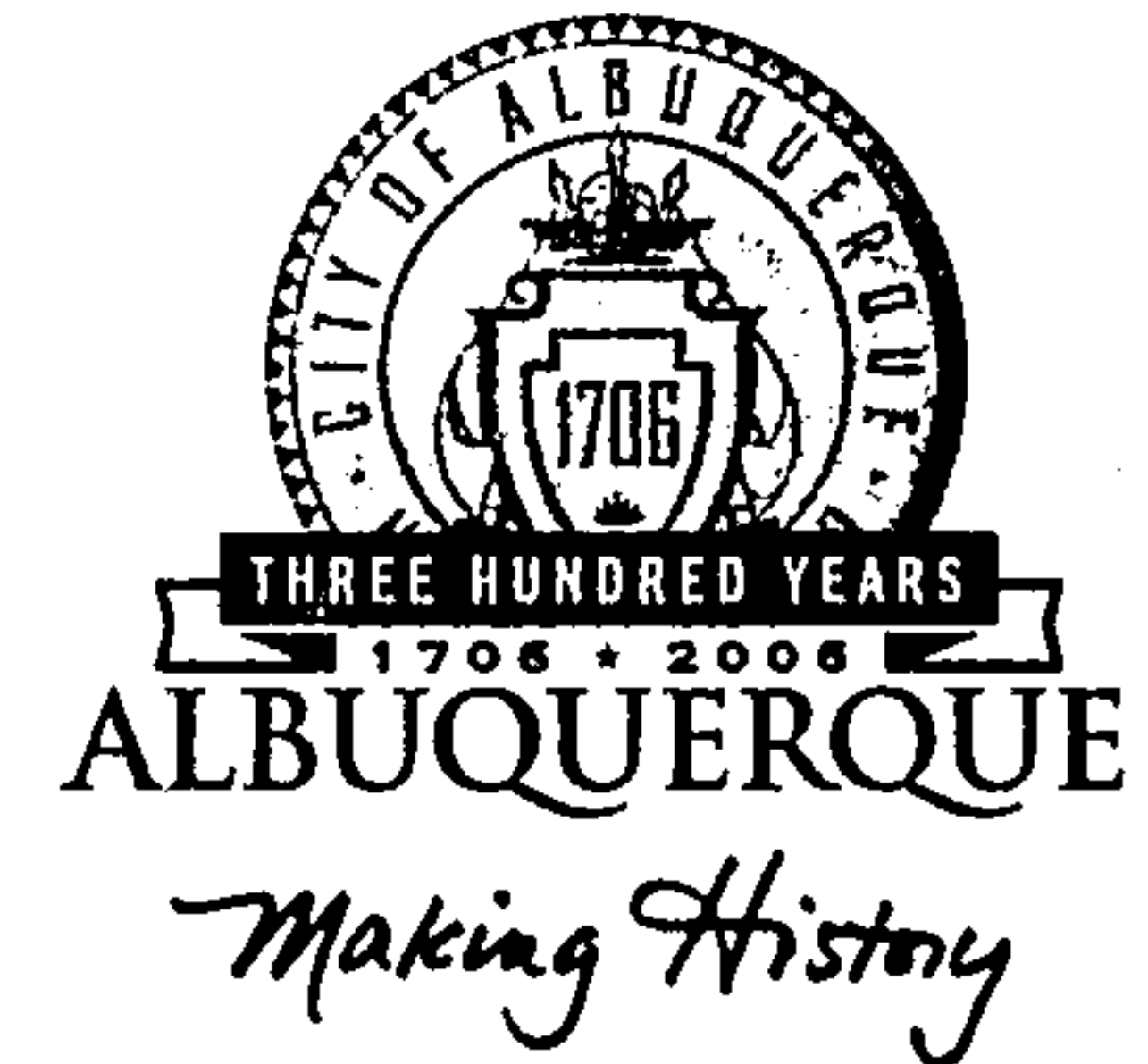


CITY OF ALBUQUERQUE



March 17, 2006

Mr. Scott McGee, P.E.
ISAACSON & ARFMAN, PA
128 Monroe St. NE
Albuquerque, NM 87108

Re: DION'S
121 Coors Blvd. NW
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 06/28/2005 (K-10/D1)
Certification dated 03/16/2006

Dear Scott,

P.O. Box 1293

Based upon the information provided in your submittal received 03/17/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

www.cabq.gov

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: DION'S COORS AND CENTRAL NW

ZONE MAP / DRG. FILE #: K - 10 / D1

DRB #: _____ EPC #: _____

WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT E-1 HUBBELL PLAZA

CITY ADDRESS: 121 COORS NW

ENGINEERING FIRM: Isaacson & Arfman, P.A.

