

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 30, 2024

Troy D Kelts, PE
Galloway
5500 Greenwood Plaza Blvd
Greenwood Village, CO 80111

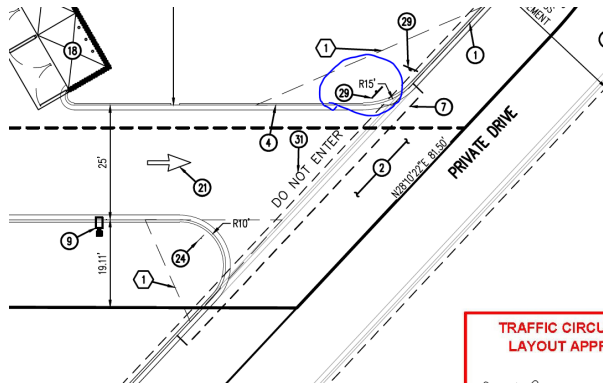
Re: Sonic
9701 Bluewater Rd.
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 08-03-23 (K09-D048C)
Certification dated 08-20-24

Dear Mr. Kelts,

Based upon the information provided in your submittal received 08-27-24, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Per approved site plan, keynote 29: a "DO NOT ENTER" sign must be provided at the southeast site exit.



- The approved site plan and parking table indicate that 4 bicycle parking spaces should be provided. However, per site visit, only one bike rack hoop was provided (which accommodates only two bicycles), please either red-mark the parking table on the site plan to reflect this change, or provide an additional bike rack to meet the parking table requirements.

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

August 19, 2024


Ernest Armijo, PE, CFM
Plaza Del Sol
600 2nd St. NW
Albuquerque, NM 87102

RE: Certification Letter for 9701 Bluewater Rd

Dear Mr. Armijo,

I, Troy Kelts, NMPE 22102, of the firm Galloway and Company, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved plan dated 8/3/2023. I further certify that i have determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

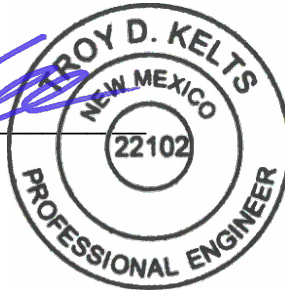
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Troy D Kelts, NMPE 22102

8/20/2024

Date



THE MERRITT GROUP

SONIC # 6954

98TH STREET NORTHWEST AND BLUEWATER ROAD
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

CIVIL CONSTRUCTION DRAWINGS

OWNER/DEVELOPER

B&B MERRITT REAL ESTATE GROUP, LLC
750 N. 17TH STREET
LAS CRUCES, NM 88005
ATTN: KEN MERRITT

CIVIL ENGINEER

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
ATTN: TROY KELTS, P.E.

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
ATTN: TROY NOSER, RLA

SURVEYOR

SURV-TEK, INC.
P.O. BOX 60805
ALBUQUERQUE, NM 87114
TEL: (505) 300-4732
ATTN: RUSS P. HUGG, P.S.

GEOTECHNICAL ENGINEER

WESTERN TECHNOLOGIES, INC.
8305 WASHINGTON PLACE
ALBUQUERQUE, NM 87113
TEL: (505) 823-4488
ATTN: JEFF M. BOYD, P.E.

AGENCIES

PLANNING

CITY OF ALBUQUERQUE PLANNING DEPARTMENT
PLAZA DEL SOL BUILDING
600 SECOND NW
ALBUQUERQUE, NM 87102
TEL: (505) 824-3860
EMAIL: PLANNINGDEPARTMENT@CABQ.GOV
ATTN: ALAN VARELA-INTERIM DIRECTOR

WATER & SANITARY

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
1441 MISSION AVE. NE
ALBUQUERQUE, NM 87113
TEL: 505-842-WATR
ATTN: BOB STRONG

STORM SEWER

DEPARTMENT OF MUNICIPAL DEVELOPMENT
ONE CIVIC PLAZA
ROOM 7057
ALBUQUERQUE, NEW MEXICO 87102
TEL: (505) 768-3830

ELECTRIC

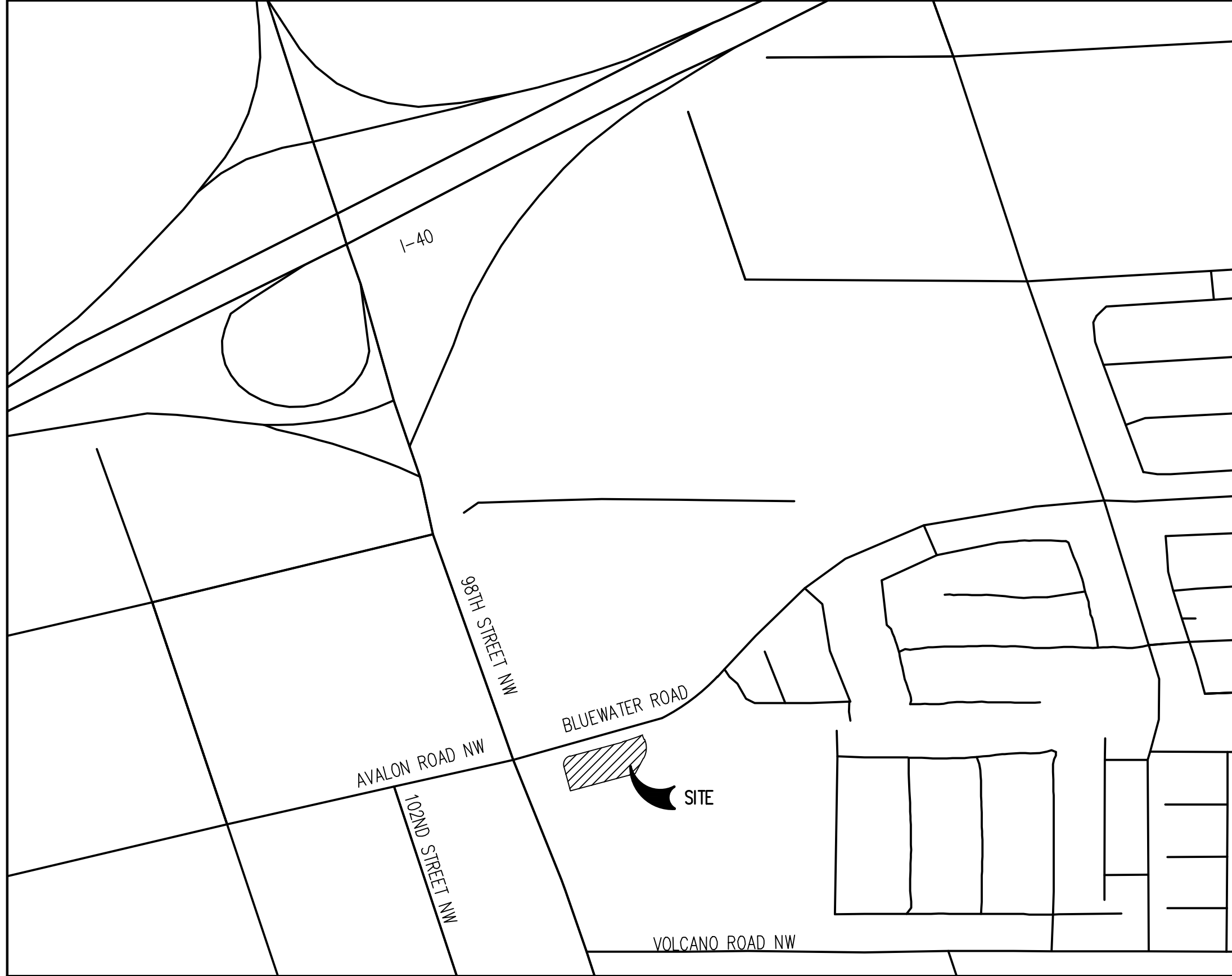
PWM
414 SILVER AVENUE SW
ALBUQUERQUE, NM 87102
TEL: (505) 241-2700
ATTN: ANDREW MCNAUGHTON

FIRE PROTECTION

ALBUQUERQUE FIRE RESCUE
11500 SUNSET GARDENS SW
ALBUQUERQUE, NM 87121
TEL: (505) 244-3473
EMAIL: TRUJIZ@CABQ.GOV
ATTN: TOM RUZ

GAS

NEW MEXICO GAS COMPANY
4525 EDITH BOULEVARD
ALBUQUERQUE, NM 87107
TEL: (888) 664-2726
ATTN: ANTONETTE DOMINGUEZ



VICINITY MAP
SCALE: 1"=500'

SHEET INDEX

SHEET NUMBER	SHEET TITLE	REVISION DATE
C0.0	COVER SHEET	
C1.0	SITE PLAN	
C1.1	SITE DETAILS	
C2.0	GRADING PLAN	
C5.0	TRUCK TURN PLAN	

LIST OF ABBREVIATIONS

SHT – SHEET
Δ – DEFLECTION ANGLE
L – LENGTH
R – RADIUS
CB – CHORD BEARING
C – CHORD LENGTH
N – NORTH/NORTHING
W – WEST
E – EAST/EASTING
S – SOUTH
DET – DETAIL
EX – EXISTING
W/ – WITH
PC – POINT OF CURVATURE/PORTLAND CEMENT
WVF – WELDED WIRE FABRIC
VERT – VERTICAL
OC – ON CENTER
FDC – FIRE DEPARTMENT CONNECTION
CT – COURT
DR – DRIVE
TYP – TYPICAL
REC – RECEPTION NUMBER
Ø, DIA – DIAMETER
PT – POINT OF TANGENCY
MIN – MINIMUM
MAX – MAXIMUM
HDPE – HIGH DENSITY POLYETHYLENE

COVER SHEET CONSTRUCTION NOTES

- FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEW AND PERMITS BY GENERAL CONTRACTOR (GC).
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE BERNALILLO COUNTY FIRE DEPARTMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE SITE SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- ACCESS SHALL BE ALLOWED ON AND ACROSS THE SITE DURING CONSTRUCTION FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY NEW MEXICO DEPARTMENT OF TRANSPORTATION.
- ALL DWP PIPING SHALL BE POLYWRAPPED FOR CATHODIC PROTECTION PER BERNALILLO COUNTY STANDARDS.
- EXCAVATION AND EMBANKMENT MATERIAL SHALL MEET SECTION 203 OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR REQUIREMENTS OTHERWISE SPECIFIED IN THE APPROVED SOILS REPORT.
- ALL WORK WITHIN PUBLIC R.O.W. SHALL BE PER JURISDICTIONS/DEPARTMENTS NMDOT STANDARDS AND SPECIFICATIONS (CURRENT EDITION)
- ALL WORK FOR WATER SERVICE, FIRE SERVICE, AND FIRE HYDRANT ASSEMBLIES SHALL BE PER THE WATER AUTHORITY STANDARDS AND SPECIFICATIONS (CURRENT EDITION).
- SIGN, AND MARKING STANDARDS: ALL WORK SHALL BE PER THE NMDOT STANDARDS AND SPECIFICATIONS (CURRENT EDITION) UNLESS SHOWN OTHERWISE.
- ALL WASTEWATER WORK SHALL BE PER THE WATER AUTHORITY STANDARDS AND SPECIFICATIONS (CURRENT EDITION).
- REFERENCE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, FOR ADDITIONAL INFORMATION.

