

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 1, 2023

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

RE: Titan 150k Spec
Permanent C.O. – Accepted
Engineer's Certification Date: 08/17/23
Engineer's Stamp Date: 10/06/22
Hydrology File: K09D051

Dear Mr. Bohannon:

PO Box 1293
Albuquerque
NM 87103

Based on the Certification received 08/17/2023 and site visit on 08/25/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: TITAN 150K SPEC **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR 9-A PLAT OF TRS 1 THRU 12 AVALON **City Address OR Parcel UPC:** 100905719339420401

Applicant/Agent: TIERRA WEST LLC **Contact:** Vince Carrica

Address: 5571 Midway Park Place NE **Phone:** 505-858-3100

Email: VCARRICA@TIERRAWESTLLC.COM

Applicant/Owner: _____ **Contact:** _____

Address: _____ **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: _____ PLAT (#of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE: ☒

RE-SUBMITTAL: _____ YES ☒ NO

DEPARTMENT: _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

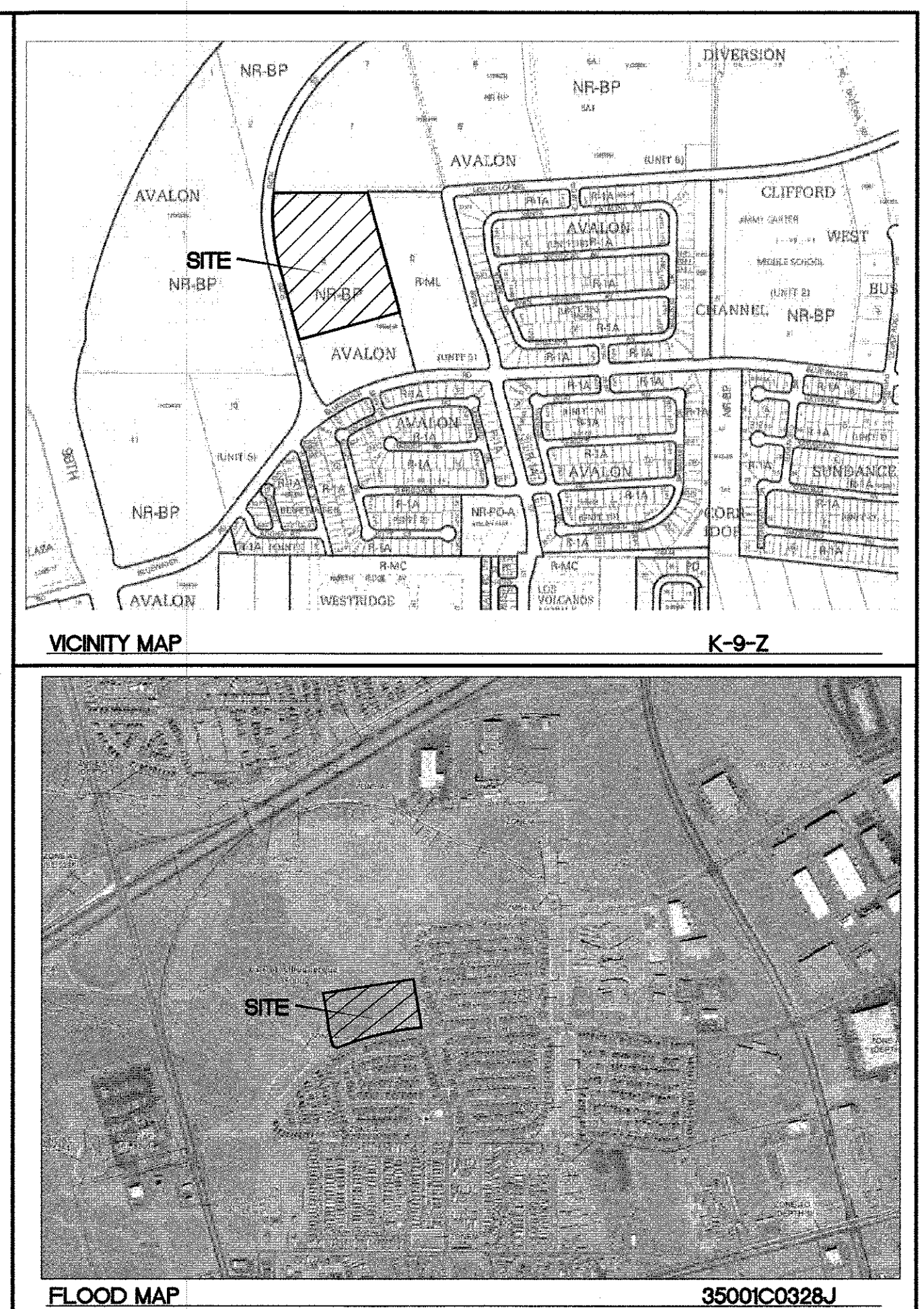
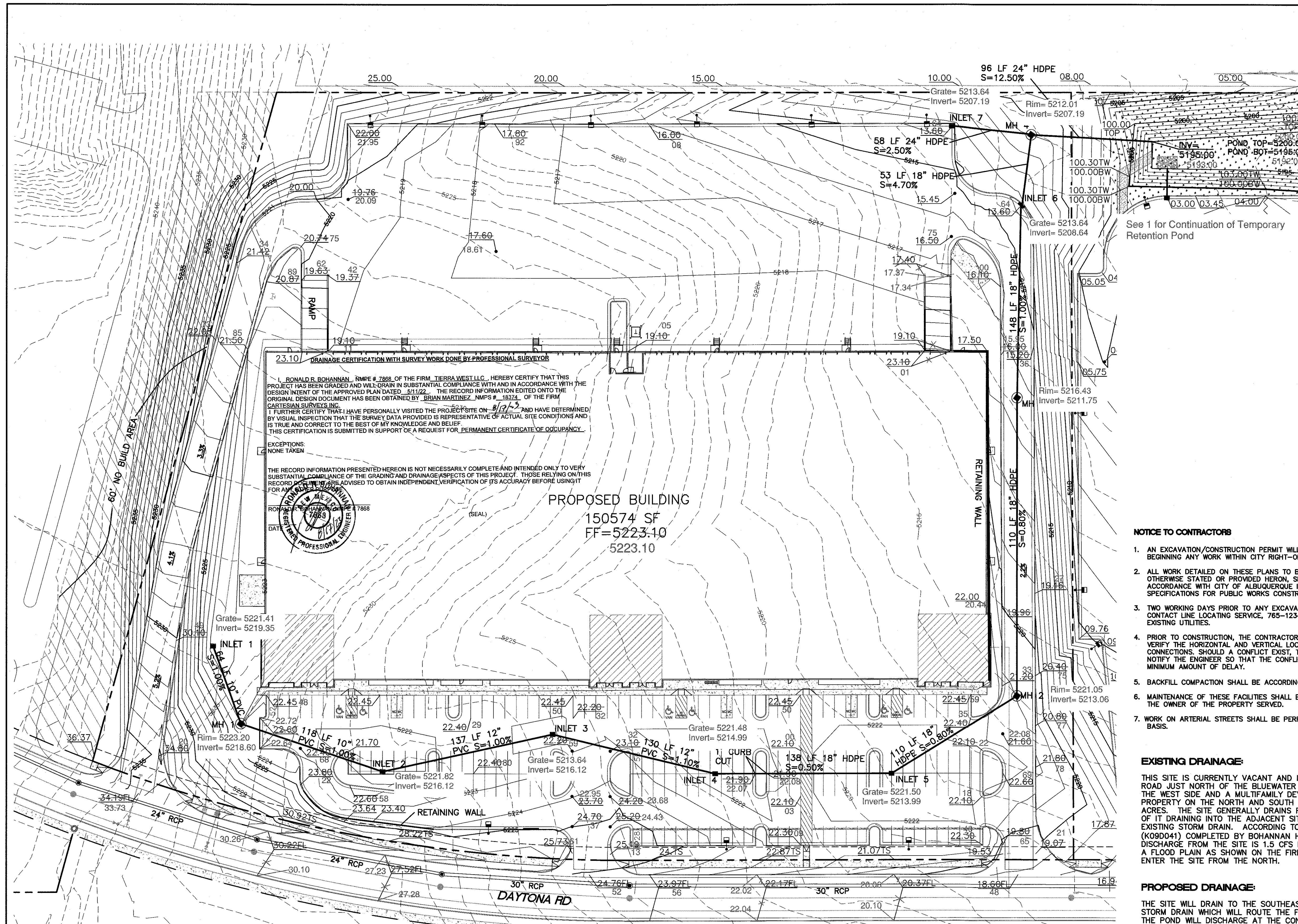
TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY PERMANENT
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 08/17/23



NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

EXISTING DRAINAGE:

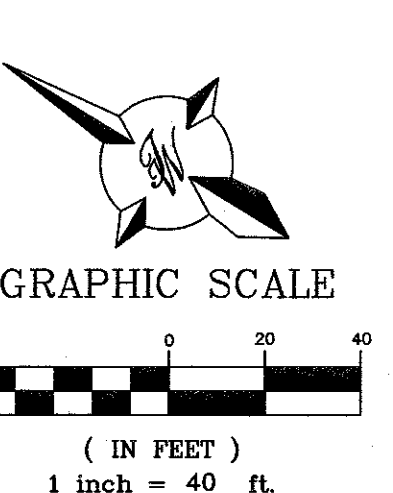
THIS SITE IS CURRENTLY VACANT AND IS LOCATED ON THE EAST SIDE OF DAYTONA ROAD JUST NORTH OF THE BLUEWATER RD. THE SITE IS BOUNDED BY ROADS ON THE WEST SIDE AND A MULTIFAMILY DEVELOPMENT ON THE EAST SIDE AND VACANT PROPERTY ON THE NORTH AND SOUTH SIDES. IT CONTAINS APPROXIMATELY 9.69 ACRES. THE SITE GENERALLY DRAINS FROM NORTHWEST TO SOUTHEAST WITH MOST OF IT DRAINING INTO THE ADJACENT SITE WHICH DRAINS BLUEWATER ROAD EXISTING STORM DRAIN. ACCORDING TO AN APPROVED MASTER DRAINAGE PLAN (K09D041) COMPLETED BY BOHANNAN HUSTON INC. THE ALLOWABLE DEVELOPED DISCHARGE FROM THE SITE IS 1.5 CFS PER ACRE. THE SITE IS NOT LOCATED WITHIN A FLOOD PLAIN AS SHOWN ON THE FIRM MAP. THERE ARE OFFSITE FLOWS THAT ENTER THE SITE FROM THE NORTH.

PROPOSED DRAINAGE:

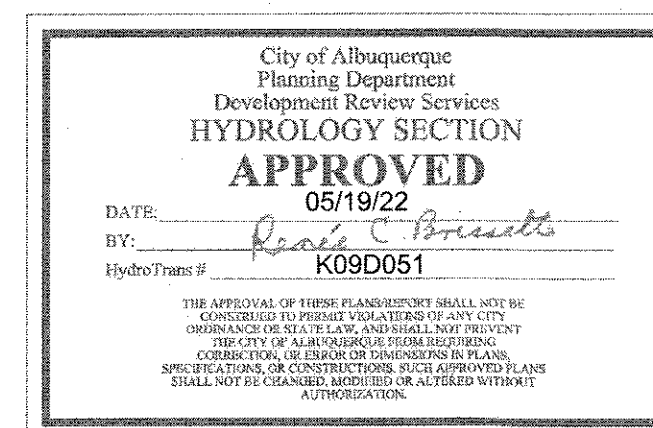
THE SITE WILL DRAIN TO THE SOUTHEAST CORNER OF THE SITE INTO A PROPOSED STORM DRAIN WHICH WILL ROUTE THE FLOWS TO A PROPOSED DETENTION POND. THE POND WILL DISCHARGE AT THE CONTROLLED RATE OF 1.5 CFS PER ACRE TO THE EXISTING STORM DRAIN IN BLUEWATER ROAD. THIS POND WILL ALSO RETAIN THE WATER QUALITY VOLUME FOR THIS PARCEL.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.
6. ALL SLOPES NOT STABILIZED AT THE END OF THE PROJECT SHALL BE STABILIZED IN ACCORDANCE WITH COA SPECS OR 3" GRAVEL.