ADDRESS: 128 Monroe St. NE

CITY, STATE: Albuquerque, NM

CONTACT: SCOTT McGEE

PHONE: 268-8828

ZIP CODE: 87108

OWNER: DION'S

ADDRESS: 8525 Jefferson NE

CITY, STATE: Albuquerque NM

CONTACT: _____

PHONE: 858 - 1010

ZIP CODE: 87113

ARCHITECT: ALEX HARRISON

ADDRESS: 8605 Mountain Rd NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: Alex Harrison

PHONE: 299 - 6322

ZIP CODE: 87112

SURVEYOR: PRECISION SURVEYING

ADDRESS: 8414 - D Jefferson NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: Larry Medrano LS# 11993

PHONE: 856 - 5700

ZIP CODE: 87113

CONTRACTOR: Gerald Martin

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

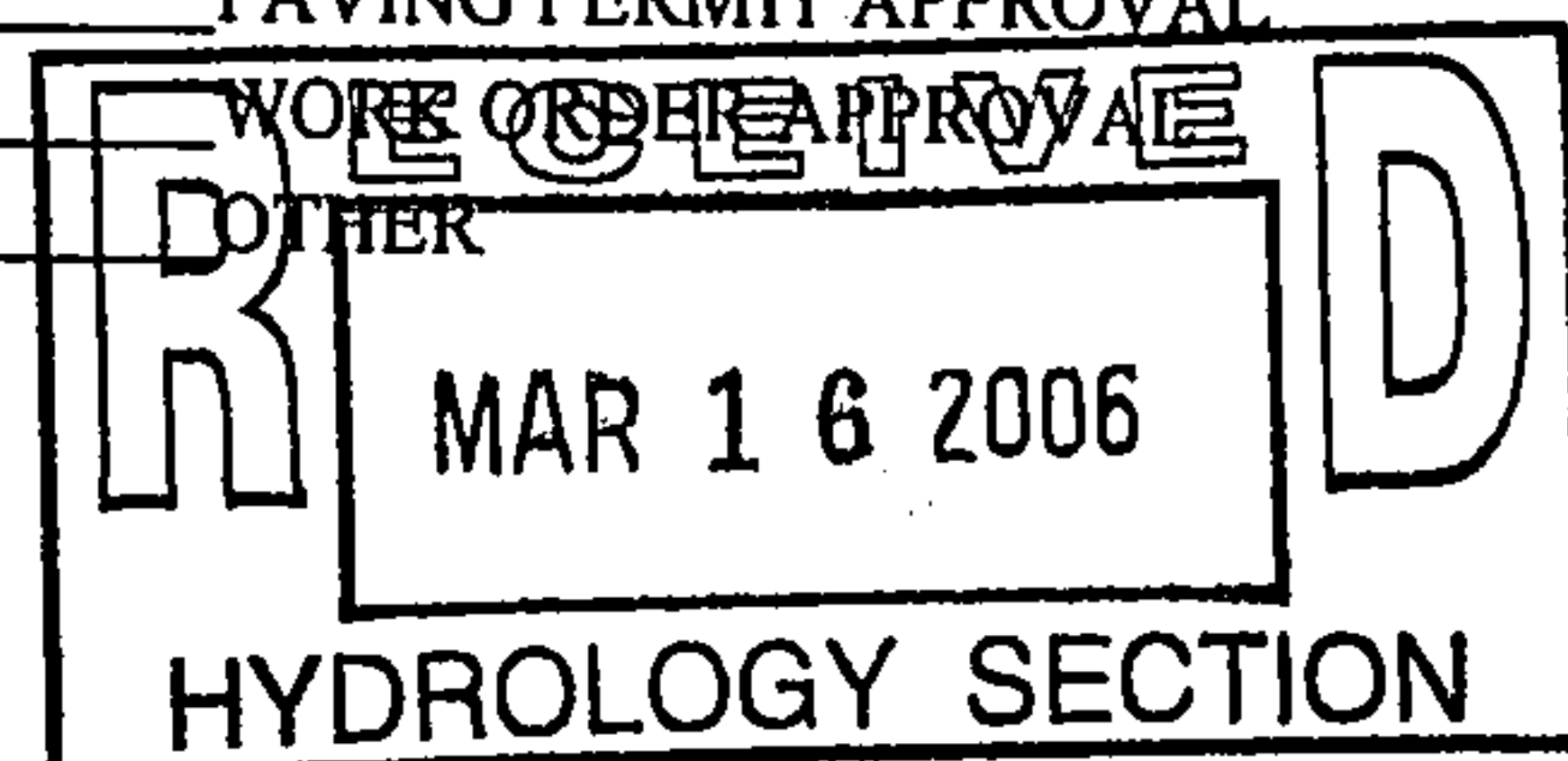
- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST *REQUIRES TCL or equal*
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR, SITE PLAN)
☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPR.
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL



