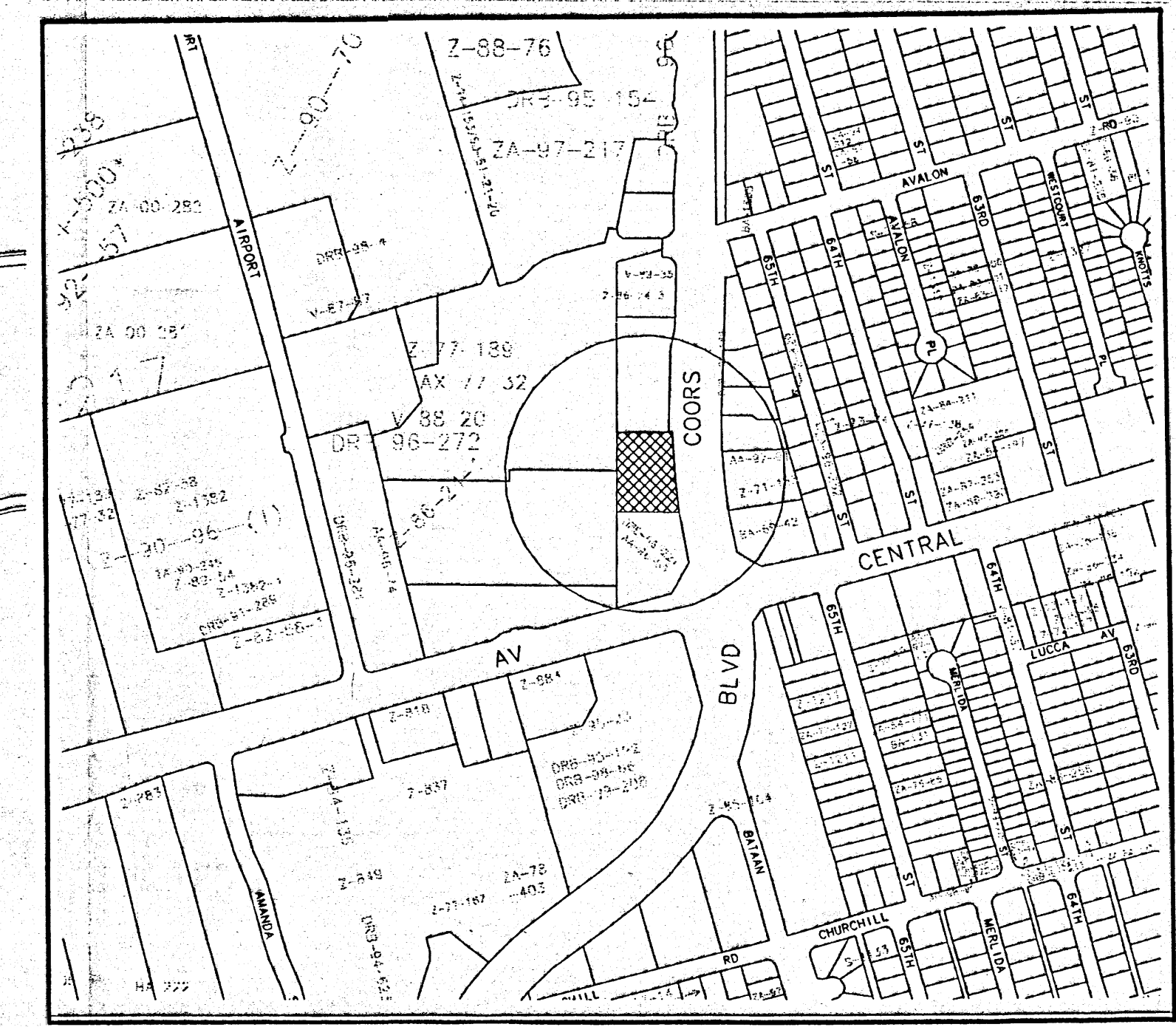
