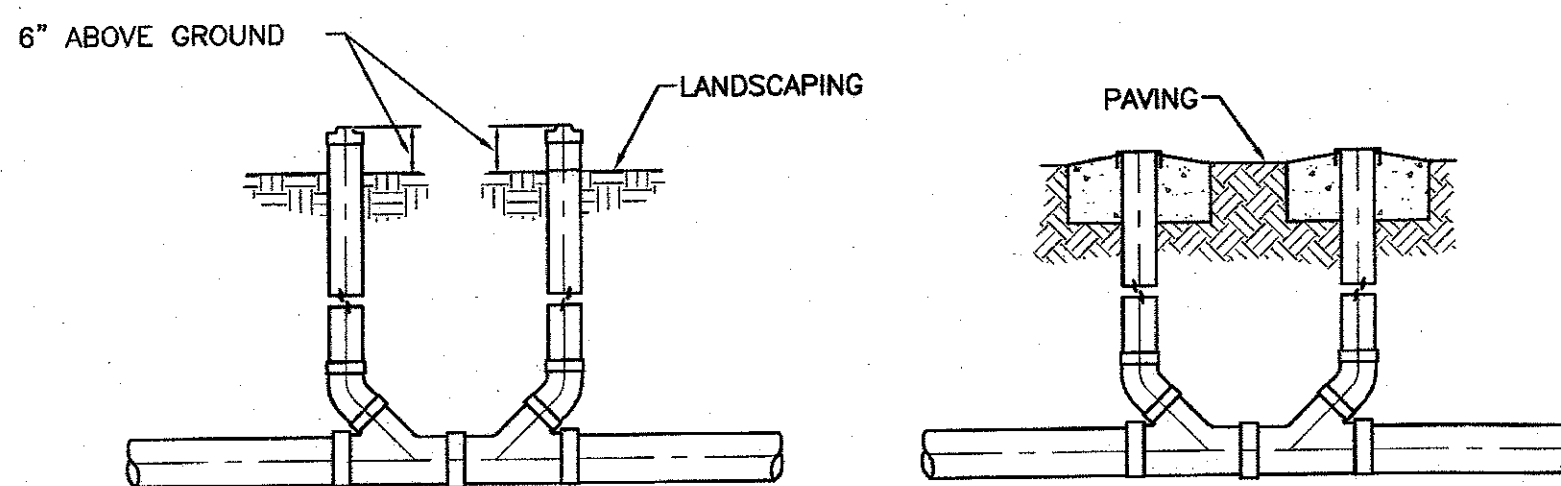


PRODUCT: 1238-1657
DESCRIPTION: 1" BIKE RACK
DATE: 10-4-18
ENG: SMC
CONTINENTAL DRAWING AND INFORMATION IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF GRABER MANUFACTURING, INC. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
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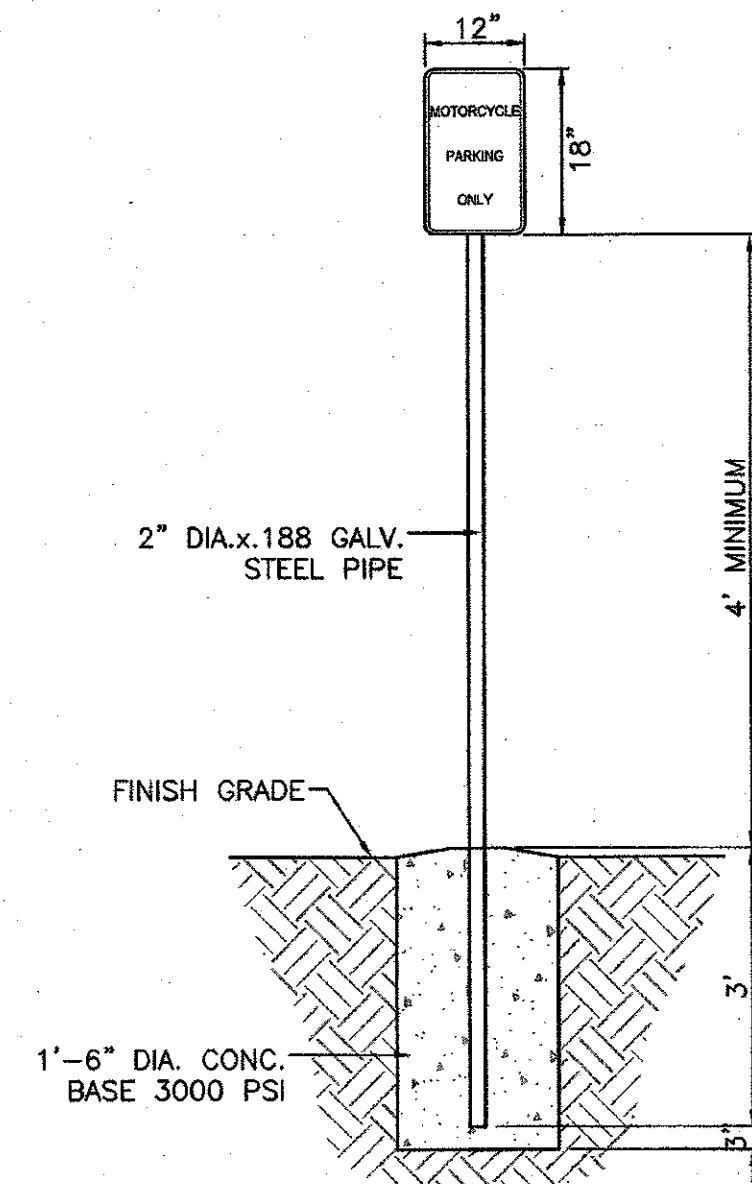
BIKE RACK DETAIL
SCALE NONE