DATE SUBMITTED: 3/16/06

BY: SCOTT M McGEE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and / or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five acres and Sector Plans
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five acres
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five acres or more.

VOID UNTIL VALIDATED BY CITY TREASURER

TRANS# 0042
RECEIPT# 00053632-00053632
PERMIT# 2104399

APPLICANT

02/27/2006 03/01/2006 03/01/2006 02/18/2007

START DATE	COMPLETION DATE	PERMIT EXPIRES	INSURANCE EXPIRES	BOND EXPIRES	ZONE ATLAS
02/27/2006	03/01/2006	03/01/2006	02/18/2007		

CONTRACTOR
CHAVEZ CONCRETE INC.

LICENSE
GA03

ADDRESS
4825 JEFFERSON ST. N.E.
ALBUQUERQUE, NM 87109

PERMIT NUMBER
2104399

PROJECT NUMBER
CON

PERMIT ISSUE DATE
03/01/2006

BARRICADED BY
CON

BLUE STAKE
PAVING BY

EXCAVATION 443008-5810000

SIDEWALK 443012-5810000

DRIVEPAD 443011-5810000

CURB/GUTTER 443010-5810000

BARRICADING 443009-5810000

RESTORATION 443017-5810000

TOTAL FEE
88.84

PERMIT AND DETOUR PLAN COMMENTS

S019 LETTER ON FILE CLOSE DP SB RT LN
CLOSURE FROM 9AM TO 3PM ONLY AP PER
RUBEN

CITY OF ALBUQUERQUE PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

CONTRACTOR
CHAVEZ CONCRETE INC.

LICENSE
GA03

ADDRESS
4825 JEFFERSON ST. N.E.
ALBUQUERQUE, NM 87109

PERMIT NUMBER
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PERMIT AND DETOUR PLAN COMMENTS

S019 LETTER ON FILE CLOSE DP SB RT LN
CLOSURE FROM 9AM TO 3PM ONLY AP PER
RUBEN

START DATE
03/01/2006

COMPLETION DATE
03/11/2006

PERMIT EXPIRES
03/03/2006

INSURANCE EXPIRES
02/18/2007

BOND EXPIRES
03/03/2006

ZONE ATLAS
03/01/2006

APPLICANT
[Signature]

ISSUED BY
[Signature]

VOID UNTIL VALIDATED BY CITY TREASURER

TRANS# 0042
RECEIPT# 00053632-00053632
PERMIT# 2104399

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES, AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 924-3400 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 360-4000 48 HOURS IN ADVANCE FOR THE CITY OF ALBUQUERQUE