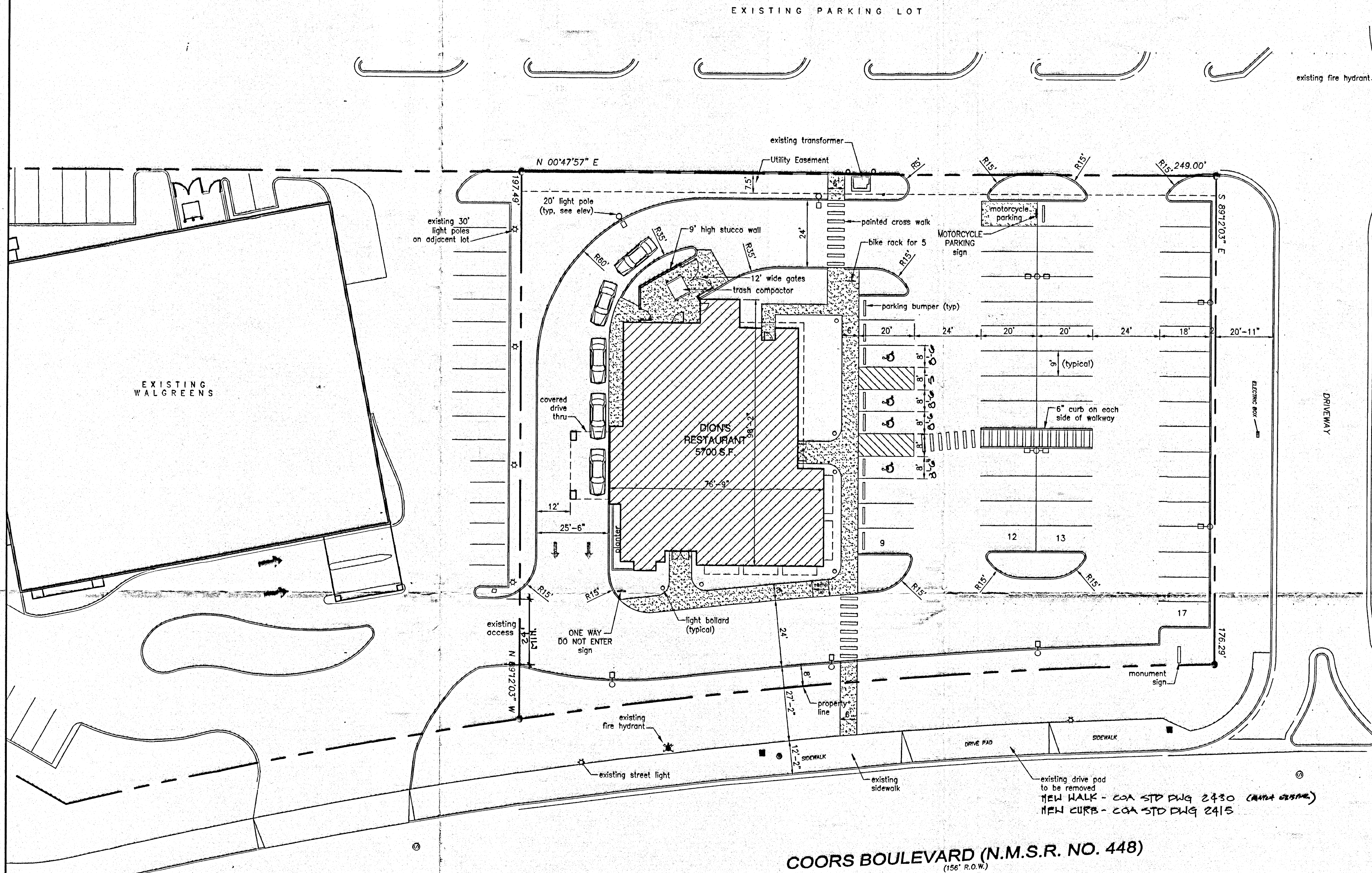