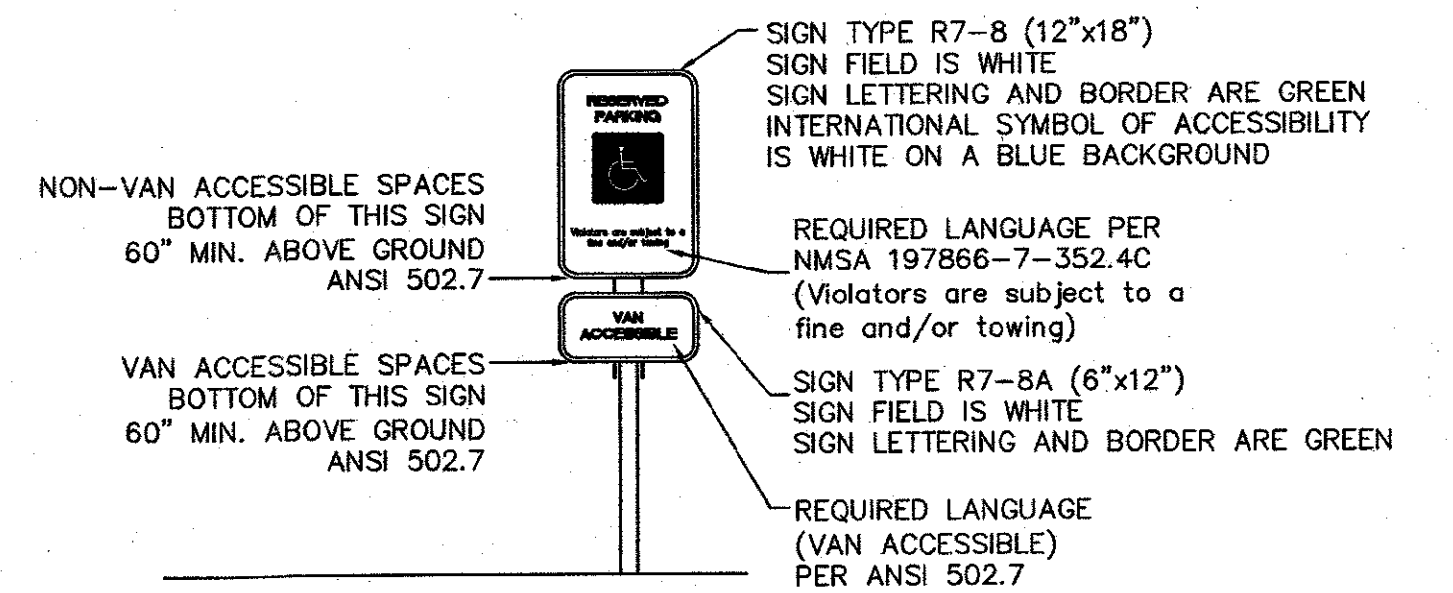
SANITARY SEWER CLEAN-OUT
NTS



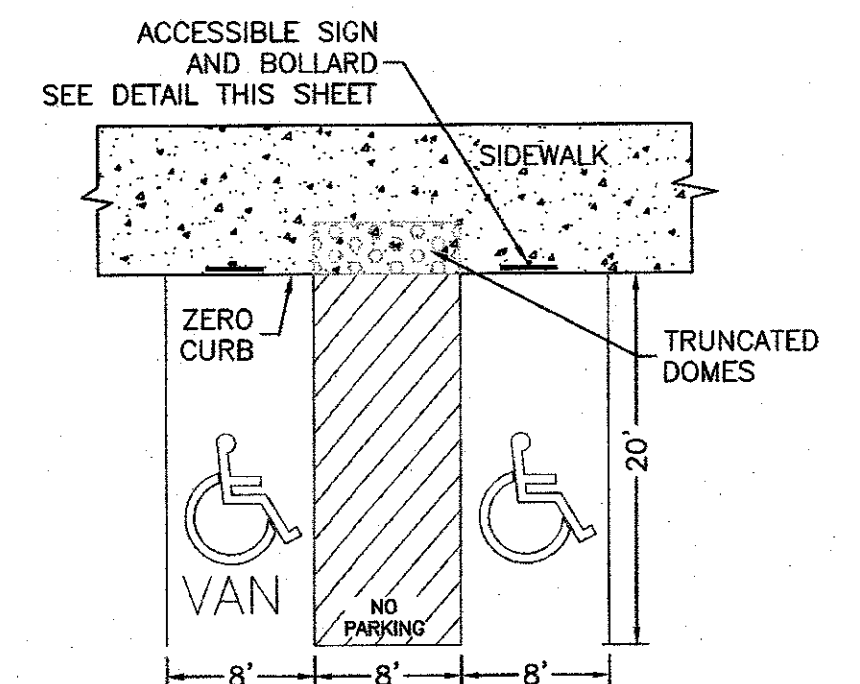
SANITARY SEWER DOUBLE CLEAN-OUTS
NTS



MOTORCYCLE PARKING SIGN
NTS



ACCESSIBLE PARKING SIGN
NTS



NOTES:
1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
2) Parking space lines and diagonal striping to be painted blue.
3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
4) ADA parking areas - not to exceed a slope greater than 2% in any direction

HC PARKING DETAIL
NTS

TRAFFIC CIRCULATION LAYOUT APPROVED

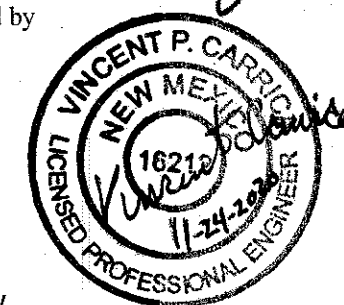
September 29, 2020

Jeanne Wolfenbarger

CERTIFICATE OF SUBSTANTIAL COMPLIANCE ON PLANS

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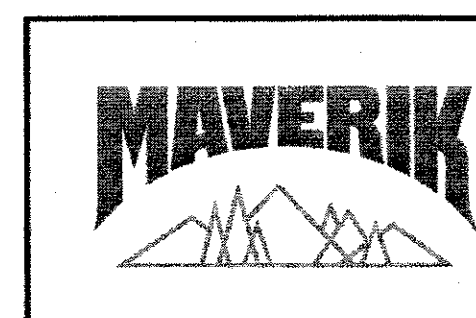
Engineer's Seal
& Signature



The Purpose of this Temporary Certification is to allow equipment vendors to install equipment and to allow contractor to complete punch list items.

CD SET

ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7868	MAVERIK STORE #NM-98th ST AND BLUEWATER RD	DRAWN BY pm
	CONSTRUCTION DETAILS	DATE 4-10-2020
	TERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2018086-DET
		SHEET # DET-2



TOW

TIERRA WEST, LLC

November 24, 2020

Mr. Ernie Gomez
Development Review Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT CERTIFICATION
CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY
MAVERIK STORE, 9701 BLUEWATER RD NW, ALBUQUERQUE, NM 87121**

Dear Mr. Gomez:

I, Vincent P. Carrica, NMPE #16212, of the firm Tierra West LLC, hereby request approval of the Approved Site Plan for Building Permit for issuance of the Temporary Certificate of Occupancy for the project referenced above. This project is in general compliance as inspected on November 24, 2020 and is in accordance with the design intent of the Approved Site Plan for Building Permit dated 9-29-2020. This certification is submitted in support of the request for Temporary Certificate of Occupancy for the building.

