

Sprinkler Heads:	Fixed spray or rotor type sprinkler assemblies shall be as Mfr'd by Hunter, and of the Model # as selected and specified for a specific radius indicated on drawings, also see specifications:
MODEL #	NOZZLE COVERAGE GPM PSI
SRS-04(4" pop-up) as req'd	10'-17' R .5-.85 50
PGM-04 " " " "	17'-20' R .64-1.0 50 20'-22' R 1.0-1.1 50 22'-26' R 1.7-2.0 50
PGP-04(4" pop-up)	29'-32' R .70-1.3 50
Identifies all trees; deciduous or evergreen and in parenthesis the quantity of trees at each grouping. A symbol without a () means only one of that specie.	
Identifies all shrubs and msc. ground cover items as listed on the planting schedule and as per plans.	
Identifies all underground sprinkler lines; main and lateral, except for existing water mains to meters.	
One or more sprinkler lines in a PVC sleeve beneath curbs, driveways and sidewalks, see plans.	
Lawn sprinkler head patterns as per Plans and Legends	
Adjustable bubblers at all trees as per plans.	
Adjustable 5 stream series as required per plans.	
The grass seed blend shall be: 60% Kentucky Bluegrass 20% Perennial Ryegrass 20% Fescue	

Symbol	Common Name	Botanical Name	Quantity	Size	Remarks
Overall list of suggested plant material for selection					
Trees:					
A	Purple Leaf Plum	Krauter Vesuvius	9	1 1/2" Caliper	6'-8" tall
B	Washington Hawthorn	Crataegus	2	1 1/2" Caliper	6'-8" tall
C.	Desert Willow	Chilopsis linearis	4	1 1/2" Caliper	4'-6" tall
D	Purple Red Leaf Plum	Prunus, Dwarf "Cistena"	6	1 1/2" Caliper	4'-6" tall
E	Plum	Big "Cis"	3	1 1/2" Caliper	4'-6" tall
* This is an alternate species in lieu of tree type 'B'					
Shrubs:					
F	Apache Plume	Fallugia paradoxa	2	5 or 15 gallon size containers	
G	Autumn Sage	Salvia greggii	1	5 or 15 gallon size containers	
H	Honey Suckle	Lonicera, "Goldflame"	4	" " " " "	
I	Gravel Mulch	River Bank Run	%	layered in minimum 2" thick over a mill plastic	
J	Natural Soil or shredded bark	These narrow shallow ponding areas can remain in a natural state after sculpted as proposed by the engineer's site water Management Plan			
Plant material is recommended where shown, if acceptable to the Bldg. Owners					

Commercial Project Code Data	
November 30, 2022 -- Revised July 7, 2023, Again Sept. 1, 2023	
Applicable Codes:	IBC 2015 Edition
	New Mexico Building Code 2015 Edition
	NM Electrical Code, NEC 2017 Edition
	UMC/UPC Plumbing Codes 2021 Edition
	And NM plumbing and Mechanical Codes
Accessibility Codes:	ICC / ANS Codes A 117.1 2009 Edition
	BP Light Retail, MX-M
Zoning:	F-1, (Sections 306.2 & 309.1)
Occupancy classification	F-1, (Sections 306.2 & 309.1)
Building Space Area:	total 6,750 = total gross square feet, Single Floor
Construction Type:	V-4, Table 503, 2013 Code
Group Type:	Commercial, F-1, [Section 310]
Assumed Soil Capacity	1500 PSF
Off Street Parking space	8-6' X 20'-0", spaces as shown in plan
Location of Project and Address	8739 West Central NW
Seismic Zone	Albuquerque, New Mexico
Snow Loading:	Per steel building engineers and The Architect -- 20 PSF added on July 7, 2023
Wind Load	90 MPH, IMP, factor of 1.00
Legal Description	Lot 19 and 20 of Block 7 of first Replat of Block 7 of the original Town site Westland Albuquerque, NM 2010