VICINITY MAP
SCALE: 1" = 500'

COORS BOULEVARD (N.M.S.R. NO. 448)
(156' R.O.W.)

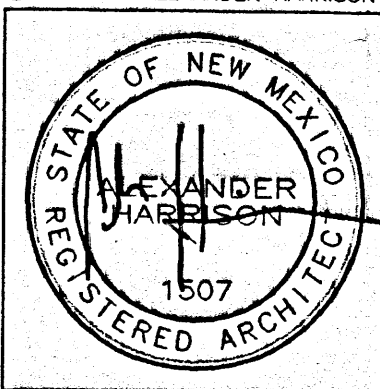
SITE PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'

SITE: 45,881 S.F. (1.05 ACRE)
BUILDING: 5700 S.F.
RESTAURANT SEATING: 198
PARKING REQUIRED: 198/4 = 50, including 4 accessible
PARKING PROVIDED: 51, including 4 accessible
BIKE PARKING REQUIRED: 54/20 = 3
BIKE PARKING PROVIDED: 5
LEGAL DESCRIPTION: TRACT E-1, HUBBEL PLAZA ADDITION
ZONING: C-2 (SC)

PROJECT NUMBER: 1004095
APPLICATION NUMBER: 05-00912
Is an Infrastructure List required? () Yes ☒ No
If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>John S. [Signature]</i>	6-8-05
Traffic Engineering, Transportation Division	Date
<i>Ronald [Signature]</i>	6-8-05
Utilities Development	Date
<i>Christina Sandora</i>	6/8/05
Parks and Recreation Department	Date
<i>Bradley D. [Signature]</i>	6/8/05
City Engineer	Date
N/A	
Environmental Health Department (conditional)	Date
<i>Michael Helton</i>	5-31-05
Solid Waste Management	Date
<i>[Signature]</i>	6/8/05
DRB Chairperson, Planning Department	Date
Environmental Health, if necessary	

ALEXANDER HARRISON
ARCHITECT
8605 Mountain Road NE, Albuquerque, NM 87112, 299-6322
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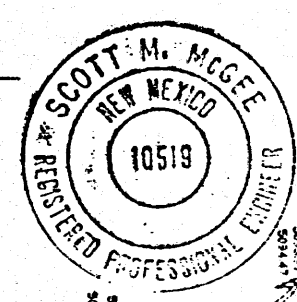


proj: 501
file: PROJECT\DION'S\DION'S C & C
date: APR 5, 2005
revisions: May 27, 2005 - EPC changes

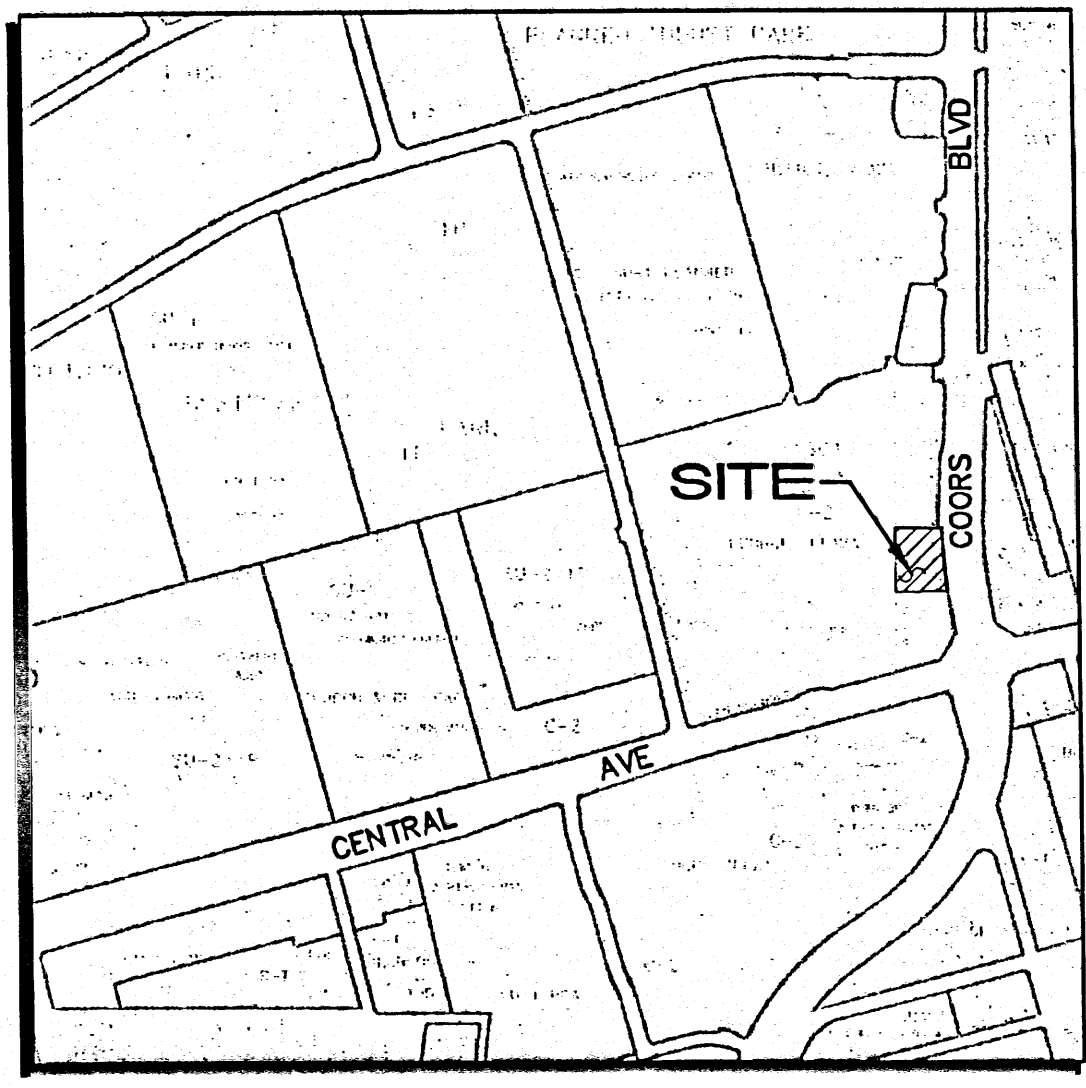
Dion's Restaurant
Coors & Central
Albuquerque, New Mexico