BASIS OF BEARING

RECORD BEARINGS AND DISTANCES PER PLAT (5/22/2014, 2014C-46)

LEGAL DESCRIPTION

TRACT A, OF AVALON SUBDIVISION UNIT 5, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 29, 2022, IN PLAT BOOK 2022C, FOLIO 39 AS DOCUMENT NO. 2022045240.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION; CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED SONIC RESTAURANT

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES INC.

PROJECT NO: 3222P/J63 DATE: AUGUST 25, 2022

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com



COPYRIGHT

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



THE MERRITT GROUP
SONIC # 6954

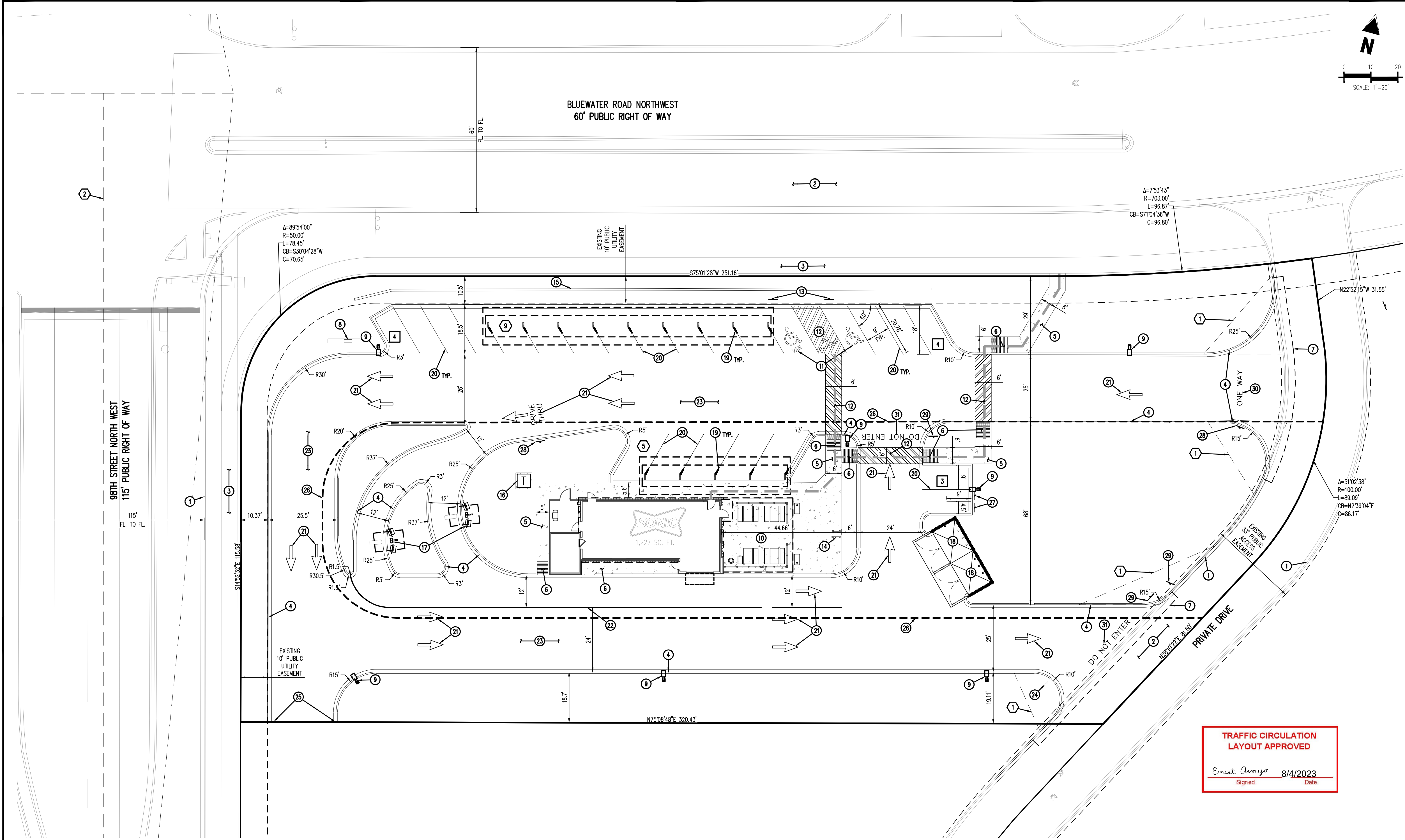
98TH STREET NORTHWEST AND BLUEWATER ROAD
ALBUQUERQUE, NM

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

Project No:	MSG00001
Drawn By:	JKS
Checked By:	DMP
Date:	07/24/2023

COVER SHEET

C0.0



SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY BOUNDARY LINE
- ROAD CENTERLINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- SETBACK LINE
- PROPOSED SAWCUT LINE
- PROPOSED CURB AND GUTTER
- EXISTING CURB AND GUTTER
- ADA PATH OF TRAVEL
- PARKING COUNT
- CANOPY PARKING COUNT
- EXISTING SIGN
- PROPOSED SIGN
- PROPOSED PIPE BOLLARD
- PROPOSED ADA PARKING SYMBOL
- PROPOSED DETECTABLE WARNING TRUNCATED DOMES
- EXISTING LIGHT POLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING TRAFFIC CONTROL

SCHEDULE

- | | |
|--------------------------------------------------------------------|----------------------------------------------------------------|
| 1 EXISTING CURB AND GUTTER TO REMAIN | 22 PAINT 4" WHITE STRIPE |
| 2 EXISTING ASPHALT TO REMAIN | 23 CONCRETE PAVING |
| 3 EXISTING SIDEWALK TO REMAIN | 24 PROPOSED R1-1 STOP SIGN |
| 4 CONSTRUCT 6" VERTICAL CURB & GUTTER (REF. SITE DETAILS) | 25 STOP PROPOSED CURB, GUTTER, AND PAVING AT THE PROPERTY LINE |
| 5 CONSTRUCT SIDEWALK (REF. SITE PLAN FOR DIMENSIONS) | 26 PROPOSED FIRE LANE PATH |
| 6 CONSTRUCT CURB RAMP (REF. SITE DETAILS) | 27 PROPOSED "MOTORCYCLE PARKING ONLY" SIGN |
| 7 PROPOSED CONSTRUCTION SAWCUT LINE | 28 PROPOSED "ONE WAY" SIGN |
| 8 INSTALL MONUMENT SIGN (REF. ARCH PLANS) | 29 PROPOSED "DO NOT ENTER" SIGN |
| 9 INSTALL SITE LIGHTING | 30 PAINT "ONE WAY" TEXT |
| 10 CONSTRUCT OUTDOOR SEATING AREA (REF. ARCH PLANS) | 31 PAINT "DO NOT ENTER" TEXT |
| 11 CONSTRUCT 9' X 18' ADA PARKING STALL AT 60" (REF. SITE DETAILS) | |
| 12 PAINT ACCESS AISLE W/4" SOLID BLUE STRIPING 2" O.C. @45° ANGLE | |
| 13 INSTALL ADA PARKING SIGNAGE (REF. SITE DETAILS) | |
| 14 INSTALL BIKE RACK (REF. SITE DETAILS) | |
| 15 BUILD RETAINING WALL | |
| 16 INSTALL TRANSFORMER PAD | |
| 17 INSTALL SONIC MENU BOARD AND VEHICLE DETECTOR LOOP | |
| 18 CONSTRUCT TRASH ENCLOSURE (REF. ARCH PLANS FOR DETAILS) | |
| 19 INSTALL SONIC MENU BOARD | |
| 20 PAINT 4" WHITE PARKING STRIPE | |
| 21 PAINT WHITE DIRECTIONAL ARROW (REF. SITE DETAILS) | |

SIGHT TRIANGLES

1. **CORNER SIGHT TRIANGLE:** SHOWN AT EACH INTERSECTION. CORNER TRIANGLES SHALL HAVE A 30' LEG LOCATED AT THE EDGE OF EACH STREET FLOWLINE AND A 30' LEG LOCATED IN THE INTERSECTING STREET'S FLOWLINE. CORNER TRIANGLES SHALL BE FREE OF ALL ITEMS OVER 30" IN HEIGHT EXCEPT FOR TRAFFIC CONTROL DEVICES AND EQUIPMENT.
2. **AASHTO SIGHT TRIANGLE:** PLACE ONE LEG OF THE TRIANGLE IN THE CENTER OF THE EXIT LANE OF THE DRIVEWAY OR INTERSECTING STREET 18' BACK OF THE EDGE OF TRAVELED WAY AND THE OTHER LEG'S LENGTH SHOULD BE PER AASHTO GUIDELINES FOR DEPARTURE TRIANGLES AND LOCATED IN THE CENTER OF THE APPROACHING LANE. NO ITEMS THAT ARE WIDER THAN 18 INCHES MAY BE TALLER THAN 30" WITHIN THIS TRIANGLE EXCEPT FOR STREET TREES AND TRAFFIC CONTROL DEVICES AND EQUIPMENT.

SITE PLAN NOTES

- ALL CURB AND GUTTER IS CATCH CURB UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE MEASURED FROM THE FLOWLINE UNLESS NOTED OTHERWISE.
- ALL ON-SITE CURB AND GUTTER SHALL BE 6" VERTICAL WITH 12" GUTTER.
- ALL ROADWAY CURB AND GUTTER SHALL BE C&G 6" VERTICAL WITH 18" GUTTER.
- ALL IMPROVEMENTS SHALL BE PERFORMED IN A SINGLE PHASE OF CONSTRUCTION.
- SECURITY FENCE REQUIRES APPROVAL BY SEPARATE PERMIT.
- THE PROPOSED STORM SYSTEM AND STORMWATER DETENTION FACILITY ON-SITE IS PRIVATELY OWNED AND MAINTAINED.
- ALL GATE OPENINGS SHALL HAVE A MINIMUM 20' CLEAR WIDTH AND MEET BERNALILLO COUNTY FIRE DEPARTMENT SPECIFICATIONS.
- GC SHALL BE RESPONSIBLE TO COORDINATE WITH BERNALILLO COUNTY FOR THE CONSTRUCTION WITHIN THE ROADWAY.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED SONIC RESTAURANT

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES INC.