PUBLIC WORKS DEPARTMENT

SIDEWALK & DRIVEPAD INSPECTION

APPROVED

W38 JCCA

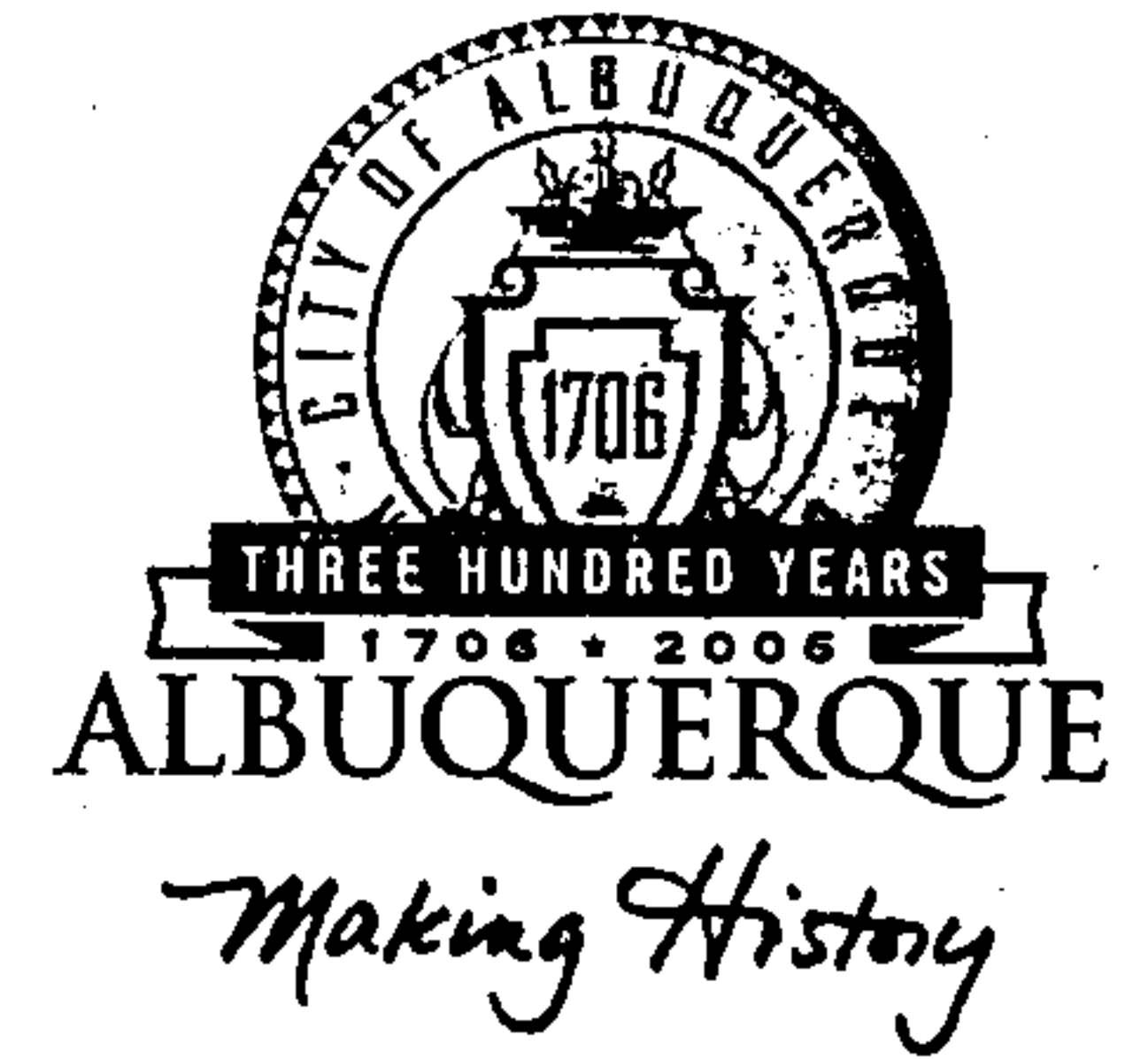
Inspector

Permits
Phone: 924-3400

Dispatch
857-8027

Insp. Office
857-8036

CITY OF ALBUQUERQUE



July 20, 2005

Scott McGee, PE
Isaacson & Arfman
128 Monroe St NE
Albuquerque, NM 87108

**Re: Dion's @ Coors & Central Grading and Drainage Plan
Engineer's Stamp dated 6-28-05 (K10/D1)**

Dear Mr. McGee,

Based upon the information provided in your submittal dated 6-29-05, the above referenced plan is approved for Building Permit and SO#19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

A separate permit (SO#19) is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: Liz Sanchez, PWD
Matt Cline, PWD
file