ENGINEER'S CERTIFICATION
I, SCOTT M. MCGEE, LICENSED UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN (CITY APPROVAL LETTER DATED 07/20/05). AS-BUILT GRADES WERE FIELD VERIFIED BY PRECISION SURVEYS, INC., NMLS NO. 11993 ON 03/15/06 IN ACCORDANCE WITH THE "NEW MEXICO ENGINEERING AND SURVEYING ACT" SECTION 61-23-1 THROUGH 61-23-32 NMSD (1978).

Scott M. McGee
SCOTT M. MCGEE, NMPE NO. 10519



3/16/06
DATE



K-10
VICINITY MAP
1"=750'±

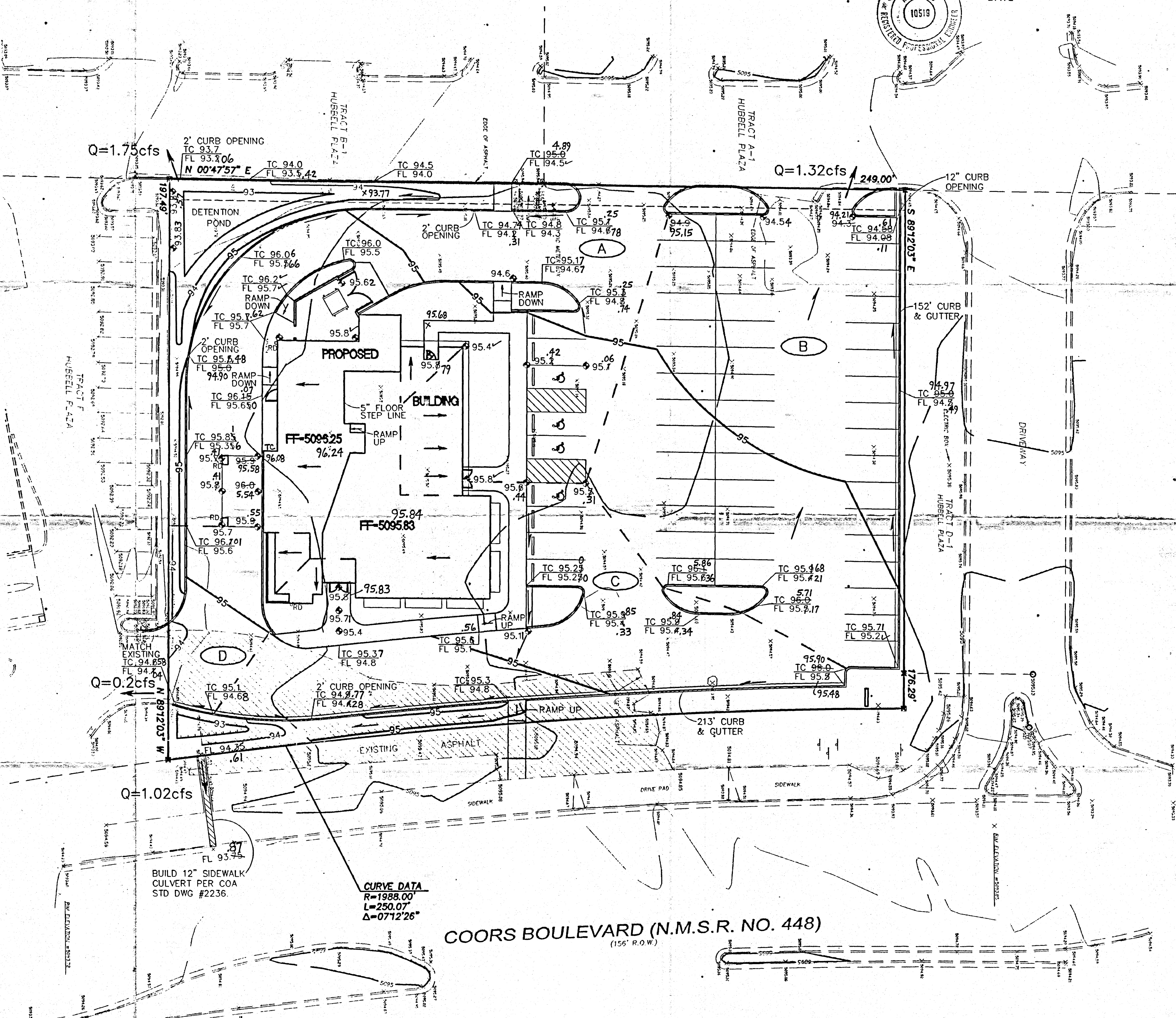
LEGAL DESCRIPTION: TRACT E-1 HUBBEL PLAZA
AREA: 1.0533 ACRES (45,881 SF)
FLOODPLAIN: FEMA FLOOD PANEL 329 (DATED 11/19/03) SHOWS THIS SITE IN ZONE "X" WHICH IS OUTSIDE THE 100-YEAR FLOODPLAIN.
HYDROLOGY: THE EXISTING SITE IS UNDEVELOPED, BUT HAS ASPHALT PAVING ALONG THE EAST SIDE. THE SITE IS FAIRLY FLAT WITH RUNOFF DISCHARGING TO THE WEST, SOUTH, & EAST SIDES.
PROPOSED DEVELOPMENT INCLUDES A 5,500 SF BUILDING WITH ASPHALT PARKING & LANDSCAPING. 4 SUB-BASINS ARE PROPOSED WHICH DISCHARGE 70% TO THE SHOPPING CENTER AND THE REMAINING 30% TO COORS BLVD. A SMALL PORTION OF THE SITE DRAINS SOUTH THROUGH AN EXISTING DRIVEPAD AS IT DOES PRESENTLY.
OFFSITE FLOW: NO OFFSITE FLOWS ENTER THE SITE.
EXISTING LAND CONDITIONS:
LAND TREATMENT:
92% B & 8% D
PRECIPITATION ZONE: 1
 $Q_{100} = (0.97)(2.03) + (0.08)(4.37) = 2.3\text{cfs}$
PROPOSED CONDITIONS:
LAND TREATMENT: 4% B, 11% C, & 85% D
 $Q_{100} = (0.04)(2.03) + (0.11)(2.87) + (0.90)(4.37) = 4.3\text{cfs}$