PROJECT NO: 3222PJ63 DATE: AUGUST 25, 2022

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION; CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



COPYRIGHT
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



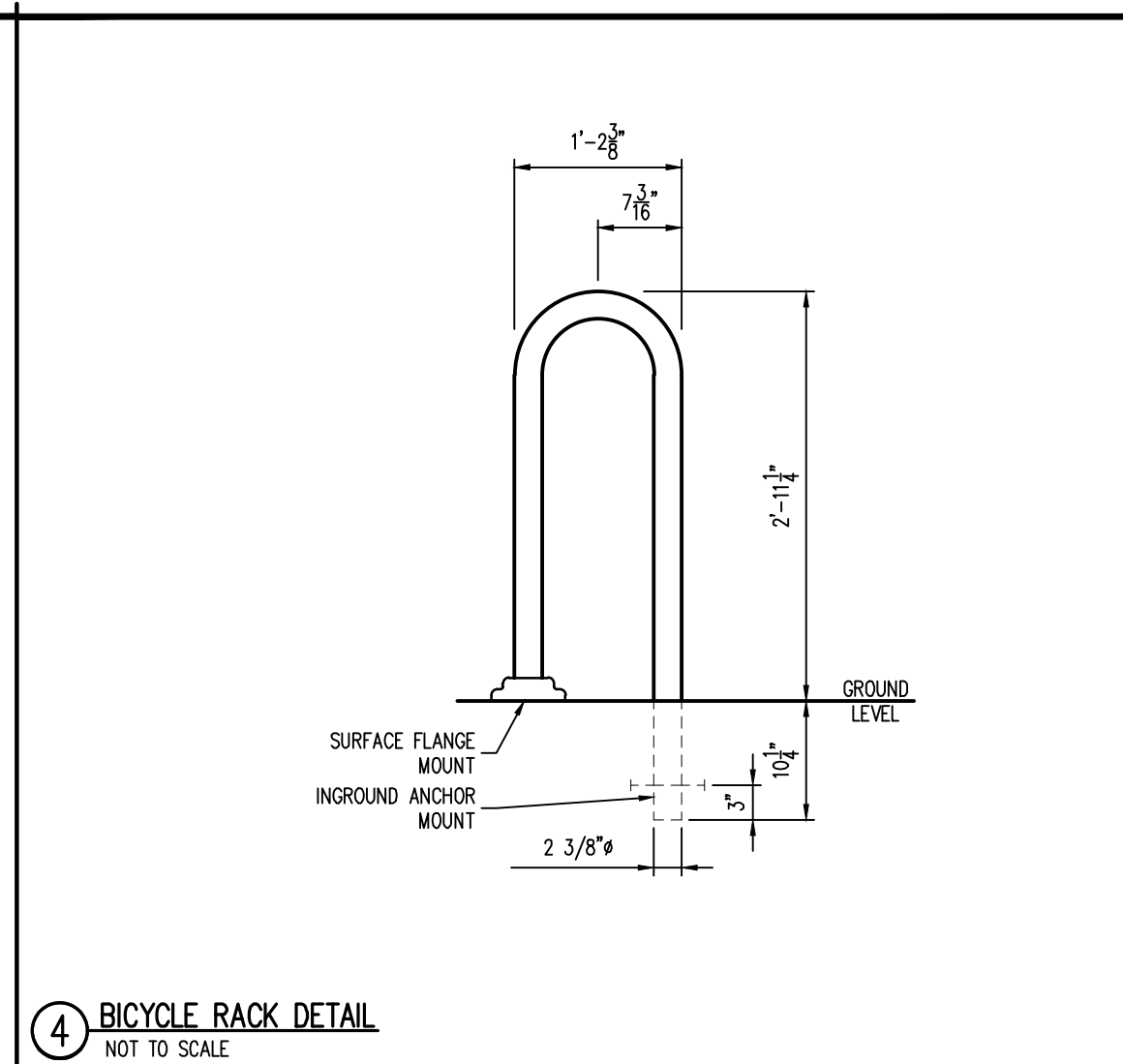
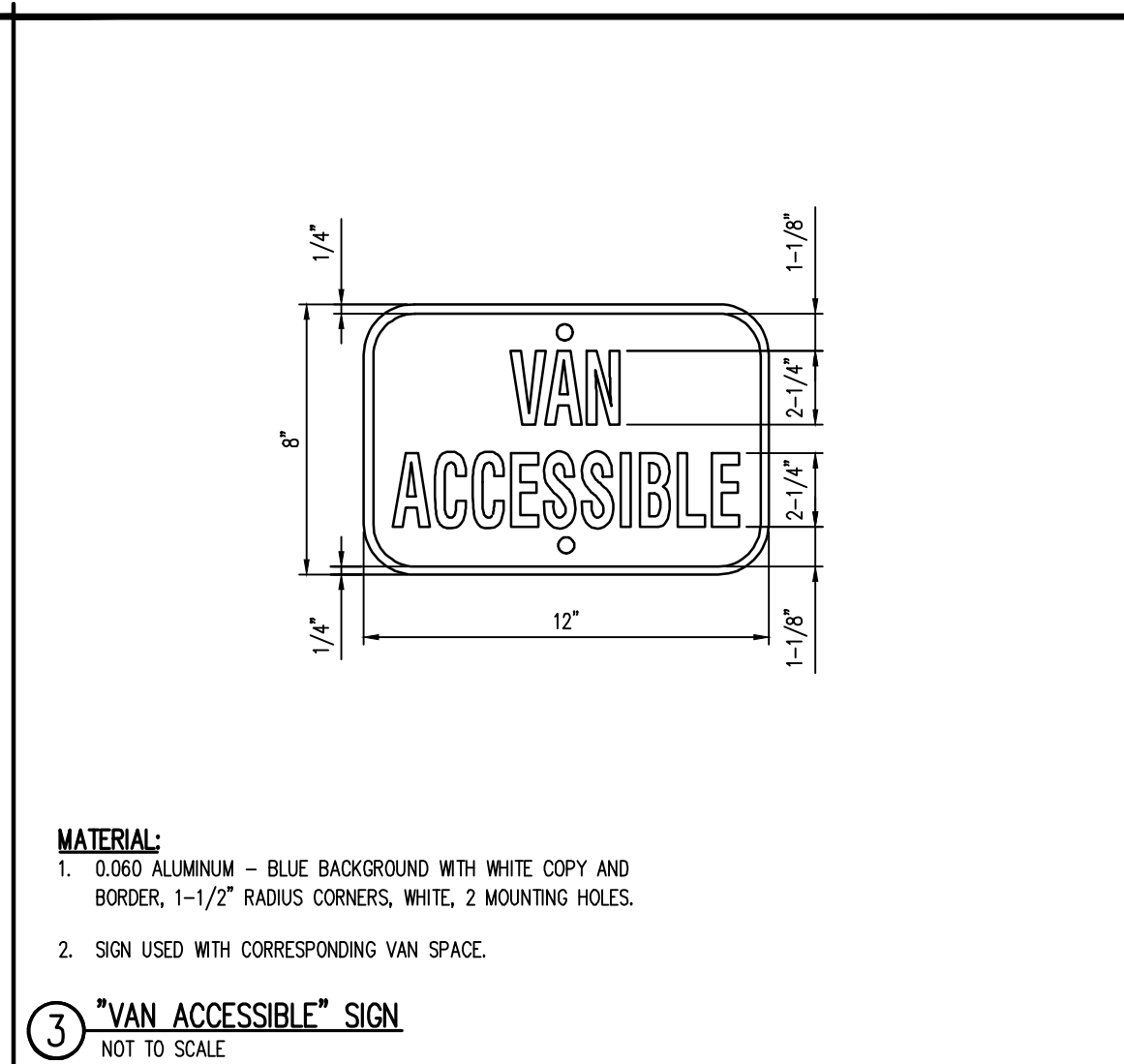
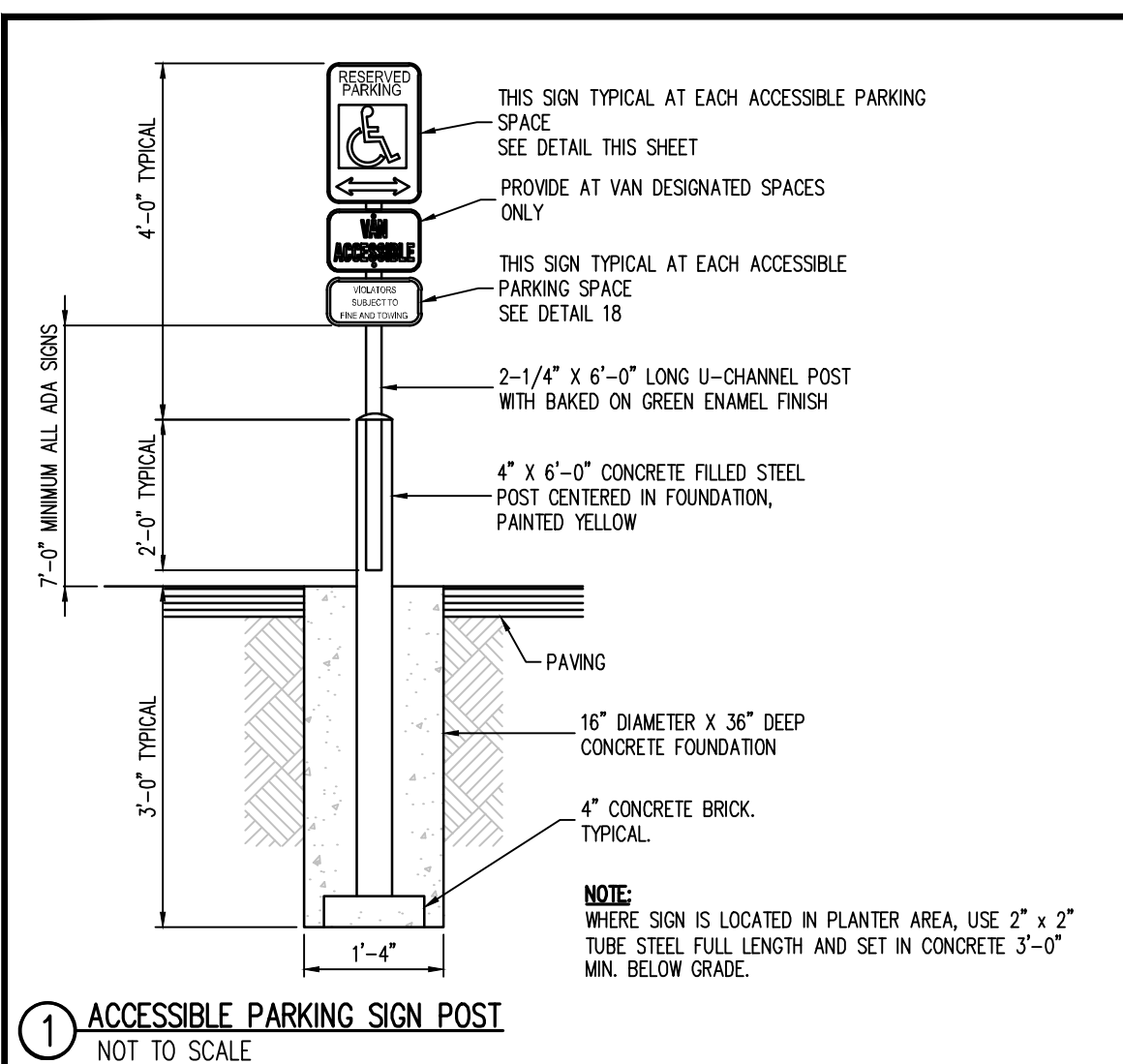
THE MERRITT GROUP
SONIC # 6954

