

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 30, 2023

Aaron McLean
Galloway
5500 Greenwood Plaza Blvd.
Greenwood Village, CO 80111

Re: Sonic # 1091
Southeast side of 98th St. and Bluewater Rd.
Traffic Circulation Layout
Engineer's/Architect's Stamp XX-XX-XX (K09-D048C)

Dear Mr. McLean,

Based upon the information provided in your submittal received 03-10-23, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a vicinity map showing the location of the development in relation to streets and well-known landmarks.
2. List the number of parking spaces required by the IDO as well as the proposed number of parking spaces including bicycle and motorcycle parking.
3. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
4. Identify all existing access easements and rights of way width dimensions.
5. Please define the property line.
6. Provide shared access agreement or approved plat showing the existing 33' access easement at the east side of the site.
7. Provide the angle for the angled parking. See attached angle parking stall requirements.
8. Provide details for all the proposed interior ADA ramp.
9. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of signs.
10. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1. B NMSA 1978)
11. ADA curb ramps must be updated to current standards and have truncated domes installed.
12. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
13. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.

PO Box 1293

Albuquerque

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14. All bicycle racks shall be designed according to the following guidelines:
 - a. The rack shall be a minimum 30 inches tall and 18 inches wide.
 - b. The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - c. The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - d. The rack allows varying bicycle frame sizes and styles to be attached.
 - e. The user is not required to lift the bicycle onto the bicycle rack.
 - f. Each bicycle parking space is accessible without moving another bicycle.
15. Bicycle racks shall be sturdy and anchored to a concrete pad.
16. A 1-foot clear zone around the bicycle parking stall shall be provided.
17. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
18. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
19. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
20. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
21. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
22. Provide a copy of Fire Marshal approval.
23. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
24. The minimum drive through lane width is 12 feet with a 25-foot minimum radius (inside edge) for all turns. (A 15-foot radius can be used with an increase in lane width to 14 feet). Please dimension all lane widths and radii.
25. Show on the site plan the Intersection clear sight triangle at the intersection of 98th St. and Bluewater rd.
26. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
27. Please specify the City Standard Drawing Number when applicable.
28. Work within the public right of way requires a work order with DRC approved plans.

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29. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
30. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
31. Please provide a letter of response for all comments given.
32. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

Marwa Al-najjar

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

THE MERRITT GROUP

SONIC # 1091

98TH STREET NORTHWEST AND BLUEWATER ROAD
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

CIVIL CONSTRUCTION DRAWINGS

OWNER/DEVELOPER

B&B MERRITT REAL ESTATE GROUP, LLC
750 N. 17TH STREET
LAS CRUCES, NM 88005
ATTN: KEN MERRITT

CIVIL ENGINEER

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
ATTN: TROY KELTS, P.E.

LANDSCAPE ARCHITECT

GALLOWAY & COMPANY, INC.
5500 GREENWOOD PLAZA BLVD, SUITE 200
GREENWOOD VILLAGE, COLORADO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
ATTN: TROY NOSER, RLA

SURVEYOR

SURV-TEK, INC.
P.O. BOX 66885
ALBUQUERQUE, NM 87114
TEL: (505) 300-4732
ATTN: RUSS P. HUGG, P.S.

GEOTECHNICAL ENGINEER

WESTERN TECHNOLOGIES, INC.
8305 WASHINGTON PLACE
ALBUQUERQUE, NM 87113
TEL: (505) 823-4488
ATTN: JEFF M. BOYD, P.E.

