

P.O. Box 1293 Albuquerque, NM 87103

August 30, 1996

Martin J. Chávez, Mayor

Gregory J. Krenik, PE  
Mark Goodwin & Assoc.  
P.O. Box 90606  
Albuquerque, NM 87199

RE: ENGINEER'S CERTIFICATION FOR WALGREENS @ COORS & CENTRAL  
RECEIVED AUGUST 12, 1996 FOR CERTIFICATE OF OCCUPANCY  
ENGINEER'S STAMP DATED 7-25-96 (K-10/D1A)

Dear Mr. Krenik:

Based on the information included in the submittal referenced above, City Hydrology accepts the Engineer's Certification for a Temporary Certificate of Occupancy. The following comments must be addressed before a permanent certificate of occupancy will be released:

None of the pond bottom elevations or pipe inverts have been as-built. The as-built contours for the north pond indicate that it has been eliminated or severely reduced. Verify that adequate ponding has been provided. If the pond is deeper than 18", then it must be fenced for safety.

Explain why the S.O.19 was not required City Hydrology understands that the sidewalk access to Central was moved to the west. Indicate any additional sidewalk, curb & gutter provided. Include a copy of the recorded covenant with the certification.

If you have any questions about this project, You may contact me at 768-2727.

Sincerely,

John P. Curtin, P.E.  
Civil Engineer, Hydrology

c: Andrew Garcia  
George Rainhart, George Rainhart AIA, 2325 San Pedro NE #2B, 87110



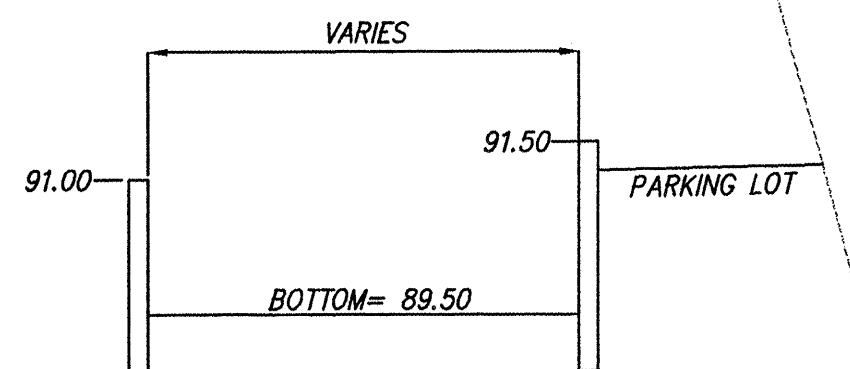
# NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1988 Edition).
3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

## DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE

Not Needed

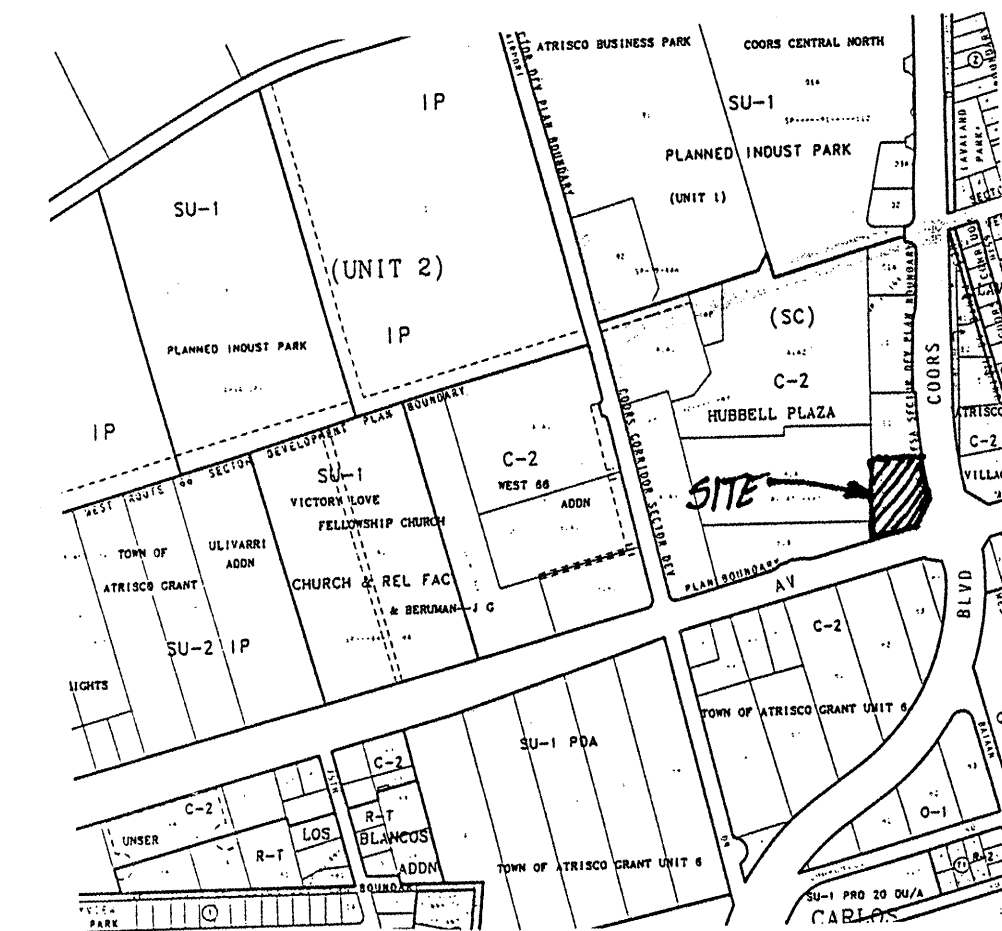
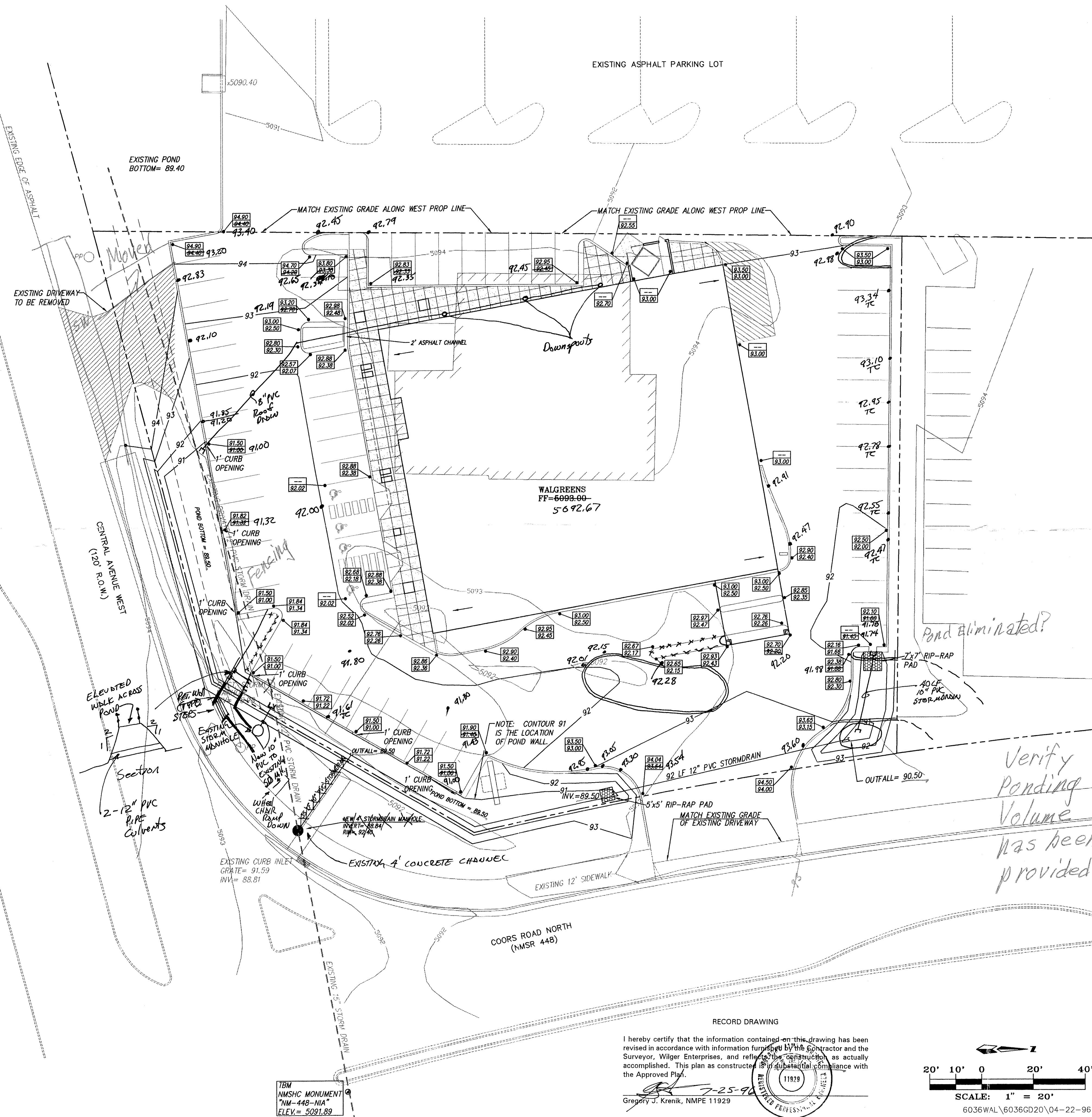


