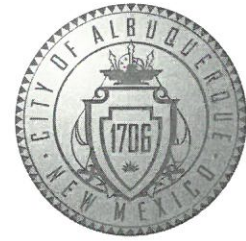


CITY OF ALBUQUERQUE



July 29, 2016 2016

Ronald Bohannon
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: Freddy's; 111 Coors Blvd NW
Request for Certificate of Occupancy- Transportation Development
Engineer's dated 7-30-15 (K10D001B)
Certification dated 07-29-16

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 07-29-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Monica Ortiz at (505) 924-3981 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

mao via: email
C: CO Clerk, File

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

July 29, 2016

Ms. Racquel Michel, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT CERTIFICATION
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
FREDDY'S, 111 COORS BLVD NW 87121**

Dear Ms. Michel:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on July 28, 2016 and is in accordance with the design intent of the Approved Site Plan for Building Permit dated 5/21/15. This certification is submitted in support of the request for Permanent Certificate of Occupancy for the completed building.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Site Plan for Building Permit. Therefore, we request approval of the as-built Site Plan for Building Permit for a Permanent Certificate of Occupancy for the completed buildings.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

Ronald R. Bohannon, P.E.

Enclosure

JN: 2015036
RRB/VP/bf





City of Albuquerque

Planning Department

Development & Building Services Division

RAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Freddy's City Drainage #: _____

DRB#: 1004095 EPC#: _____ Work Order#: _____

Legal Description: TR D-1 Plat of Hubbell Plaza

City Address: 111 Coors Blvd. NW Albuquerque, NM 87121

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestllc.com

Owner: Oak Realty Partners, Inc. Contact: Michael Bushell

Address: 5975 S Quebec Street, Suite 141 Greenwood Village, CO 80111

Phone#: 303-318-0100 Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

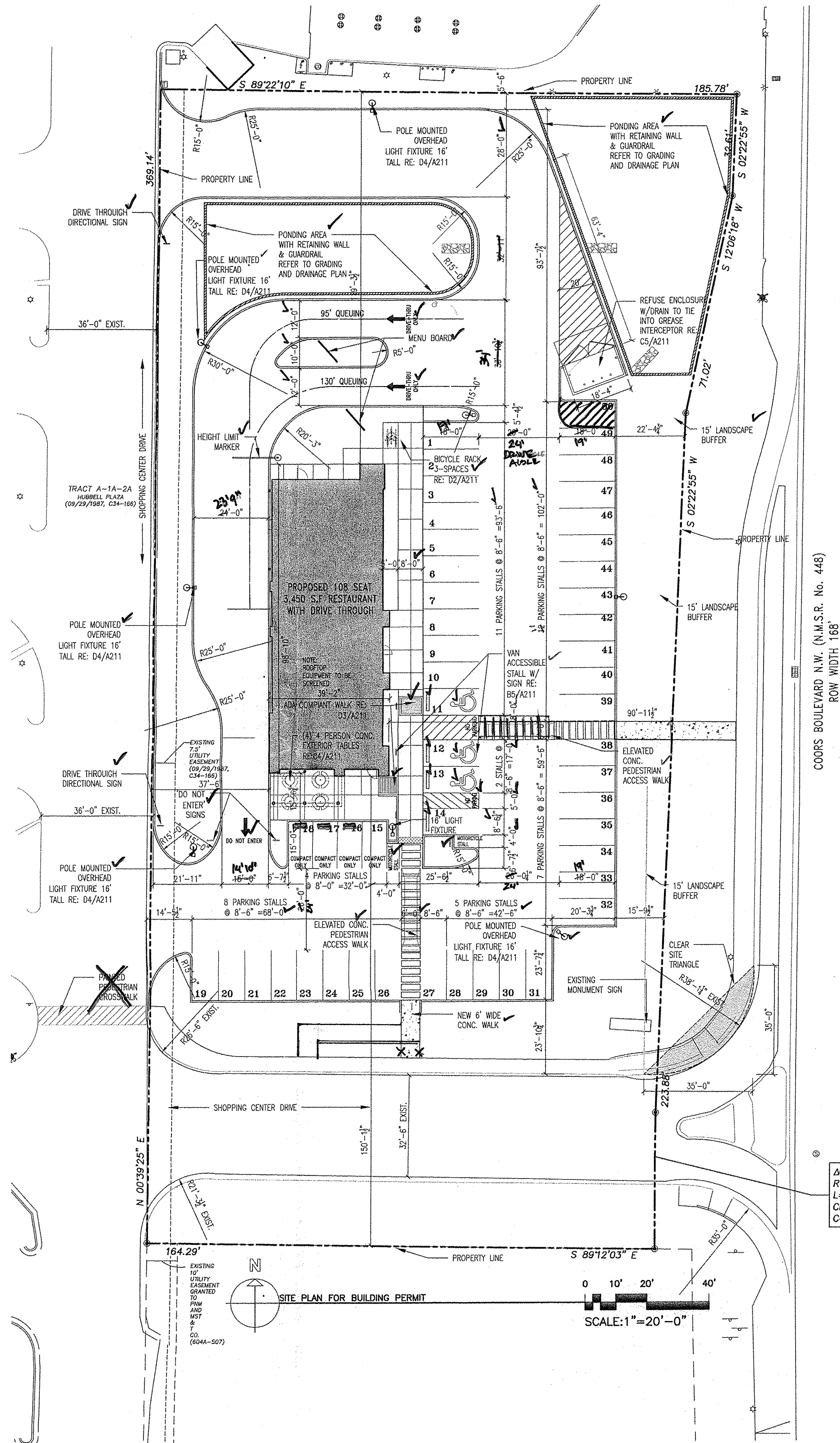
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 7/29/16 By: BF for RRB

