

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 20, 2024

Troy Kelts, P.E.
Galloway & Company
6162 S Willow Drive, Suite 320
Greenwood Village, CO 80111

RE: Sonic – 98th & Bluewater
9701 Bluewater Rd. NW
30-day Temporary C.O. - Accepted
Engineer's Certification Date: 08/15/24
Engineer's Stamp Date: 10/06/23
Hydrology File: K09D048C

Dear Mr. Kelts:

PO Box 1293

Based **solely** on the Certification received 08/19/2024, this letter serves as a “green tag” from Hydrology Section for a **30-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

Albuquerque

PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

NM 87103

1. Please Resubmit to PLNDRS@cabq.gov when ready with an updated City of Albuquerque engineer's certification along with as-built topo shots in red on the as-built Grading & Drainage Plan.

www.cabq.gov

2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to “**Bernalillo County**” for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____



VICINITY MAP
SCALE: 1"=500'

BLUEWATER ROAD NORTHWEST
60' PUBLIC RIGHT OF WAY

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 10/06/23
BY: *Renee C. Brissett*
HydroTrans # K09D048C

THE APPROVAL OF THESE PLANS/REPORT SHALL NOT BE
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT
THE CITY OF ALBUQUERQUE FROM REQUIRING
CORRECTION, OR ERROR OR DIMENSIONS IN PLANS,
SPECIFICATIONS, OR CONSTRUCTIONS. SUCH APPROVED PLAN
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT
AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

GRADING LEGEND

-----5460-----	EXISTING MAJOR CONTOUR
-----5470-----	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SPOT ELEVATION
FL	PROPOSED FLOWLINE ELEVATION
FF	FINISHED FLOOR
FG	FINISHED GRADE
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
BR	BOTTOM OF RAMP
TR	TOP OF RAMP

BENCHMARK

ACS MONUMENT "9_K10 " NAD 1983 CENTRAL ZONE
ELEV. = 5117.72* (NAVD 1988)

FLOODPLAIN

THIS SITE IS IN AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD HAZARD BASED ON NAVD 88 AND AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATIONS (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR BERNALILLO COUNTY, NEW MEXICO, MAP NO. 35001C0328J, HAVING A MAP REVISED DATE OF NOVEMBER 4, 2016.

LEGAL DESCRIPTION

TRACT A, OF AVALON SUBDIVISION UNIT 5, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 29, 2022, IN PLAT BOOK 2022C, FOLIO 39 AS DOCUMENT NO. 2022045240.

GRADING NOTES

1. REQUIREMENTS SHOW ON SITE PLAN SHALL COVER DRAINAGE AND SPECIFICATIONS SHOWING OTHERWISE. NOTWITHSTANDING, CONTRACTOR TO POINT OUT ANY DISCREPANCIES TO THE ENGINEER OF RECORD UPON ALL PERMITS.
2. NO WORK IS TO BEGIN UNTIL ALL BIDDING HAS BEEN OBTAINED, CONTRACTOR MUST HAVE COPIES OF ALL STATE AND LOCAL STORMWATER DISCHARGE AND EROSION CONTROL PERMITS ON SITE PRIOR TO ANY DISTURBANCE AND/OR GRADING ACTIVITY.
3. THIS DESIGN IS BASED ON A SOIL AND FOUNDATION INVESTIGATION. A COPY OF THIS REPORT IS AVAILABLE FOR INSPECTION BY THE CONTRACTORS.
4. ALL LANDSCAPING AREAS SHALL BE GRADED 0.10" WITH COMPANY APPROVED TOP SOIL TO A MINIMUM 2' DEPTH.
5. ALL SLOPE GRADES SHOWN ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING DISRUPTION OF ONSITE SEDIMENTS OUT TO SURROUNDING PUBLIC STREETS DURING CONSTRUCTION. REFER TO EROSION CONTROL PLANS AND DETAILS FOR INFORMATION.
7. GENERAL CONTRACTOR TO PROVIDE BARRICADE PROTECTION WITH FLASHING LIGHTS AROUND ALL FOOTINGS, EXCAVATIONS AND ALL OFFSITE WORK.
8. SEE THE SITE SURVEY FOR SURVEY INFORMATION AND LEGAL DESCRIPTION.
9. THE PRIVATE REGIONAL STORM SYSTEM AND STORMWATER DETENTION FACILITY IS PRIVATELY OWNED AND MAINTAINED.
10. IN LANDSCAPING AREAS ADJACENT TO PROPOSED BUILDING, MINIMUM SLOPE SHALL BE 5% FOR THE FIRST 5'.
11. ANY FILL MATERIAL REQUIRED TO BRING THE SITE TO GRADE SHALL BE CLEAN FILL DIRT APPROVED BY GEOTECHNICAL ENGINEER AND SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL REPORT RECOMMENDATIONS.
12. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN DIRT RIGHT-OF-WAY.
13. PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL 811 (505) 260-1990 for the LOCATION OF EXISTING UTILITIES.
14. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
15. BACKFILL COMPACTION SHALL BE 95%.
16. WORK ON ARTERIAL STREETS MAY BE REQUIRED ON A 24-HOUR BASIS.
17. FOR EXCAVATION AND BARRICADING INSPECTIONS, CONTACT DMD CONSTRUCTION SERVICES DIVISION.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED SONIC RESTAURANT

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES INC.

PROJECT NO: 3222PJ163 DATE: AUGUST 25, 2022

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY THROUGH OPEN TRENCH OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



Know what's below.
Call before you dig.

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com



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NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED
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ENFORCED AND PROSECUTED.



THE MERRITT GROUP
SONIC # 6954

9701 BLUEWATER RD NW
ALBUQUERQUE, NM 87121

[illegible]

Project No:	MGS000001
Drawn By:	JKS
Checked By:	DMP
Date:	10/02/2023

GRADING PLAN

C2.0

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