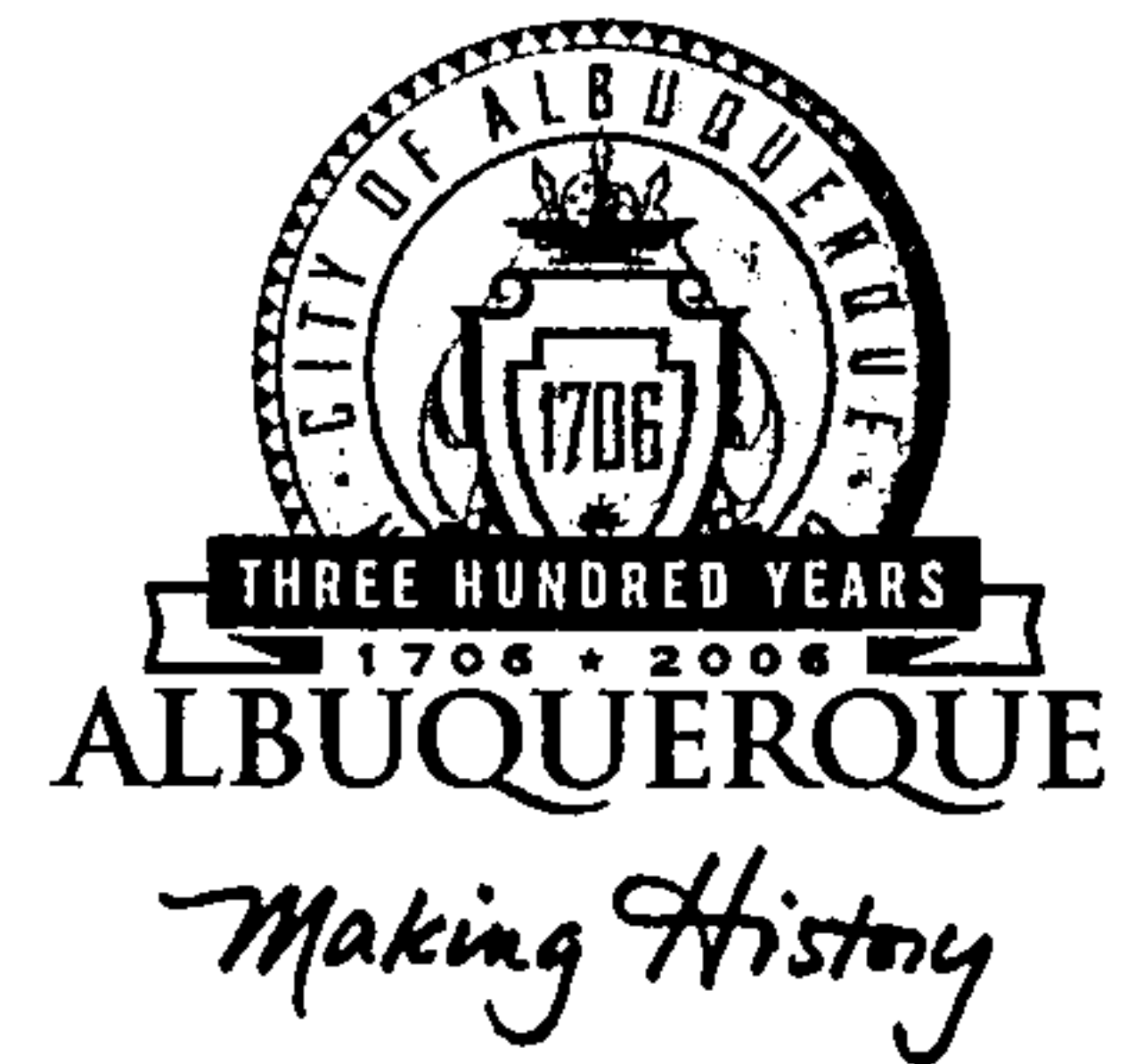
P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

March 17, 2006

Alexander Harrison, Registered Architect
8605 Mountain Road NE
Albuquerque, NM 87112

Re: Certification Submittal for Final Building Certificate of Occupancy for
Dion's Resturant, [K-10 / D1]
121 Coors Blvd NW
Architect's Stamp Dated 03/16/06

Dear Mr. Harrison:

P.O. Box 1293

The TCL / Letter of Certification submitted on March 16, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/2005)

PROJECT TITLE: DION'S RESTAURANT ZONE MAP/DRG. FILE # K-10/D1
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT E-1, HUBBEL PLAZA ADDITION
CITY ADDRESS: 121 COORS BLVD. NW