98TH STREET NORTHWEST AND BLUEWATER ROAD
ALBUQUERQUE, NM

#	Date	Issue / Description	Init.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			

Project No: MGS000001
Drawn By: JKS
Checked By: DMP
Date: 07/24/2023

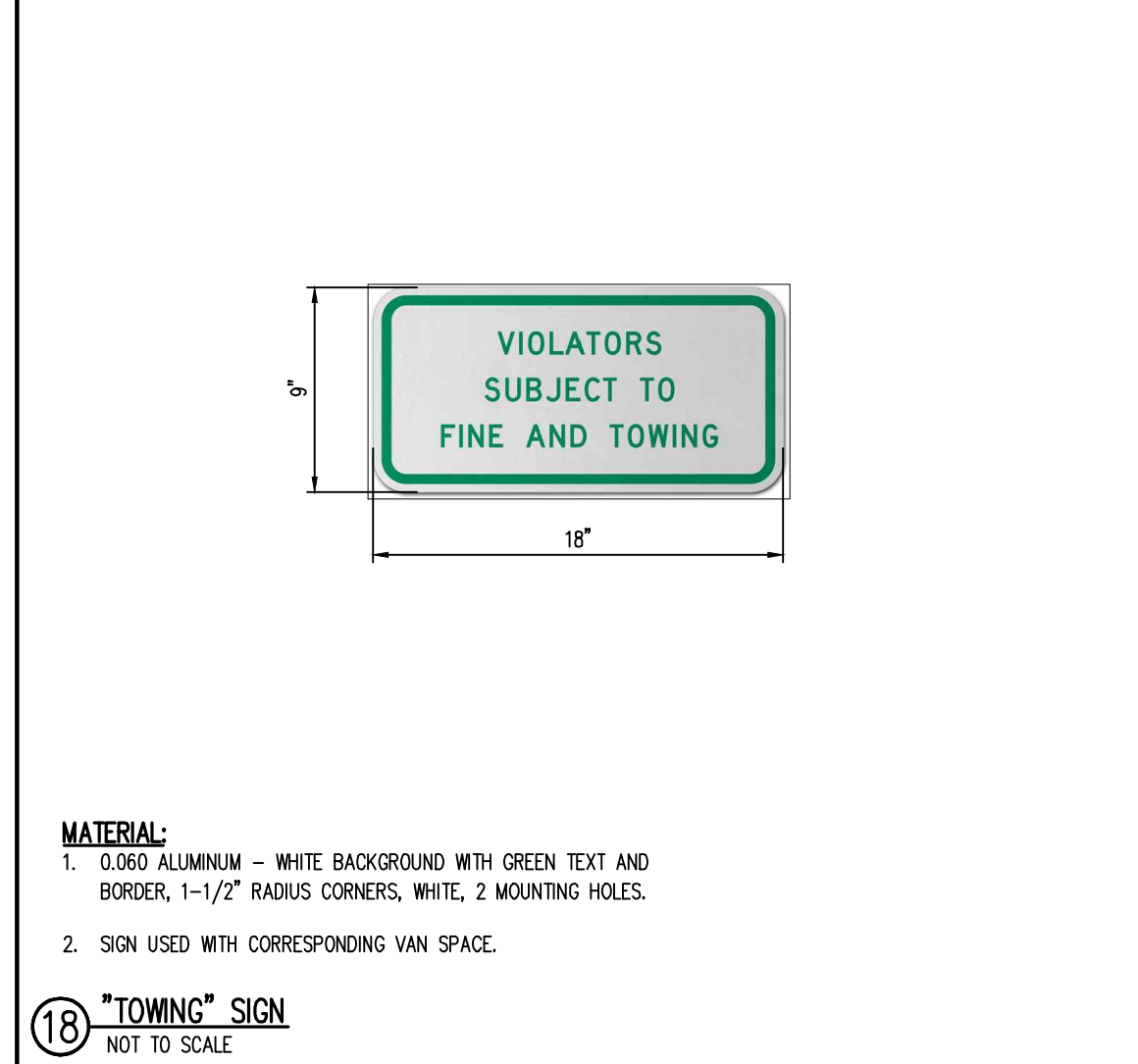
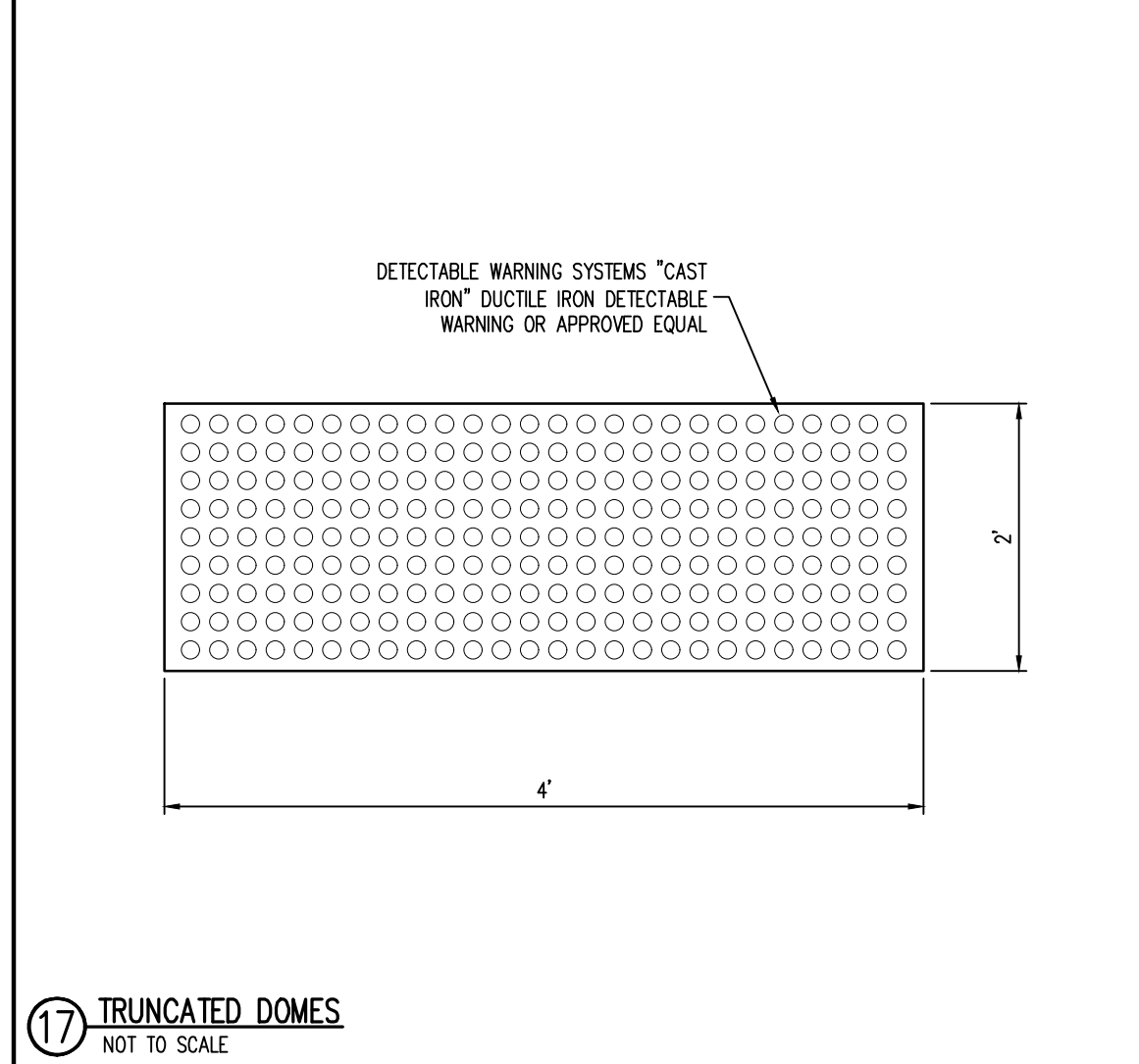
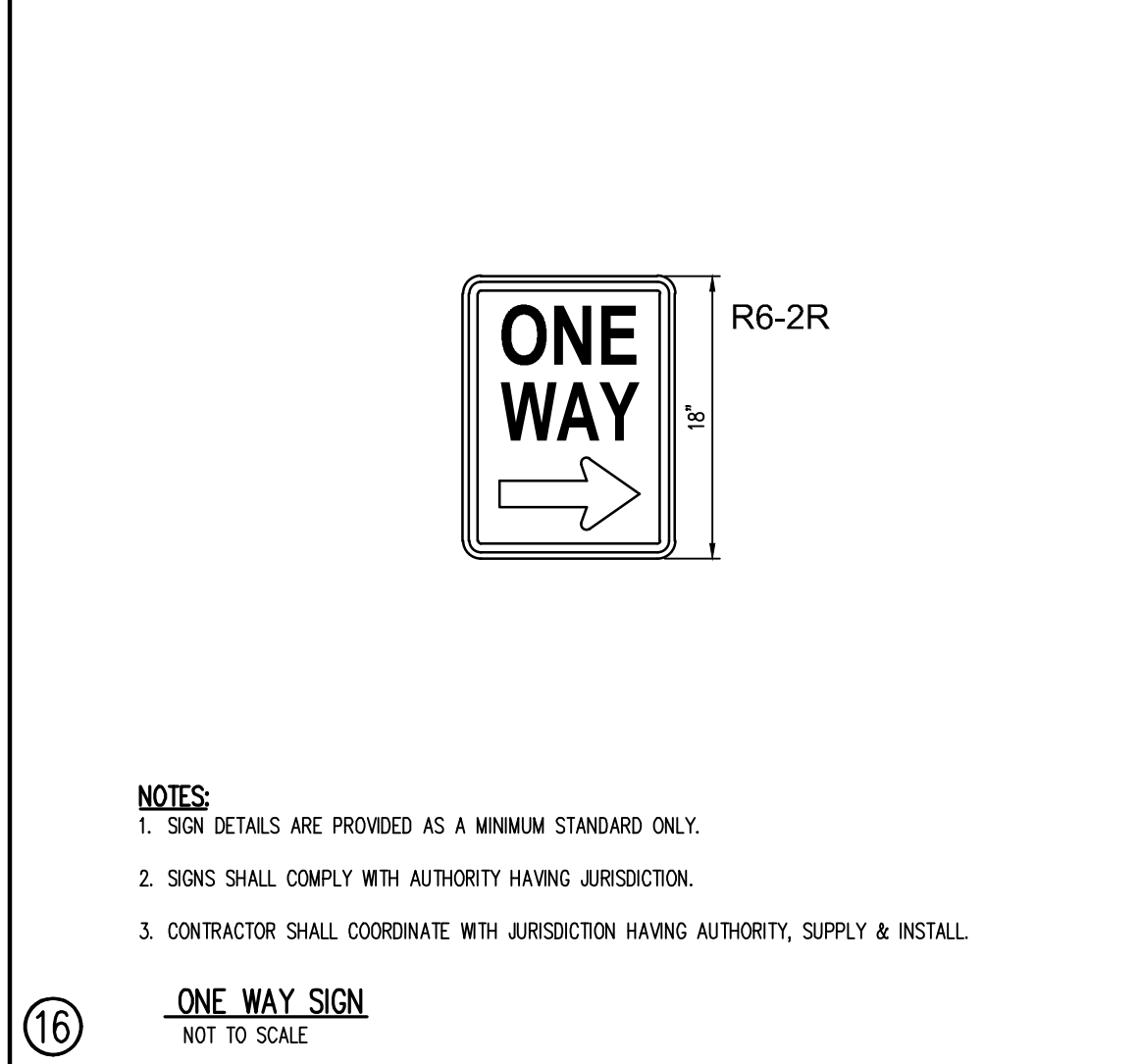
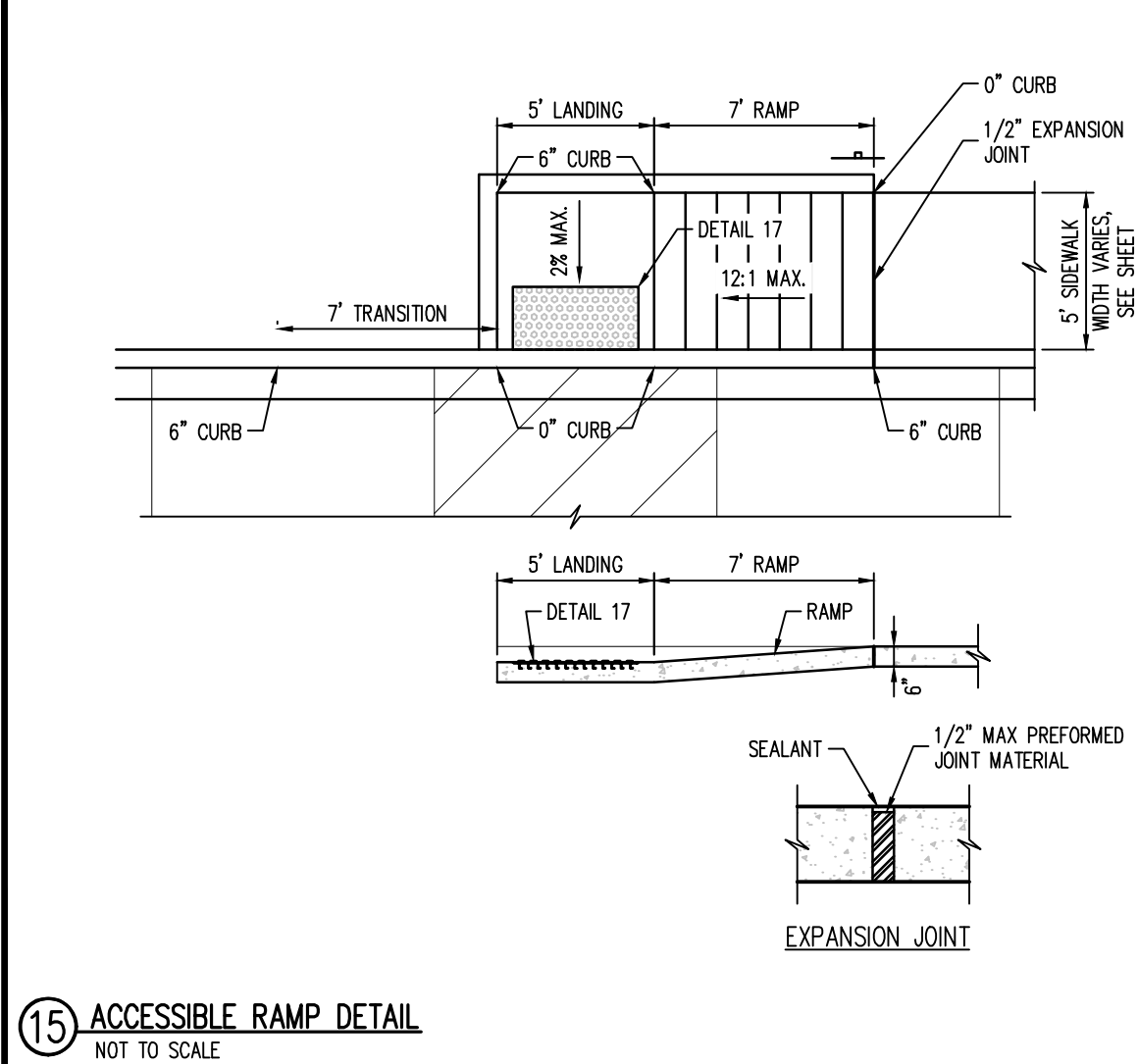