This request is to allow vendors to occupy the building while the building contractor completes the noted punchlist items.

Transportation Punchlist

- 1) Install wedge bollards at high flow dispensers
- 2) Complete landscaping
- 3) Install remaining ADA parking with signage
- 4) Complete slope paving
- 5) Install Motorcycle parking signage
- 6) Install truncated domes at ADA parking ramp
- 7) Complete drainage pond emergency overflow

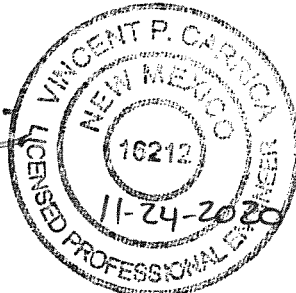
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Site Plan for Building Permit. Therefore, we request approval of the as-built Site Plan for Building Permit for a Temporary Certificate of Occupancy until the building is completed.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,


Vincent P. Carrica, P.E.



JN: 2017035
VPC

5571 Midway Park Pl. NE
Albuquerque, NM 87109
(505) 858-3100 fax (505) 858-1118 1-800-245-3102
tierrawestllc.com



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Maverik 98th & Bluewater **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TR 11 PLAT OF TRACTS 1 THRU 12 AVALON SUBDIVISION UNIT 5
City Address: 9701 Bluewater Rd NW

Applicant: Tierra West, LLC **Contact:** _____
Address: 5571 Midway Park NE Albuquerque NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** vcarrica@tierrawestllc.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11-24-2020 **By:** Vince Carrica

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____