## CITY OF ALBUQUERQUE

Planning Department Alan Varela, Director



Mayor Timothy M. Keller

August 20, 2024

Troy Kelts, P.E. Galloway & Company 6162 S Willow Drive, Suite 320 Greenwood Village, CO 80111

RE: Sonic – 98th & Bluewater 9701 Bluewater Rd. NW 30-day Temporary C.O. - Accepted Engineer's Certification Date: 08/15/24 Engineer's Stamp Date: 10/06/23 Hydrology File: K09D048C

Dear Mr. Kelts:

PO Box 1293 Based **solely** on the Certification received 08/19/2024, this letter serves as a "green tag" from Hydrology Section for a **30-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

Albuquerque

#### PRIOR TO PERMANENT CERTIFICATE OF OCCUPANCY:

- NM 87103
  Please Resubmit to <u>PLNDRS@cabq.gov</u> when ready with an updated City of Albuquerque engineer's certification along with as-built topo shots in red on the as-built Grading & Drainage Plan.
- <sup>www.cabq.gov</sup>
  Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25.00 made out to "Bernalillo County" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

If you have any questions, please contact me at 924-3995 or <u>rbrissette@cabq.gov</u>.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology Planning Department

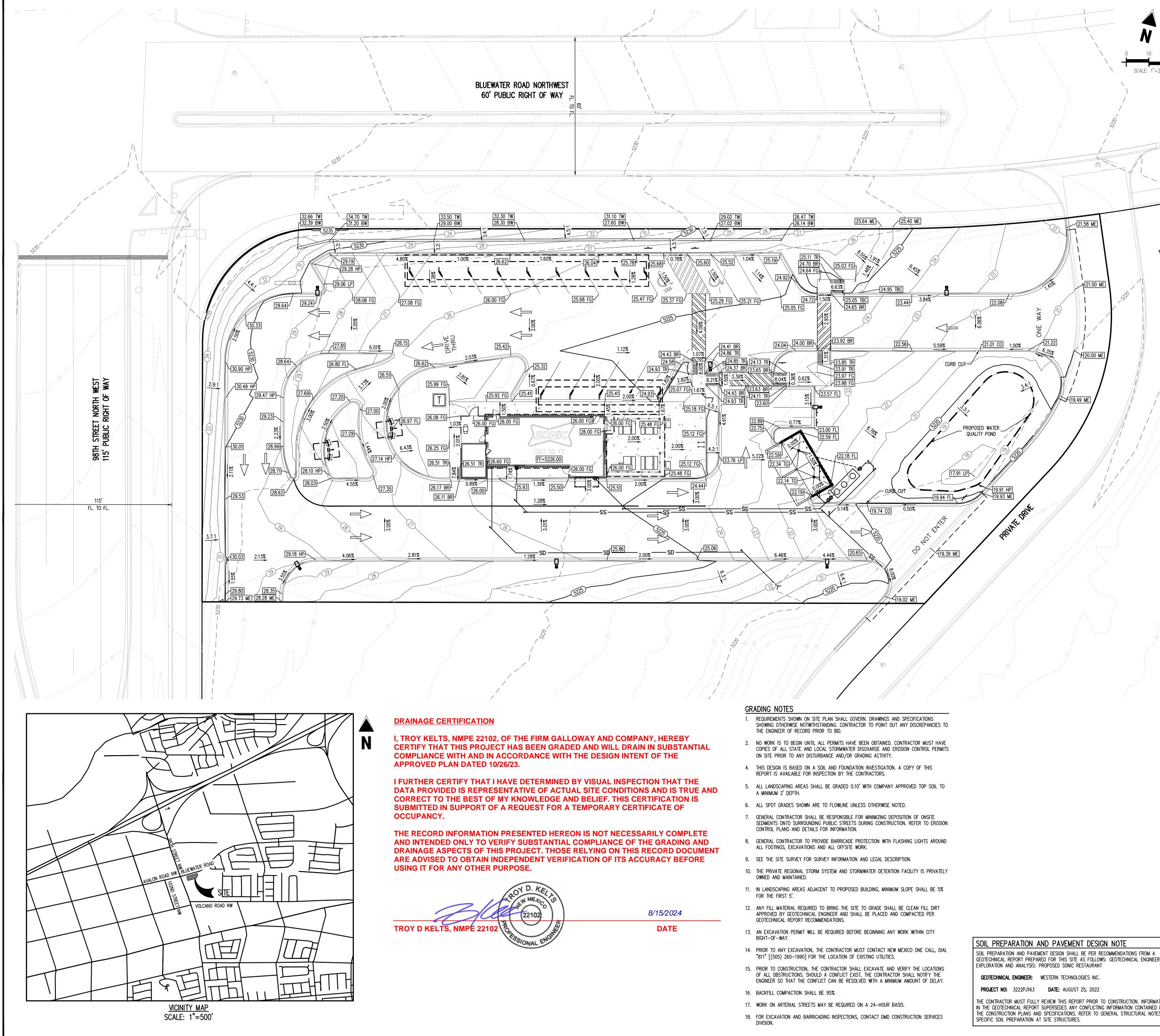


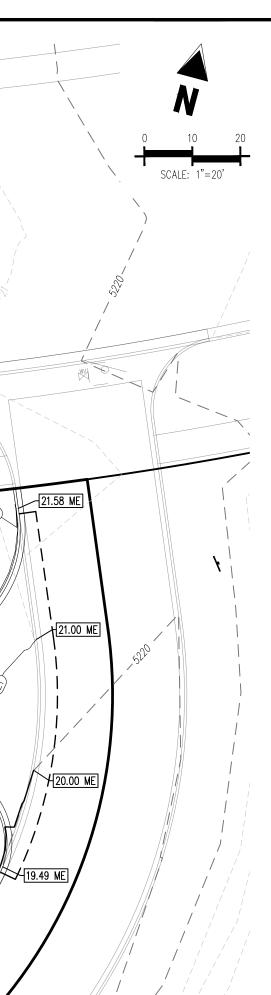
## **City of Albuquerque**

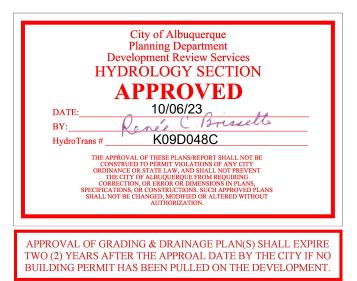
Planning Department Development & Building Services Division

#### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title:		Hydrology File #		
Legal Description:				
City Address, UPC, OR Parcel:				
Applicant/Agent:Address: Email:Applicant/Owner: Address:Email:		Phone:		
		Contact Phone:	:	
TYPE OF DEVELOPMENT:	Plat (# of lots)		Single Family Home All other Developments	
	RE-SUBMITTAL:	YES	NO	
DEPARTMENT: TRANS	SPORTATION	HYDROLO	DGY/DRAINAGE	
Check all that apply under Both	the Type of Submittal a	nd the Type	of Approval Sought:	
TYPE OF SUBMITTAL:		TYPE OF	APPROVAL SOUGHT:	
Engineering / Architect Certification		Pad Cert	ification	
Conceptual Grading & Drainage Plan		Building Permit		
Grading & Drainage Plan, and/or Drainage Report		Grading Permit Paving Permit		
Drainage Report (Work Order)		SO-19 P		
Drainage Master Plan			ion Permit	
Conditional Letter of Map Revis	sion (CLOMR)		te of Occupancy - Temp	Perm