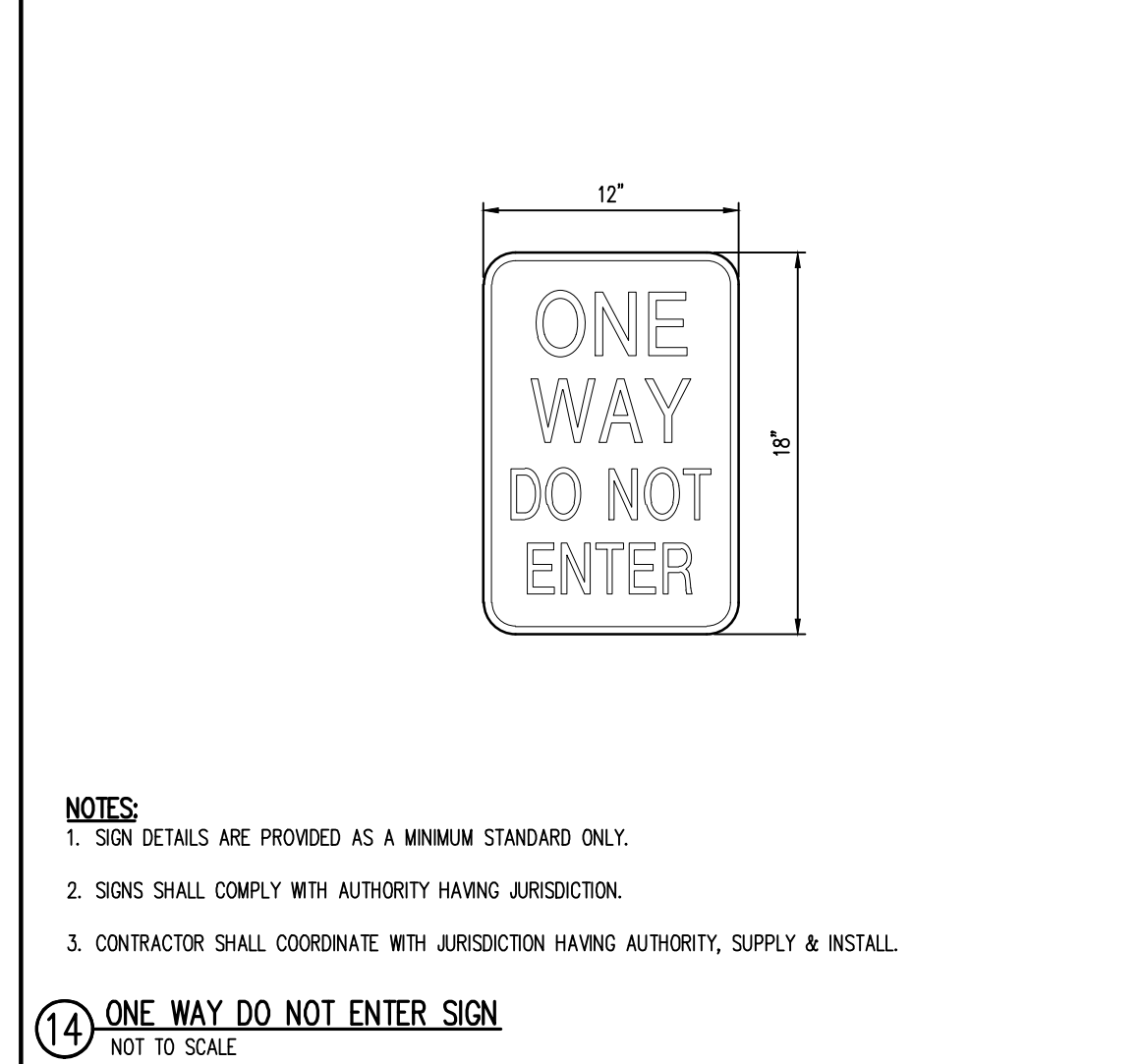
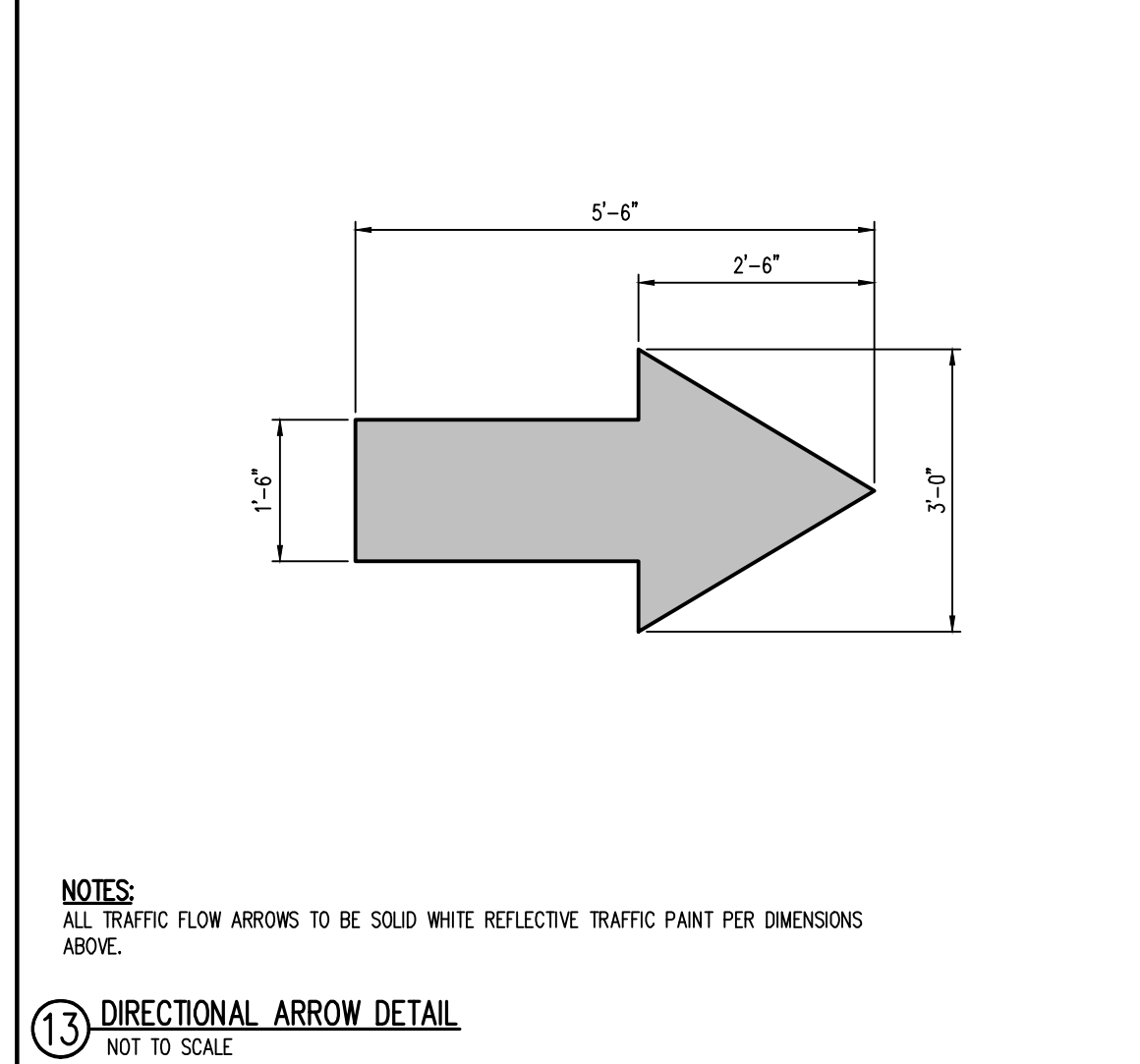
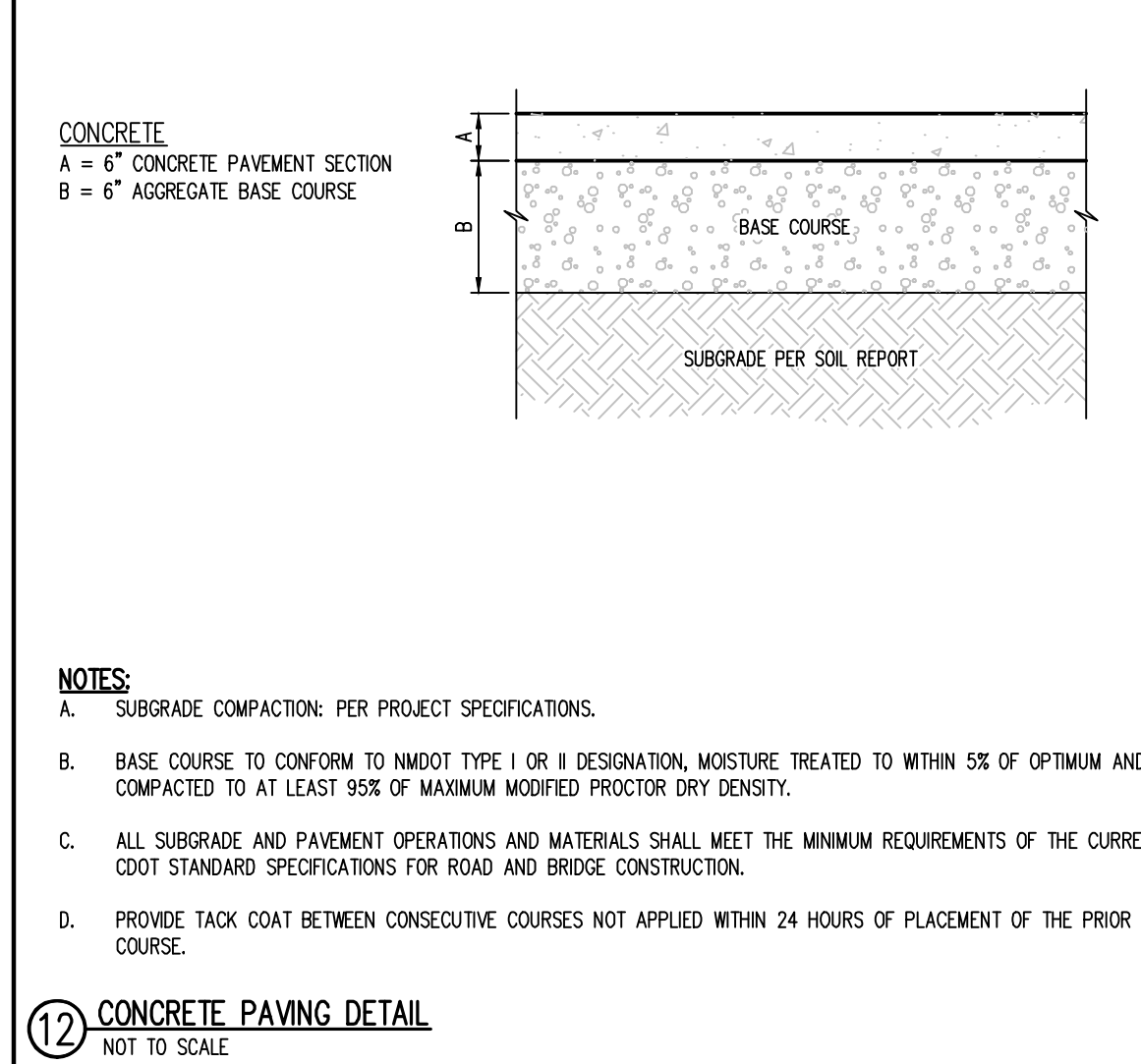
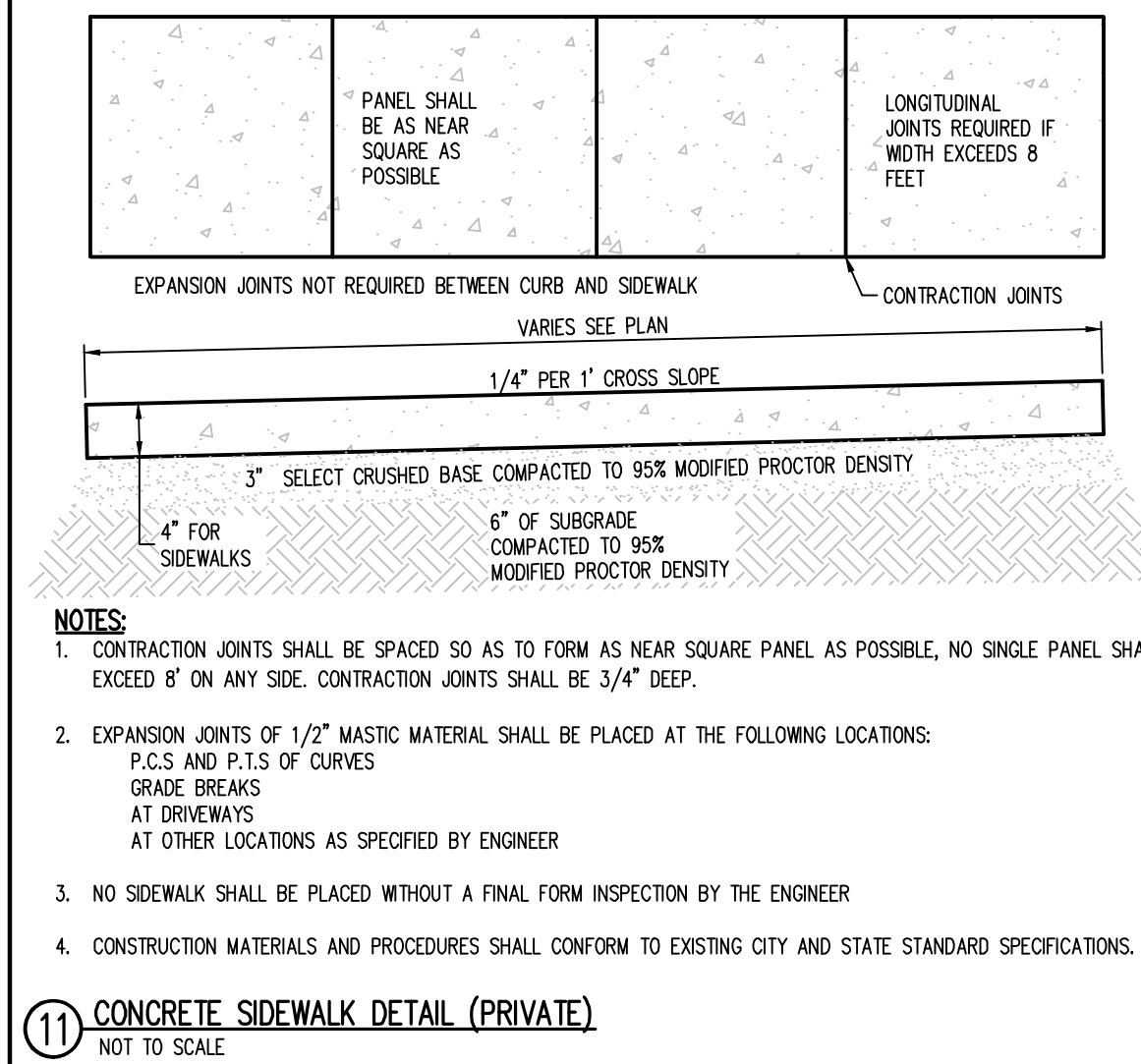
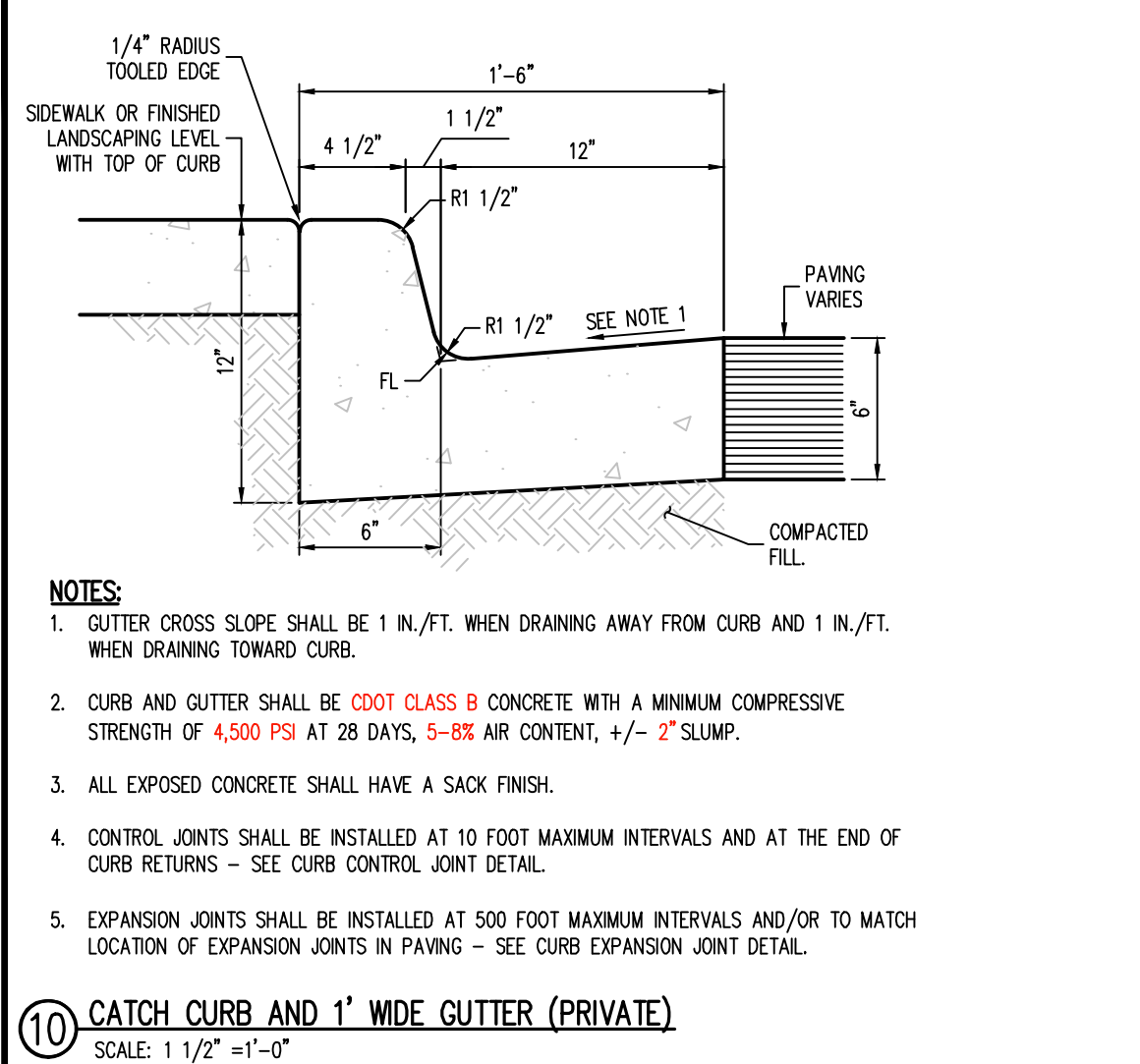