AGENCIES

PLANNING

CITY OF ALBUQUERQUE PLANNING DEPARTMENT
PLAZA DEL SOL BUILDING
600 SECOND NW
ALBUQUERQUE, NM 87102
TEL: (505) 824-3860
EMAIL: PLANNINGDEPARTMENT@CABQ.GOV
ATTN: ALAN VARELA-INTERIM DIRECTOR

WATER & SANITARY

ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
1441 MISSION AVE. NE
ALBUQUERQUE, NM 87113
TEL: 505-842-WATR
ATTN: BOB STRONG

STORM SEWER

DEPARTMENT OF MUNICIPAL DEVELOPMENT
ONE CIVIC PLAZA
ROOM 7057
ALBUQUERQUE, NEW MEXICO 87102
TEL: (505) 768-3830

ELECTRIC

PWM
414 SILVER AVENUE SW
ALBUQUERQUE, NM 87102
TEL: (505) 241-2700
ATTN: ANDREW MCNAUGHTON

FIRE PROTECTION

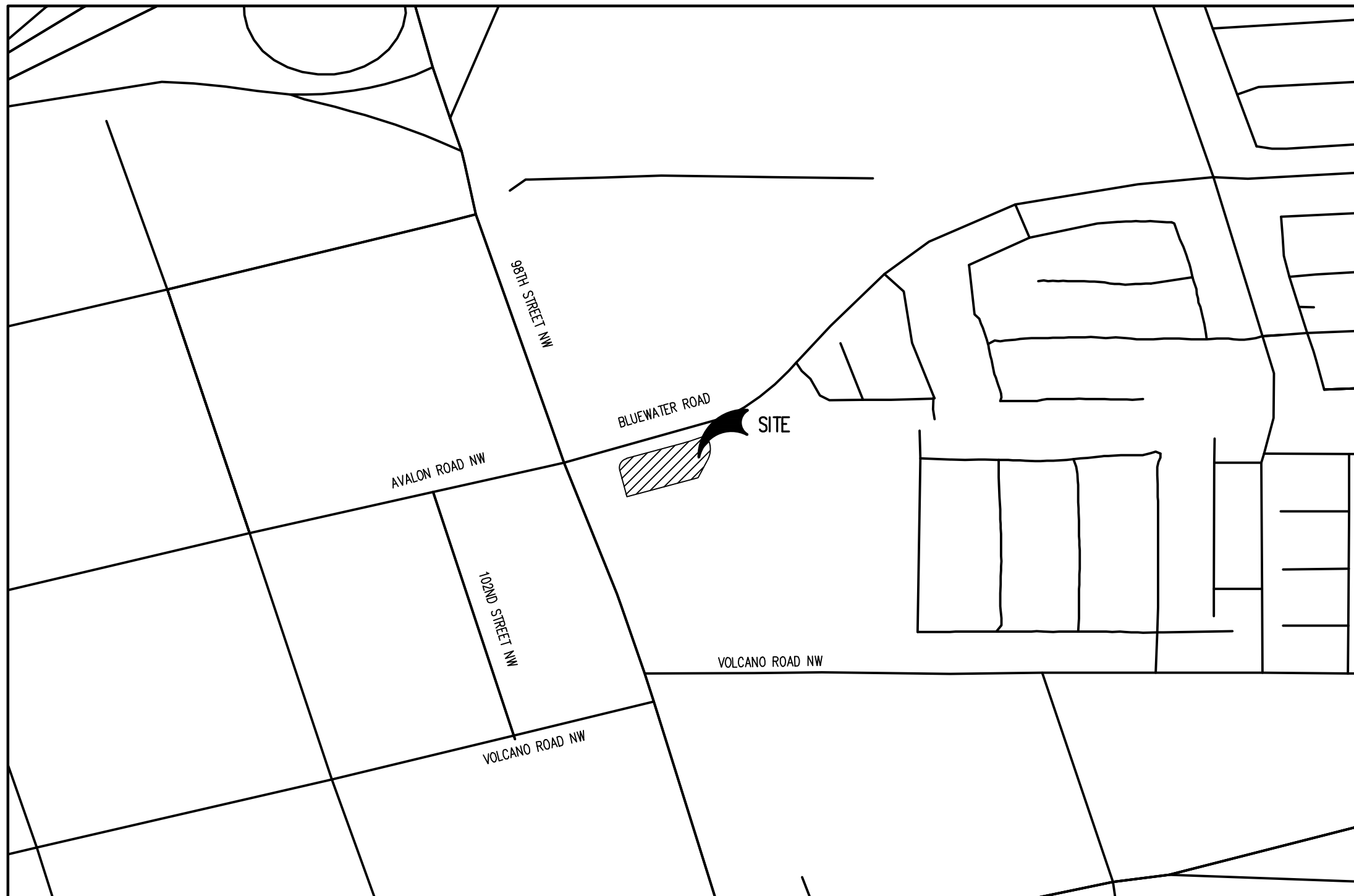
ALBUQUERQUE FIRE RESCUE
11500 SUNSET GARDENS SW
ALBUQUERQUE, NM 87121
TEL: (505) 244-3473
EMAIL: TRUIZ@CABQ.GOV
ATTN: TOM RUZ