BASIN	AREA (AC)	Q (CFS)
A	0.430	1.75
B	0.324	1.32
C	0.251	1.02
D	0.048	0.21

NOTICE TO CONTRACTORS

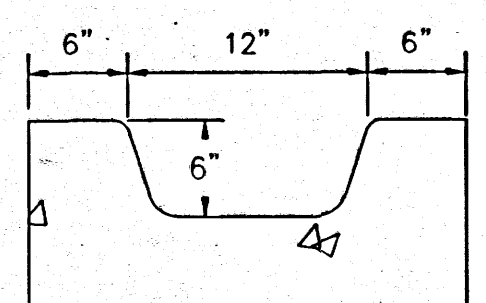
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED, OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

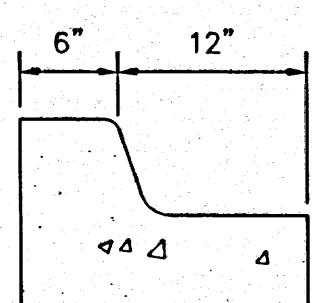


CURVE DATA
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L=250.07
Δ=071°26'

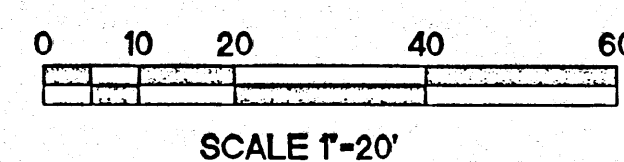
COORS BOULEVARD (N.M.S.R. NO. 448)
(156' R.O.W.)



12" CURB OPENING



CURB & GUTTER



SCALE 1"=20'

- LEGEND
- EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED SPOT ELEVATION
 - FLOW ARROW
 - FINISH FLOOR ELEVATION
 - TOP OF CURB ELEVATION
 - ROOF DRAIN
 - DRAINAGE BASIN
 - BASIN BOUNDARY
 - AS-BUILT ELEVATION

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 Fax. 505-268-2632
1449GRD.DWG

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DION'S
COORS & CENTRAL

GRADING & DRAINAGE PLAN

RECEIVED MAR 16 2006 HYDROLOGY SECTION	Checked By	Drawn By	No.	Revised	PAGE 51 OF
	SMM	thor			
	Date	Job Number			