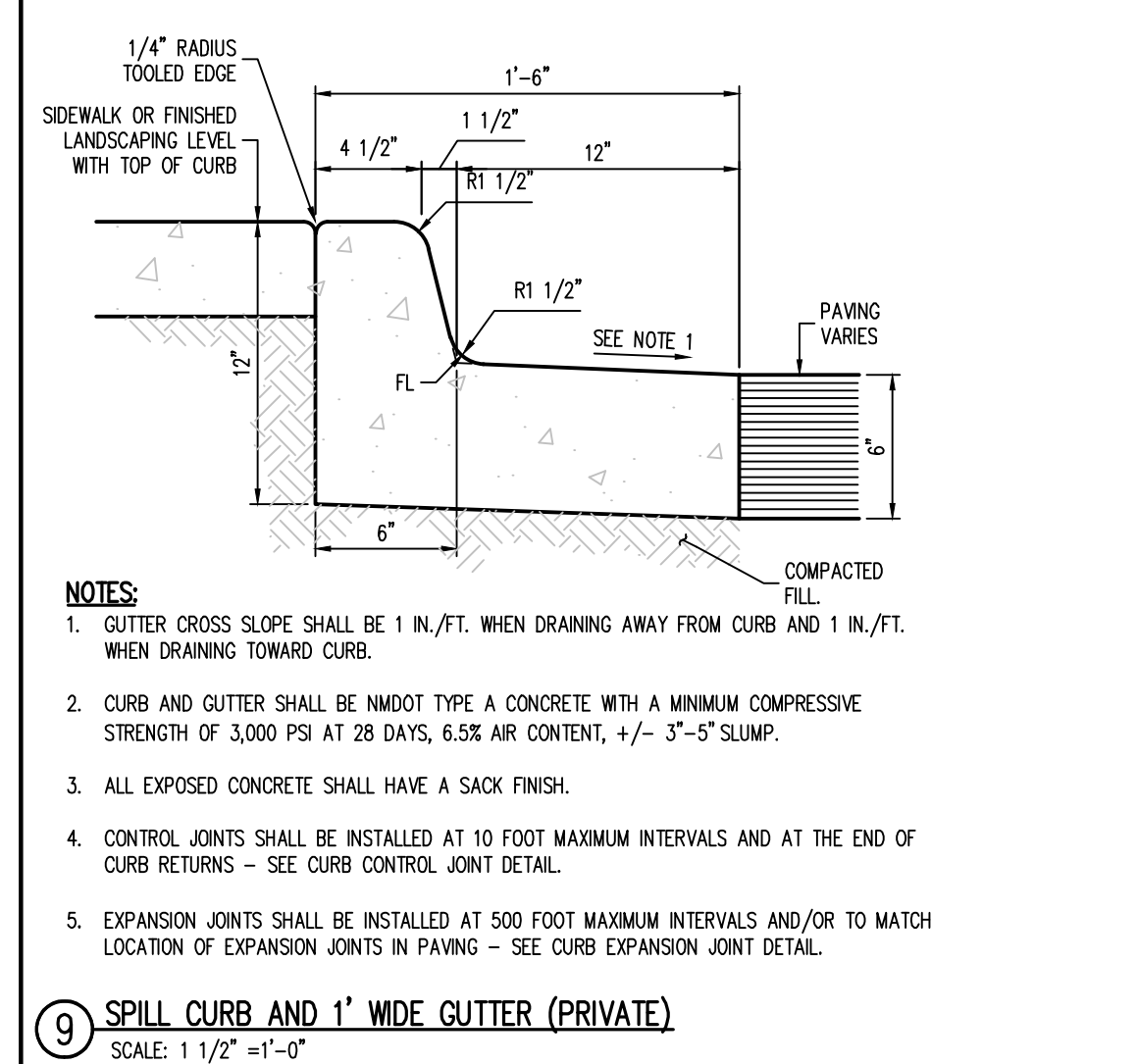
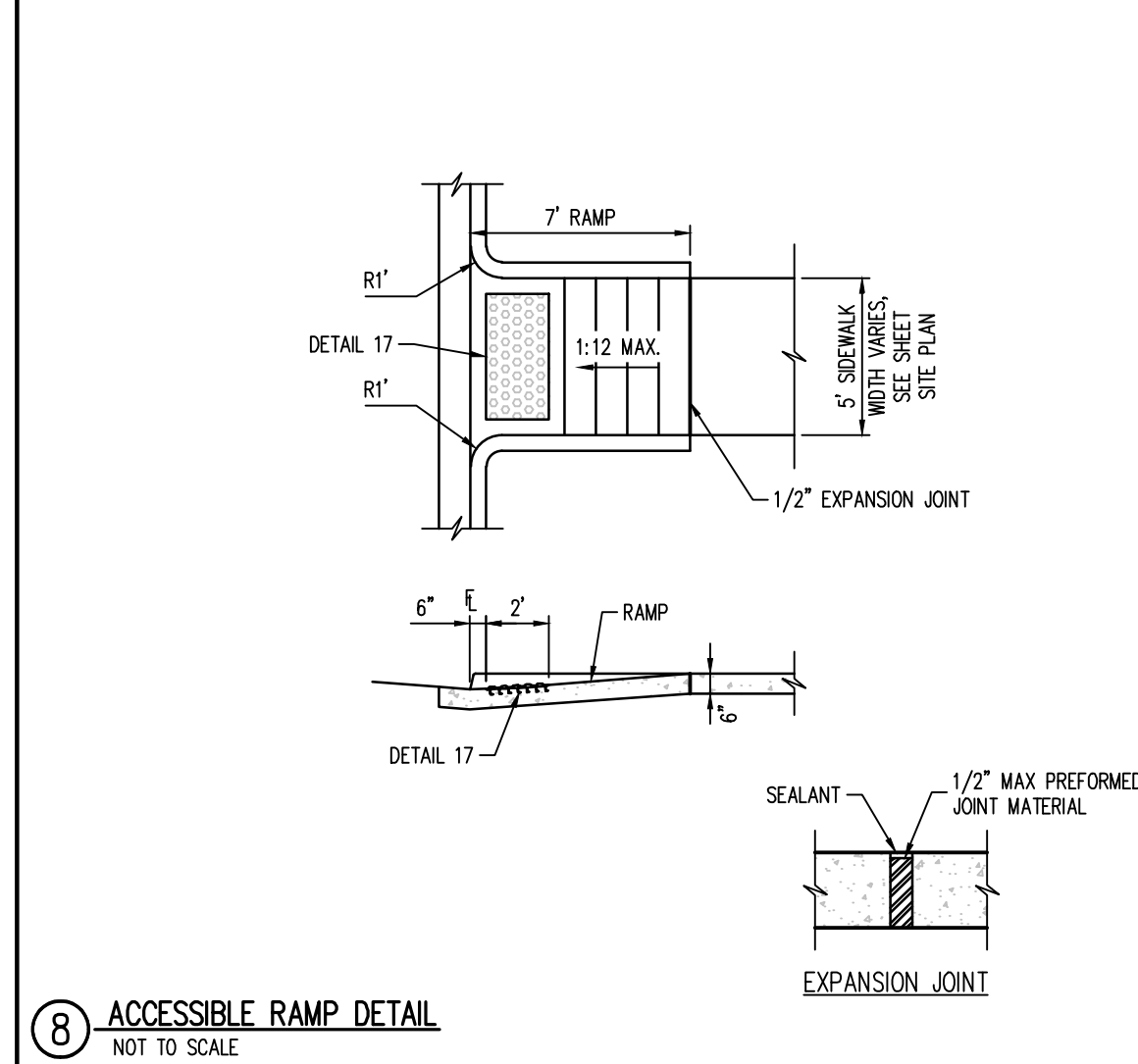
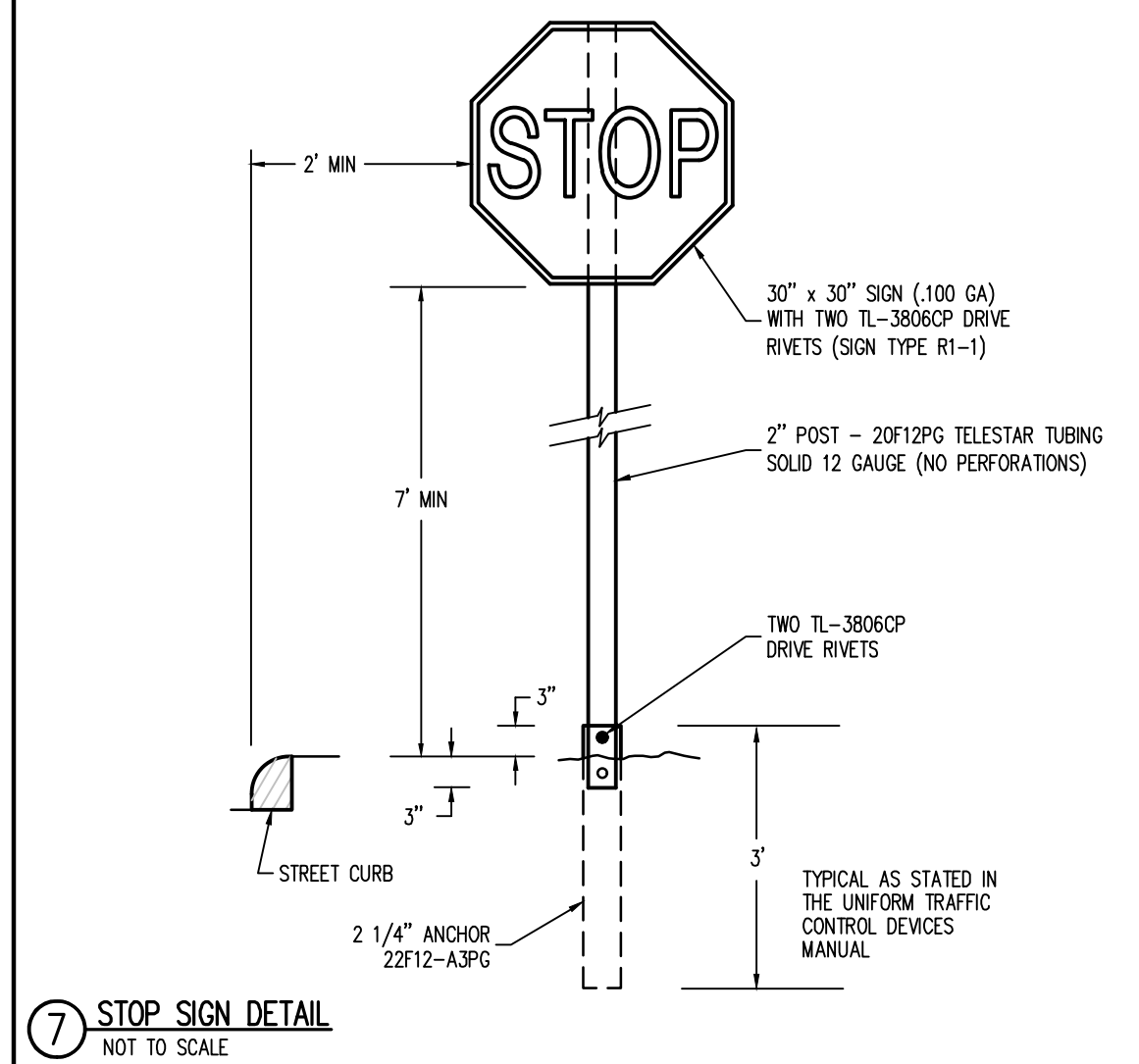
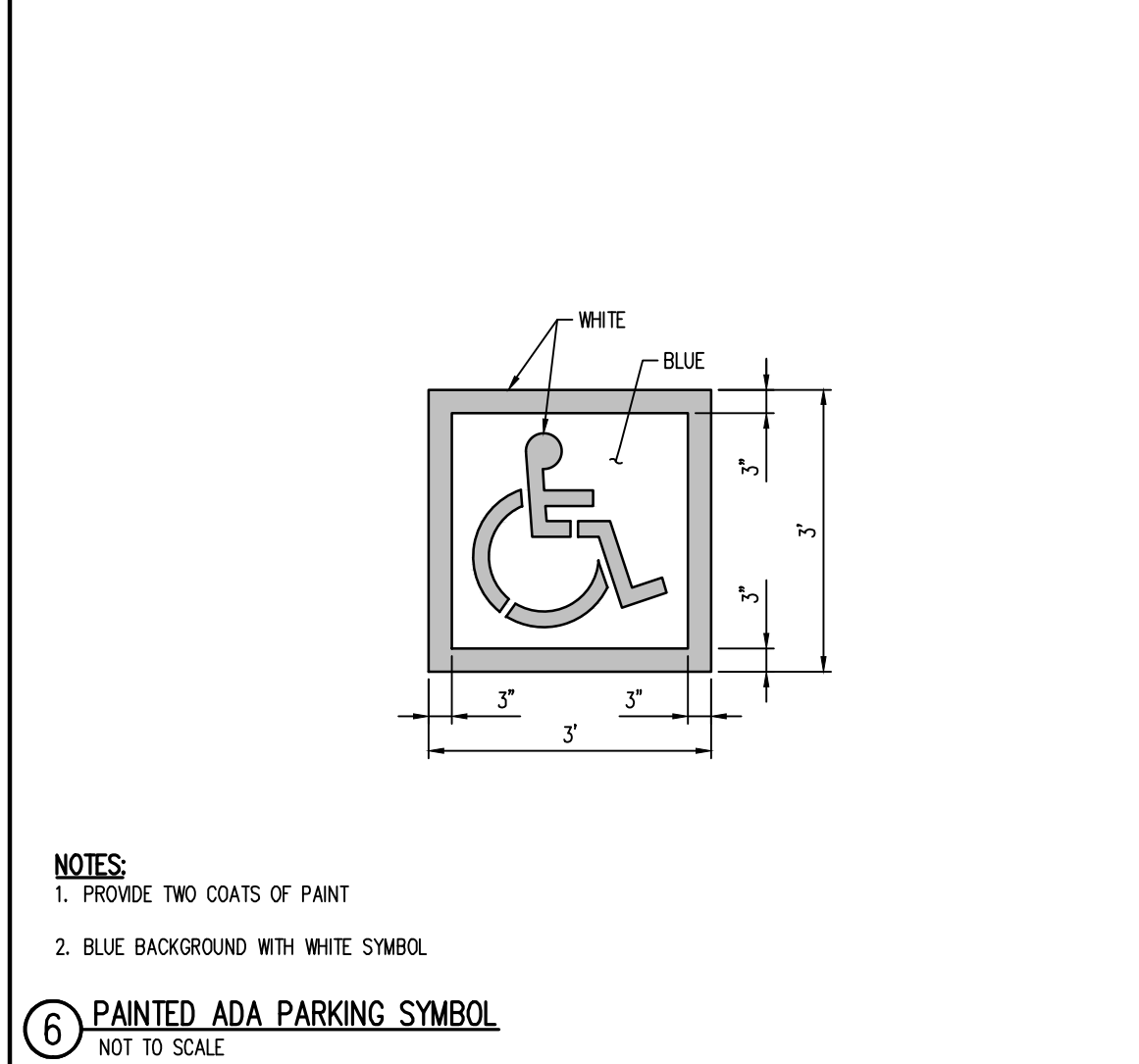