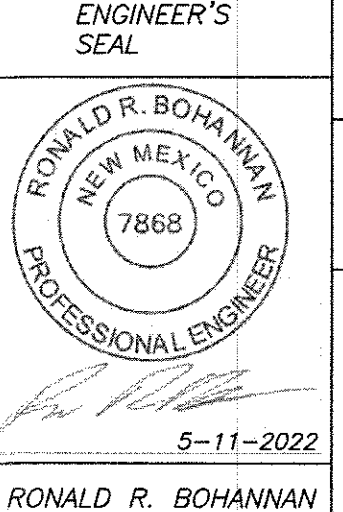


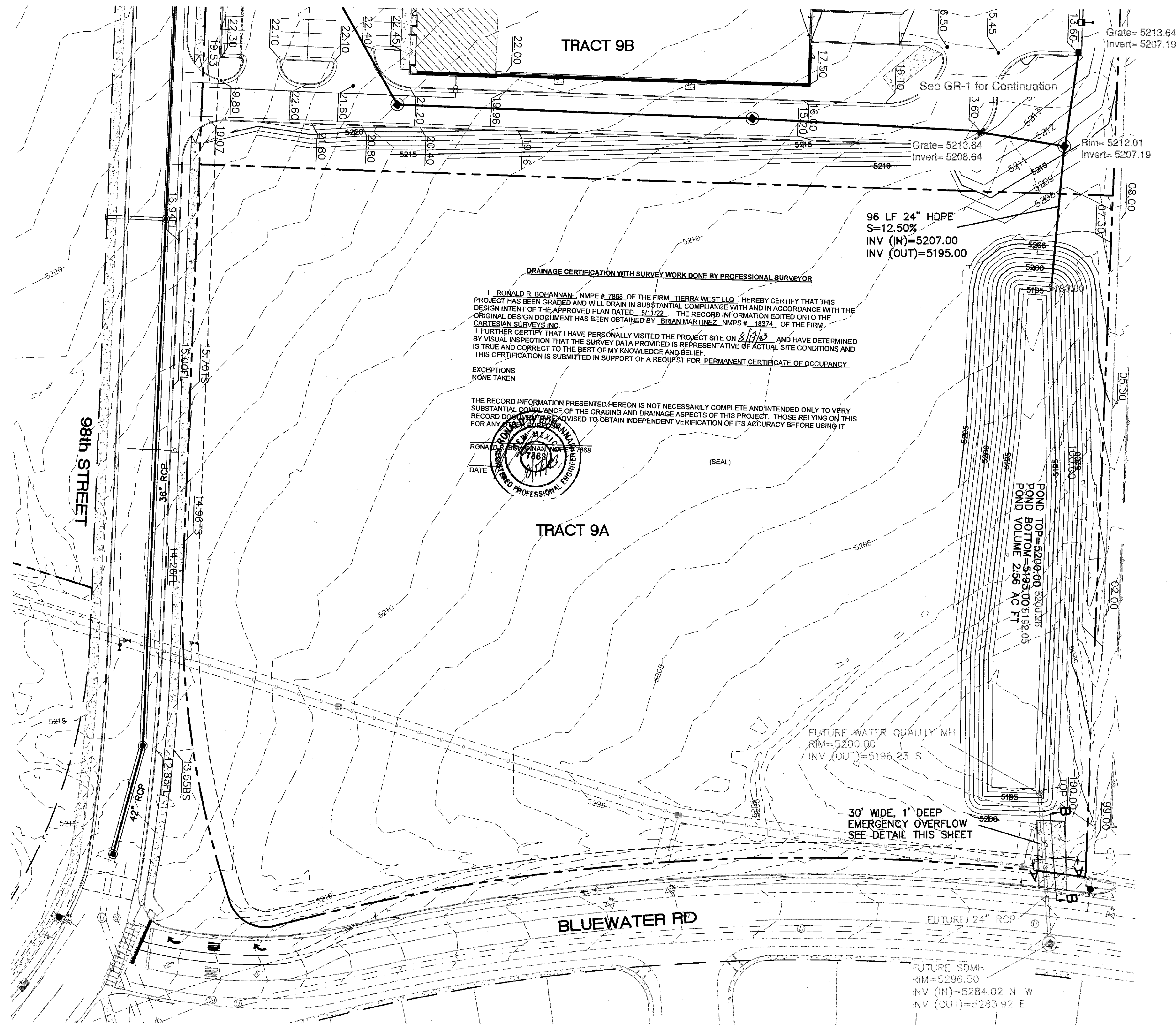
Permanent Hydrology Certification 8/17/23



CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

 <div>RONALD R. BOHANNAN P.E. #7868</div>	TITAN 150K SPEC BUILDING ALBUQUERQUE, NM	DRAWN BY pm
	GRADING AND DRAINAGE PLAN	DATE 5-11-2022
	TIERRA WEST, LLC 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierrawestllc.com	DRAWING 2020088-150K-GR.DWG
		SHEET # GR-1
		JOB # 2020088



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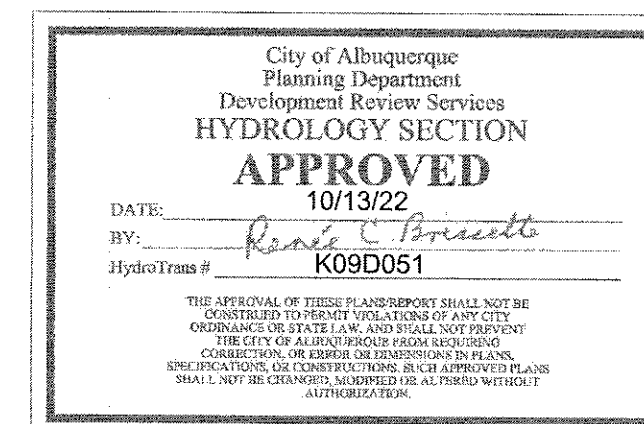
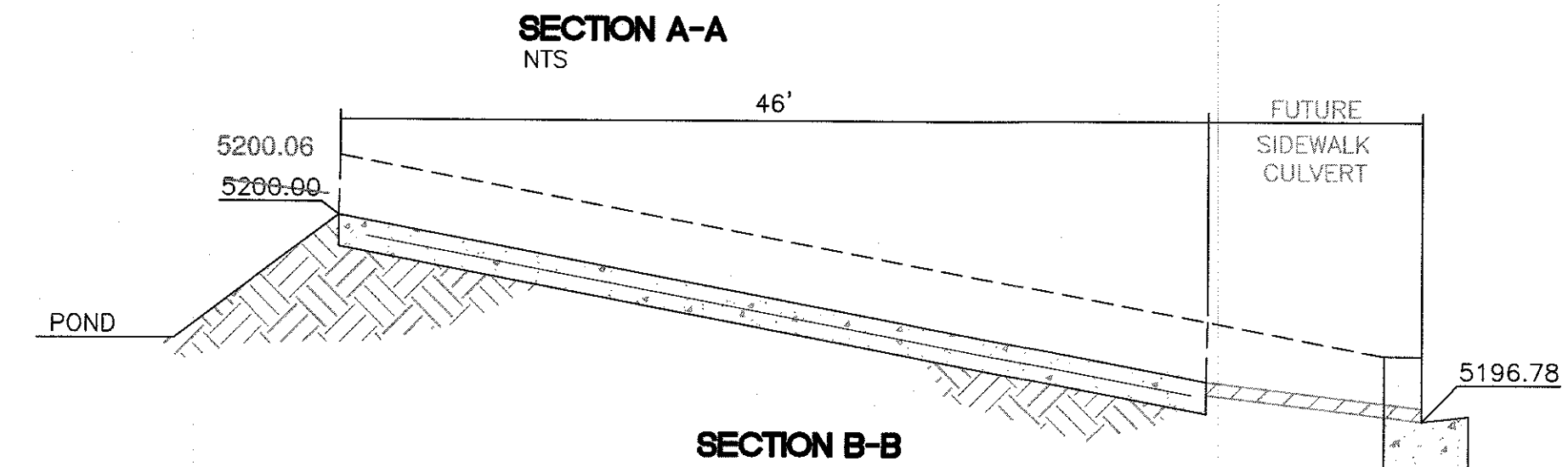
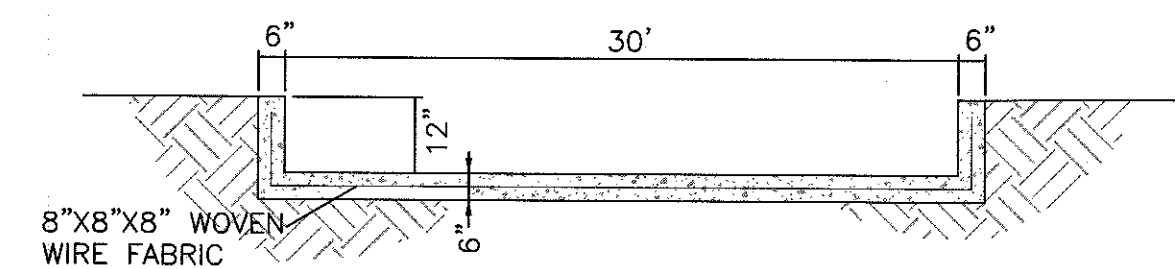
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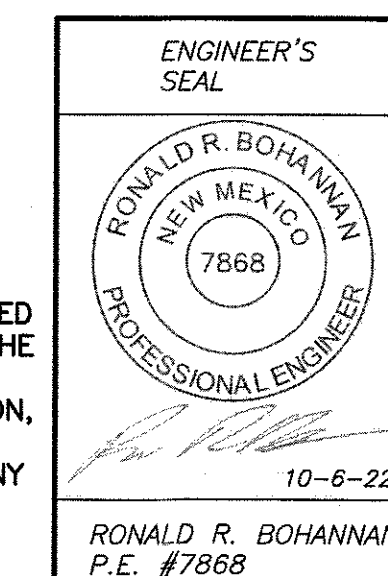
PROPOSED DRAINAGE:

UNDER INTERIM CONDITIONS THE SITE WILL DRAIN TO A RETENTION POND SIZED FOR THE 100 YR FLOOD, 10 DAY STORM FOR DEVELOPED TRACT 9A (BASIN 1) AND FOR UNDEVELOPED TRACT 9B (BASIN 2)



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**WESTPOINT 6.4 AC TRACT
ALBUQUERQUE, NM**

**INTERIM GRADING FOR
TRACT 9-A**

TIERRA WEST, LLC
5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrawestllc.com

DRAWN BY
pm

DATE
10-6-22

DRAWING

SHEET #

1

JOB #
2020088

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- RETAINING WALL

Weighted E Method

Zone #1										
Interim Drainage: 150K (Tract 9A) site developed, BlueSky (Tract 9B) site undeveloped, Drainage pond full retention (no outfall to Bluewater storm drain)										
Basin	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (ac-ft)	100-Year Volume (ac-ft)	Flow cfs
1 (Tract 9A)	422532.00	9.700	0.01516	0%	31%	3.007	0%	6.693	1.567	1.267
2 (Tract 9B)	278784.00	6.400	0.01000	100%	0%	0.000	0%	0.000	0.440	0.235
Total	701316.00	16.100	0.02516					6.693	1.501	43.61
Equations:										
Weighted E = Ea * Aa + Eb * Ab + Ec * Ac + Ed * Ad / (Total Area)										
Volume = Weighted E * Total Area										
Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad										
Volume (10 Day) = V360 + Ad * (P 10day - P360) / 12 in/ft										
Volume (10 Day) = 2.466 ac-ft										