GAS

NEW MEXICO GAS COMPANY
4525 EDITH BOULEVARD
ALBUQUERQUE, NM 87107
TEL: (888) 684-2726
ATTN: ANTONETTE DOMINGUEZ

LIST OF ABBREVIATIONS

SHT – SHEET
Δ – DEFLECTION ANGLE
L – LENGTH
R – RADIUS
CB – CHORD BEARING
C – CHORD LENGTH
N – NORTH/NORTHING
W – WEST
E – EAST/EASTING
S – SOUTH
DET – DETAIL
EX – EXISTING
W/ – WITH
PC – POINT OF CURVATURE/PORTLAND CEMENT
WVF – WELDED WIRE FABRIC
VERT – VERTICAL
OC – ON CENTER
FDC – FIRE DEPARTMENT CONNECTION
CT – COURT
DR – DRIVE
TYP – TYPICAL
REC – RECEPTION NUMBER
Ø, DIA – DIAMETER
PT – POINT OF TANGENCY
MIN – MINIMUM
MAX – MAXIMUM
HDPE – HIGH DENSITY POLYETHYLENE



VICINITY MAP
SCALE: 1"=500'

SHEET INDEX		
SHEET NUMBER	SHEET TITLE	REVISION DATE
C0.0	COVER SHEET	
C1.0	SITE PLAN	
C2.0	GRADING PLAN	
C5.0	TRUCK TURN PLAN	

COVER SHEET CONSTRUCTION NOTES

- FENCES, WALLS, SIGNS, AND ACCESSORY STRUCTURES ARE SUBJECT TO SEPARATE REVIEW AND PERMITS BY GENERAL CONTRACTOR (GC).
- ANGLES NOT SHOWN ARE EITHER 90 DEGREES OR A SUPPLEMENT OF THE ANGLE INDICATED.
- PRIVATE ROADWAYS WILL BE POSTED WITH "FIRE LANE" SIGNS AS REQUIRED BY THE BERNALILLO COUNTY FIRE DEPARTMENT.
- PARKING SPACES FOR PERSONS WITH DISABILITIES WILL BE CLEARLY DELINEATED WITH UPRIGHT SIGNS.
- APPROVAL FOR THIS PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH ADA REQUIREMENTS.
- SITE(S) SHALL BE LANDSCAPED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY (CO) DURING THE GROWING SEASON OF APRIL 1ST TO OCTOBER 1ST, AT ALL OTHER TIMES THE SITE SHALL BE LANDSCAPED WITHIN 45 (FORTY-FIVE) DAYS OF THE START OF THE FOLLOWING GROWING SEASON.
- ACCESS SHALL BE ALLOWED ON AND ACROSS THE SITE DURING CONSTRUCTION FOR POLICE, FIRE, MEDICAL AND OTHER EMERGENCY VEHICLES AND FOR THE PROVISION OF EMERGENCY SERVICES.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. TREES, SHRUBS, AND DECORATIVE GRASSES WILL BE IRRIGATED BY A SEPARATE ZONE FROM SOD/GRASS; THIS INCLUDES TREES PLANTED IN SOD/GRASS AREA. THE IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR SHUTOFF INSTALLED.
- PRIVATE ROADWAYS ARE NON-DEDICATED STREETS AND WILL NOT BE MAINTAINED BY NEW MEXICO DEPARTMENT OF TRANSPORTATION.
- ALL DWP PIPING SHALL BE POLYWRAPPED FOR CATHODIC PROTECTION PER BERNALILLO COUNTY STANDARDS.
- EXCAVATION AND EMBANKMENT MATERIAL SHALL MEET SECTION 203 OF THE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OR REQUIREMENTS OTHERWISE SPECIFIED IN THE APPROVED SOILS REPORT.
- ALL WORK WITHIN PUBLIC R.O.W. SHALL BE PER JURISDICTIONS/DEPARTMENTS NMDOT STANDARDS AND SPECIFICATIONS (CURRENT EDITION)
- ALL WORK FOR WATER SERVICE, FIRE SERVICE, AND FIRE HYDRANT ASSEMBLIES SHALL BE PER THE WATER AUTHORITY STANDARDS AND SPECIFICATIONS (CURRENT EDITION).
- SIGN, AND MARKING STANDARDS: ALL WORK SHALL BE PER THE NMDOT STANDARDS AND SPECIFICATIONS (CURRENT EDITION) UNLESS SHOWN OTHERWISE.
- ALL WASTEWATER WORK SHALL BE PER THE WATER AUTHORITY STANDARDS AND SPECIFICATIONS (CURRENT EDITION).
- REFERENCE NEW MEXICO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, FOR ADDITIONAL INFORMATION.