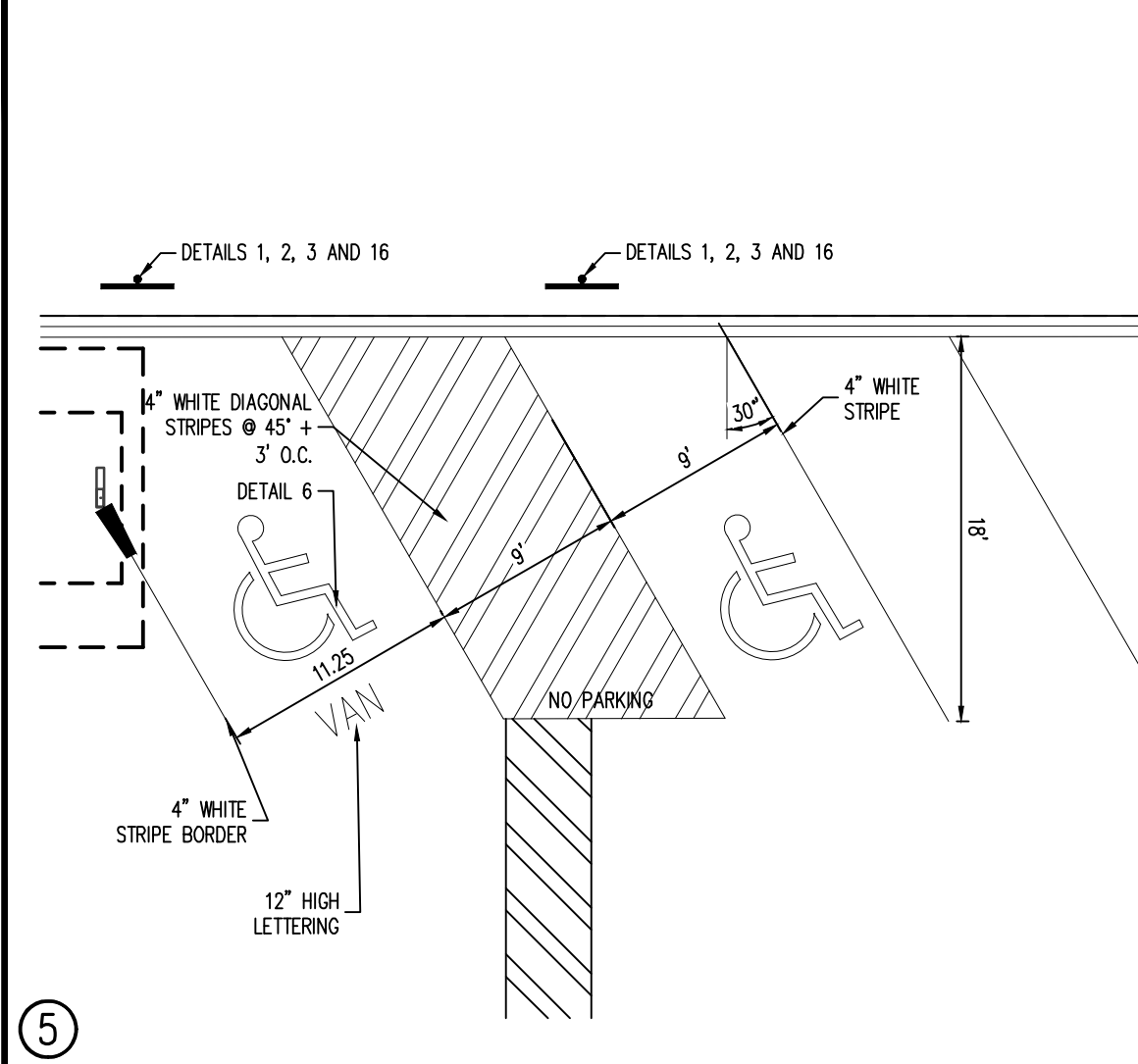
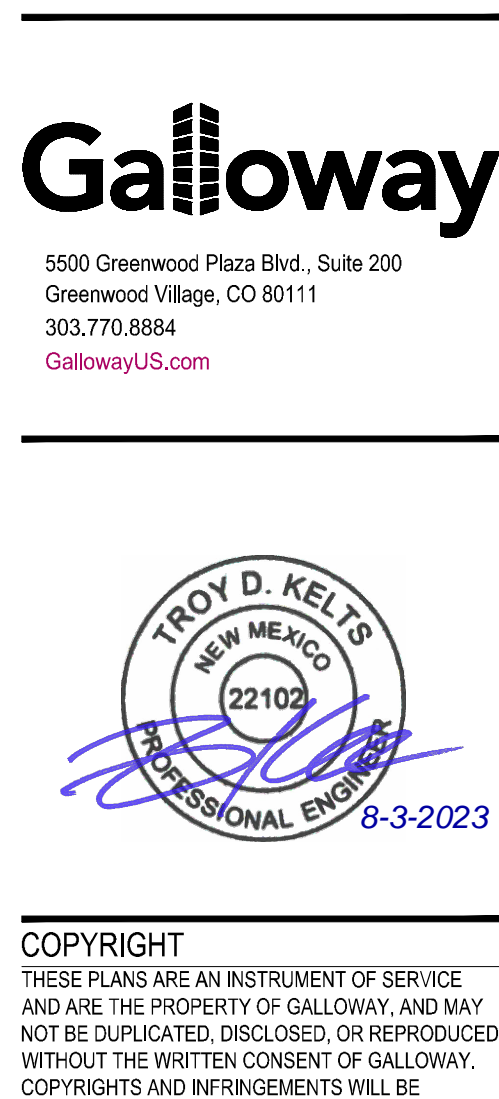
SITE PLAN



TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo 8/4/2023

Signed _____ Date _____

[illegible]