TYPICAL POND SECTION

N.T.S

### NOTES

1. SITE DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
2. FREE DISCHARGE IS NOT ALLOWED.
3. ALL LANDSCAPE AREAS ADJACENT TO BUILDING TO BE GRADED SUCH THAT ROOF RUNOFF DOES NOT POND.
4. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
5. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
6. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
7. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
8. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
9. ALL CONCRETE CURBING TO BE 4000 PSI @ 28 DAYS.
10. NO OFF-SITE FLOWS ENTER THIS SITE.
11. ALL ROOF RUNOFF SHALL BE ROUTED AWAY FROM THE WEST SIDE OF THE BUILDING.



VICINITY MAP ZONE MAP: K-10-Z

### TBM (TEMPORARY BENCHMARK)

NMSHC MONUMENT "NM-448-NIA" LOCATED SOUTH OF THE MEDIAN BULLNOSE IN THE INTERSECTION OF COORS AND CENTRAL. ELEV.= 5091.89

### ACS BENCHMARK

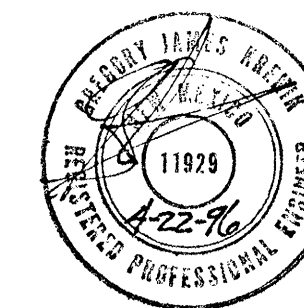
STATION IS A STANDARD ACS BRASS CAP STAMPED "448-NIA", SET 0.5 FT. BELOW THE PAVEMENT SURFACE IN A MONUMENT BOX. STATION IS LOCATED ON THE EXTENDED CENTERLINE OF COORS RD. 60.3' NORTH FROM THE CENTERLINE OF CENTRAL AVE. AND 7.6' SOUTH FROM THE NOSE OF THE MEDIAN ON COORS RD. X = 362,391.96 Y = 1,484,706.39 Z = 5091.891

### LEGAL DESCRIPTION

TRACT F, HUBBELL PLAZA

### LEGEND

- PROPERTY LINE
- PROPOSED SPOT ELEVATION
- ROOF LEADER
- PROPOSED CONTOUR
- PROPOSED FINISHED FLOOR
- EXISTING SPOT
- EXISTING CONTOUR



101 Central

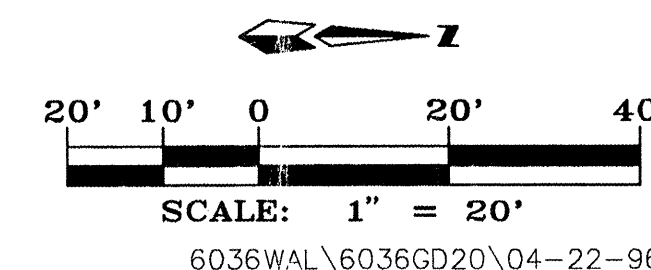
## WALGREEN'S - COORS & CENTRAL GRADING & DRAINAGE PLAN

**dmg** D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 345-2010

Designed: GJK Drawn: STAFF Checked: DMG Sheet 1 of 1  
Scale: 1" = 20' Date: 02/96 Job: 96036

I hereby certify that the information contained on this drawing has been revised in accordance with information furnished by the Contractor and the Surveyor, Wilger Enterprises, and reflects the construction as actually accomplished. This plan as constructed is in substantial compliance with the Approved Plan.

Gregory J. Krenik, NMPE 11929



6036WAL\6036GD20\04-22-96