ENGINEERING FIRM: ISAACSON & ARFMAN
ADDRESS: 128 MONROE ST. NE
CITY, STATE: ALBU, NM

CONTACT: SCOTT MCKEE
PHONE: 268-8828
ZIP CODE: 87108

OWNER: DION'S
ADDRESS: 8525 JEFFERSON NE
CITY, STATE: ALBU, NM

CONTACT: DOUG MORSE
PHONE: 858-1010
ZIP CODE: 87113

ARCHITECT: ALEX HARRISON
ADDRESS: 8605 MOUNTAIN NE
CITY, STATE: ALBU, NM

CONTACT: ALEX HARRISON
PHONE: 299-6322
ZIP CODE: 87112

SURVEYOR: PRECISION SURVEYS INC
ADDRESS: 8414 D JEFFERSON NE
CITY, STATE: ALBU, NM

CONTACT: LARRY MEDRANO
PHONE: 856 5700
ZIP CODE: 87117

CONTRACTOR: GERALD MARTIN
ADDRESS: 8501 JEFFERSON NE
CITY, STATE: ALBU, NM

CONTACT: BRENDAN ADAMS
PHONE: 828 1144
ZIP CODE: 87113

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S/ARCHITECT'S CERT (TCL)
☒ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

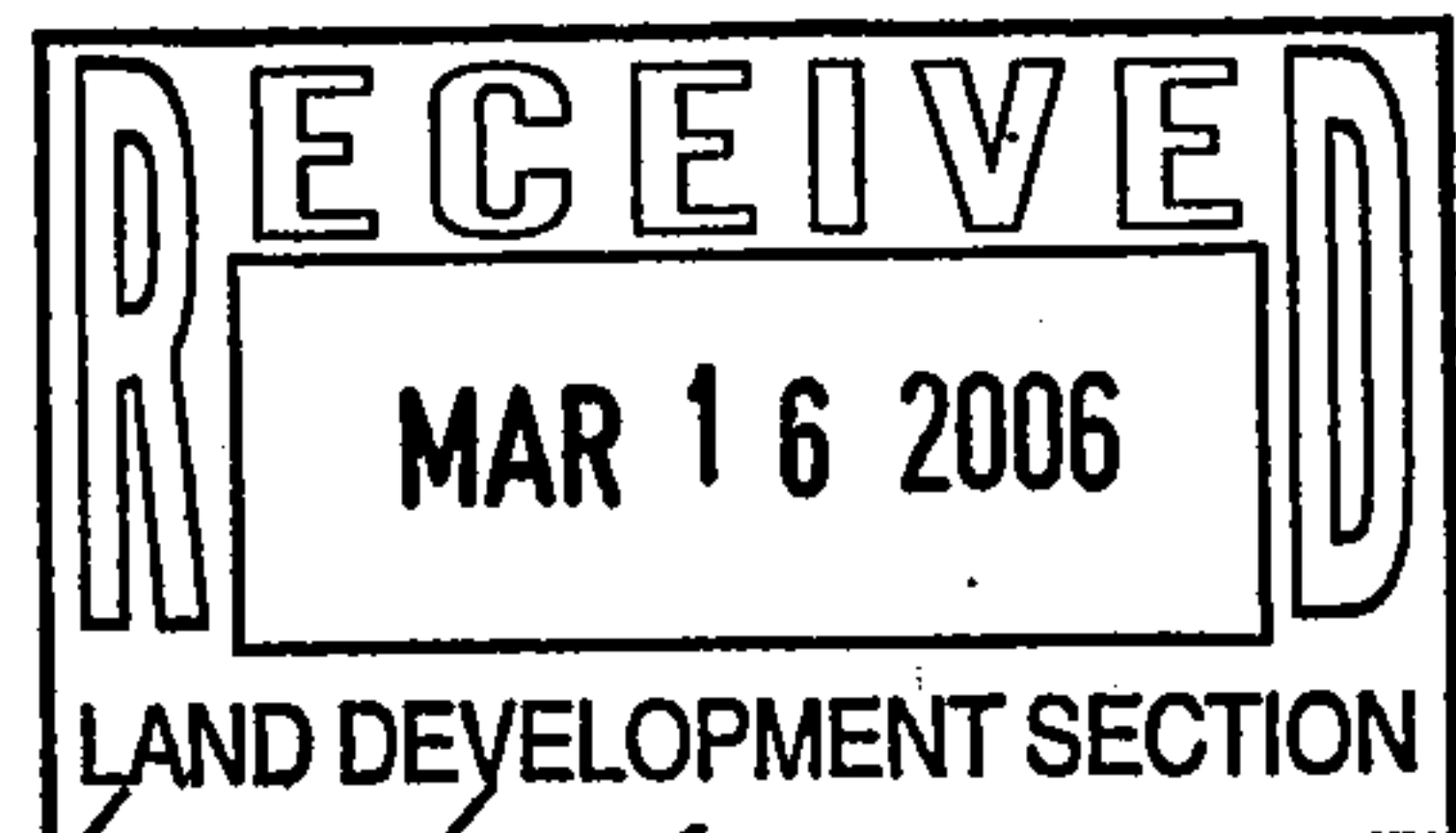
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: _____ DATE: 3/16/06