BASIS OF BEARING

RECORD BEARINGS AND DISTANCES PER PLAT (5/22/2014, 2014C-46)

LEGAL DESCRIPTION

TRACT A, OF AVALON SUBDIVISION UNIT 5, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MARCH 29, 2022, IN PLAT BOOK 2022C, FOLIO 39 AS DOCUMENT NO. 2022045240.

CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

NOTE: CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY MONUMENTATION; CONTRACTOR SHALL HAVE LICENSED SURVEYOR REPLACE ANY DAMAGED OR DISTURBED MONUMENTATION AT THEIR COST.

NOTE: CONTRACTOR MUST COORDINATE WORK WITH UTILITY COMPANY AND CITY PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ALL MATERIALS, LABOR, REPAIRS, ETC. TO COMPLETE WORK AND RESTORE AREA TO SAME STATE PRIOR TO STARTING WORK.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

SOIL PREPARATION AND PAVEMENT DESIGN NOTE

SOIL PREPARATION AND PAVEMENT DESIGN SHALL BE PER RECOMMENDATIONS FROM A GEOTECHNICAL REPORT PREPARED FOR THIS SITE AS FOLLOWS: GEOTECHNICAL ENGINEERING EXPLORATION AND ANALYSIS: PROPOSED SONIC RESTAURANT

GEOTECHNICAL ENGINEER: WESTERN TECHNOLOGIES INC.

PROJECT NO: 3222P/J63 DATE: AUGUST 25, 2022

THE CONTRACTOR MUST FULLY REVIEW THIS REPORT PRIOR TO CONSTRUCTION. INFORMATION IN THE GEOTECHNICAL REPORT SUPERSEDES ANY CONFLICTING INFORMATION CONTAINED IN THE CONSTRUCTION PLANS AND SPECIFICATIONS. REFER TO GENERAL STRUCTURAL NOTES FOR SPECIFIC SOIL PREPARATION AT SITE STRUCTURES.

Galloway

5500 Greenwood Plaza Blvd., Suite 200
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

PRELIMINARY
NOT FOR BIDDING
NOT FOR CONSTRUCTION

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THE MERRITT GROUP
SONIC # 1091

98TH STREET NORTHWEST AND BLUEWATER ROAD
ALBUQUERQUE, NM

#	Date	Issue / Description	Init.
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Project No:	MSG00001
Drawn By:	JKS
Checked By:	DMP
Date:	MARCH 2023

COVER SHEET

C0.0