Letter of Map Revision (LOMF	R)		ary / Final Plat	
Floodplain Development Permit Traffic Circulation Layout (TCL) – Administrative			for Building Permit - DFT	
			rder (DRC)	
Traffic Circulation Layout (TCL) – DFT Approval		Release of Financial Guarantee (ROFG) CLOMR / LOMR		
Traffic Impact Study (TIS)		Conceptual TCL - DFT		
Street Light Layout		OTHER	(SPECIFY)	
OTHER (SPECIFY)				







### GRADING LEGEND

ADING LLGLIND	
— — — 5460 — — — –	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
(5465)	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
15.00	PROPOSED SPOT ELEVATION
FL	PROPOSED FLOWLINE ELEVATION
FF	FINISHED FLOOR
FG	FINISHED GRADE
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
BR	BOTTOM OF RAMP
TR	TOP OF RAMP

#### BENCHMARK

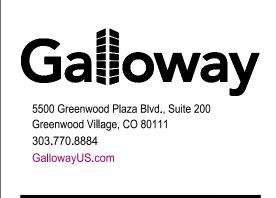
ACS MONUMENT "9\_K10 " NAD 1983 CENTRAL ZONE ELEV. = 5117.72\* (NAVD 1988)

#### FLOODPLAIN

THIS SITE IS IN AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD HAZARD BASED ON NAVD 88 AND AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT ADMINISTRATIONS (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR BERNALILLO COUNTY, NEW MEXICO, MAP NO. 35001C0328J, HAVING A MAP REVISED DATE OF NOVEMBER 4, 2016.

#### LEGAL DESCRIPTION

TRACT A, OF AVALON SUBDIVISION UNIT 5, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 29, 2022, IN PLAT BOOK 2022C, FOLIO 39 AS DOCUMENT NO. 2022045240.





#### COPYRIGHT THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF GALLOWAY, AND MAY NOT BE DUPLICATED, DISCLOSED, OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF GALLOWAY. COPYRIGHTS AND INFRINGEMENTS WILL BE ENFORCED AND PROSECUTED.



GROUP		
THE MERRITT	SONIC # 6954	

# BLUEWATER RD NW JQUERQUE, NM 8712 9701 ALBL

# 	Date 10/5/2023	Issue / Description 2ND HYD SUBMITTAL	Init. TDK
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-			
-			
-			
-			
-			
-			

Project No:	MGS000001
Drawn By:	JKS
Checked By:	DMP
Date:	10/02/2023

GRADING PLAN

GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR

#### CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIESTO THE Know what's below. ENGINEER PRIOR TO CONSTRUCTION.



Call before you dig.

2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

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