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Nilo: Give folder
back to me
when you are
done. Thanks
Arlene

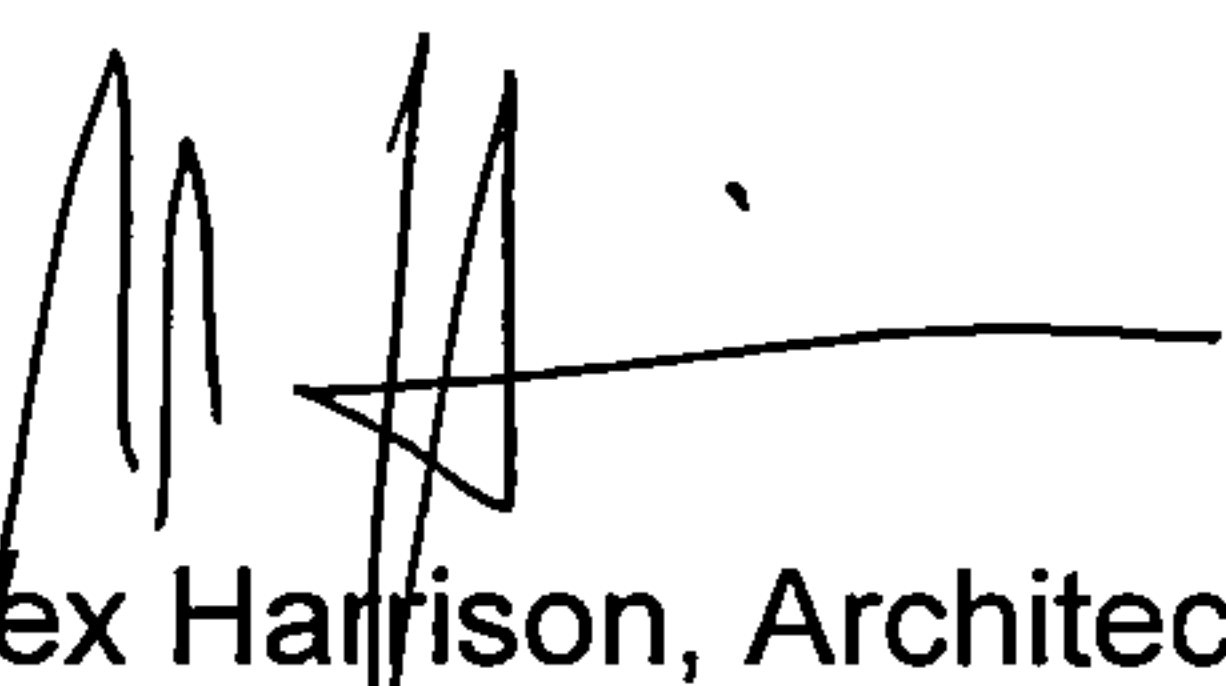
ALEXANDER HARRISON - ARCHITECT

8605 Mountain Road NE, Albuquerque, New Mexico 87112, 505-299-6322

TRAFFIC CERTIFICATION

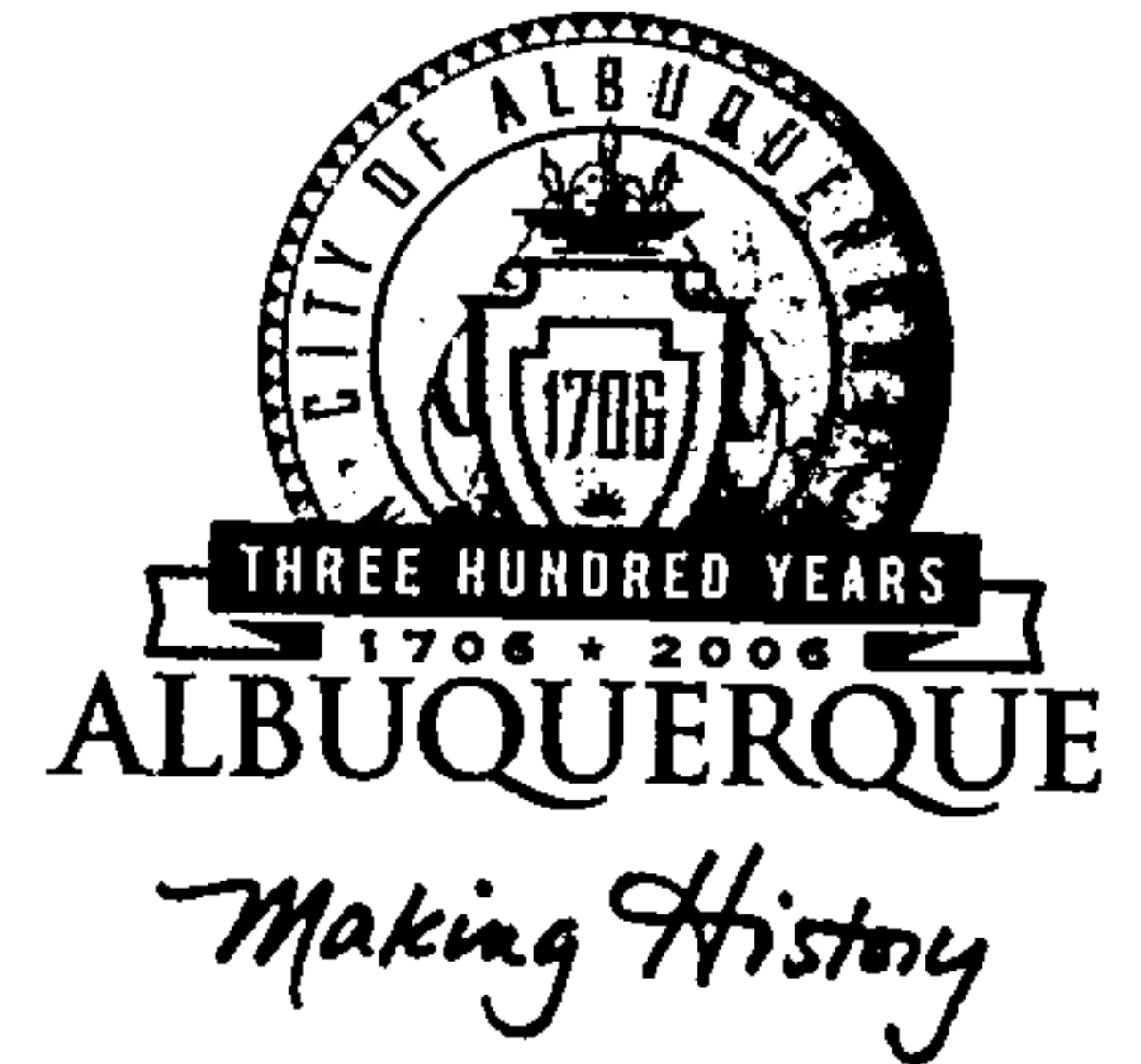
I, Alex Harrison, NMRA #1507, of the firm Alexander Harrison – Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB approved plan dated 6/08/05. The record information edited onto the original design document has been obtained by Alex Harrison, of the firm Alexander Harrison – Architect. I further certify that I have personally visited the project site on 3/15/06 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy – Permanent.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.


Alex Harrison, Architect
3/16/06



CITY OF ALBUQUERQUE



April 20, 2005

Scott McGee, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. NE
Albuquerque, NM 87108

**Re: Dions, Coors Blvd / Central Ave NW, Site Development Plan
Engineer's Stamp dated 4-05-05 (K10-D1)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 4-06-05, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. However, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

P.O. Box 1293

Albuquerque

New Mexico 87103

1. A review of previous submittals for this area shows no cross lot drainage easements between Tract E-1 and the adjacent tracts. Please provide more information regarding the overall drainage plan for this area.
2. Please provide details and calculations for the proposed detention pond, including outlet information, geographic data, and the 100-year water surface elevation.

If you have any questions, you can contact me at 924-3981.

www.cabq.gov

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: File