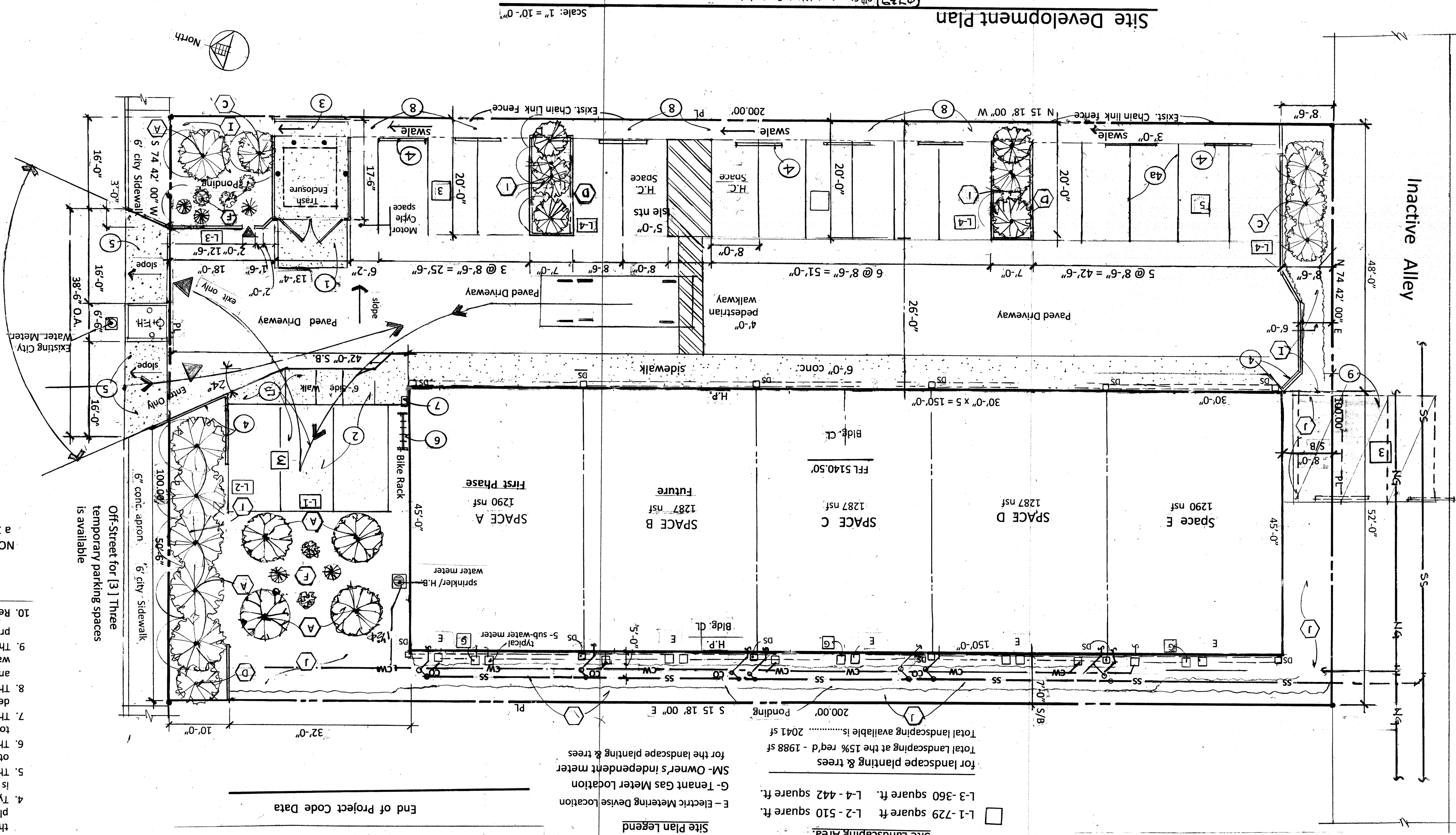
Building Floor Plan Space Legend

Refers to building Floor Plan on A-1

- A. Building Space recessed shelter entrance, typical at each tenant space for security and privacy.
- B. Overhead 2" thick insulated metal 6 panel door unit, will be electrically operated by remote or wall on-off switch.
- C. HVAC upper structure suspended ductwork independent for heating and air conditioning within each space.
- D. Rear building space area for establishing a private secure office or semi-enclosed administrative area, optional per tenant and permanently located, H.C. toilet room, mechanical room and open kitchenette wall space.
- E. suggested location for either a single or double doorway if a tenant would wish to occupy 2- of the days.

1. The concrete slab in front of trash enclosure shall be as noted on C-2, but shall have a raised curb min. 6" high along side of the paved parking space and on the side adjacent to the planting/pooling area.
2. The parking spaces adjacent to the building end and 6'-0" sidewalk shall be 6" thick and reinforced with welded wire mesh mid-slab to accommodate the weight of large trucks.
3. This space behind the container shall be of the same conc. slab but part of the swale of the paved parking lot that will allow water to flow to the planting area.
4. Typical of the few 8 ft. long conc. bumpers placed at the parking space as is shown, one bumper for two vehicles.
5. The entry and exit sloped driveway slab shall be 6" thick and reinforced as other noted slabs. See the outline area for the "Sight Triangle"
6. The bicycle rack shall of standard pre-assembled stock and fully anchored to the ground as directed and next to the building as shown.
7. This is the recommended location for the Key Box as required by the fire department or as selected by them for accessibility and visibility.
8. The entire length of the parking pavement shall extend to the fence line and the 3 ft. width shall be the full length swale that will carry drainage water to the front planting area as shown.
9. This area next to the building and part of the inactive alley is being proposed as additional parking for building employees.

NOTE 1 With a greater number of parking spaces beyond the 26 available a 10% credit is available with existing public transportation nearby



Building Floor Plan Space Legend

Project: Light Retail Spaces
8739 West Central Avenue
Albuquerque, New Mexico 87105

Customer: Serrano & Bros. LLC
2464 Tapia SW
Albuquerque, New Mexico 87105

Architect:
MIA Architecture
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Architecture Land Planning
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Revised : Sept 13, 202
Revised: Sept. 29, 202

100% completion

STATE OF NEW MEXICO
A MIGUEL TRUJILLO
No. 1473
REGISTERED ARCHITECT
June 22, 2023

West Central Avenue
120 ft. ROW

TCL