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



COORS BOULEVARD N.W. (N.M.S.R. No. 448)
ROW WIDTH 168'

A=115'02"
R=2000.00'
L=43.66'
CH=S 00°13'42" W
C=43.66'

ADA SITE NOTES
SIGNAGE (NIMBC 1110.1 AND ANSI 502.7)
• A VERTICAL SIGN IS CENTERED AT THE HEAD OF EACH PARKING SPACE.
• CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH.
• CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND, OR DARK CHARACTERS ON A LIGHT BACKGROUND.
• SIGN DISPLAYS THE INTERNATIONAL SYMBOL OF ACCESSIBILITY (NOTE: THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PROVIDES WHITE SYMBOLS AND LETTERS ON A BLUE BACKGROUND, HOWEVER, ANSI AND 2010 STANDARDS DO NOT SPECIFY COLORS FOR SIGNAGE.)
• SIGNS TO BE WHITE BACKGROUND WITH A GREEN BORDER AND LEGEND (MUTCD SIGN # R7-8 AND R7-8A)
• SIGN MUST INCLUDE THE LANGUAGE "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" (66-7-352.4C NMSA 1978, EFFECTIVE 7-01-2010).
• VAN ACCESSIBLE SIGNS ARE PROVIDED BELOW THE OTHER SIGN.
• THE VAN SPACE SIGNAGE IS NEEDED TO ALERT VAN USERS TO THE PRESENCE OF THE WIDER AISLE, BUT THE SPACE IS NOT INTENDED TO BE RESTRICTED ONLY TO VANS. (2010 STANDARDS 502.5)
• IN PARKING LOTS THE BOTTOM OF THE SIGN IS 60" MINIMUM ABOVE THE GROUND OR PARKING SURFACE. (ANSI 502.7)
• ALONG THE PUBLIC RIGHTS-OF-WAY MUTCD REQUIRES THE BOTTOM OF THE MUTCD R7-8 SIGN TO BE 64" ABOVE THE GROUND.
PAVEMENT MARKINGS (NIMBC 1110.3)
• PARKING SPACE HAS A CLEARLY VISIBLE, BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED ON THE PAVEMENT AT REAR OF THE SPACE (66-1-4.1.E NMSA 1978) OR MUTCD RECOMMENDS A WHITE SYMBOL ON A BLUE BACKGROUND.
• PARKING SPACE LINES BE PAINTED BLUE.
• ACCESS AISLE HAS BLUE, DIAGONAL STRIPING. (66-1-4.1.B NMSA 1978).
• ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED. (66-1-4.1.B NMSA 1978)
• IN THE PUBLIC RIGHTS-OF-WAY MUTCD RECOMMENDS WHITE STRIPING.

GENERAL NOTES
• WORK ORDER REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY WITH DRC APPROVED PLANS.
• WORK ON CENTRAL AVENUE MAY REQUIRE WORK ORDER OR SPECIAL BARRICADE PERMIT.
• ALL COA ROW CURB AND GUTTER, SIDEWALK, RAMPS AND DRIVEPADS MUST BE IN GOOD CONDITION AND ADA ACCESSIBLE IF APPLICABLE. ANY ITEMS IN DISREPAIR MUST BE REMOVED AND REPLACED TO NEAREST CONTROL JOINT.
• LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SITE REQUIREMENTS. THEREFORE SIGNS, TREES, AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.

WRITTEN PROJECT SUMMARY
The proposed project is single story drive through restaurant to be built in a single phase. The building will be approximately 3,450 square foot and the parking lot and associated features will be completed within this phase. The existing zoning is C2(SO). All elements of the site plan and building elevations comply with the design guidelines of sector 1 of the Coors Corridor Sector Development Plan.

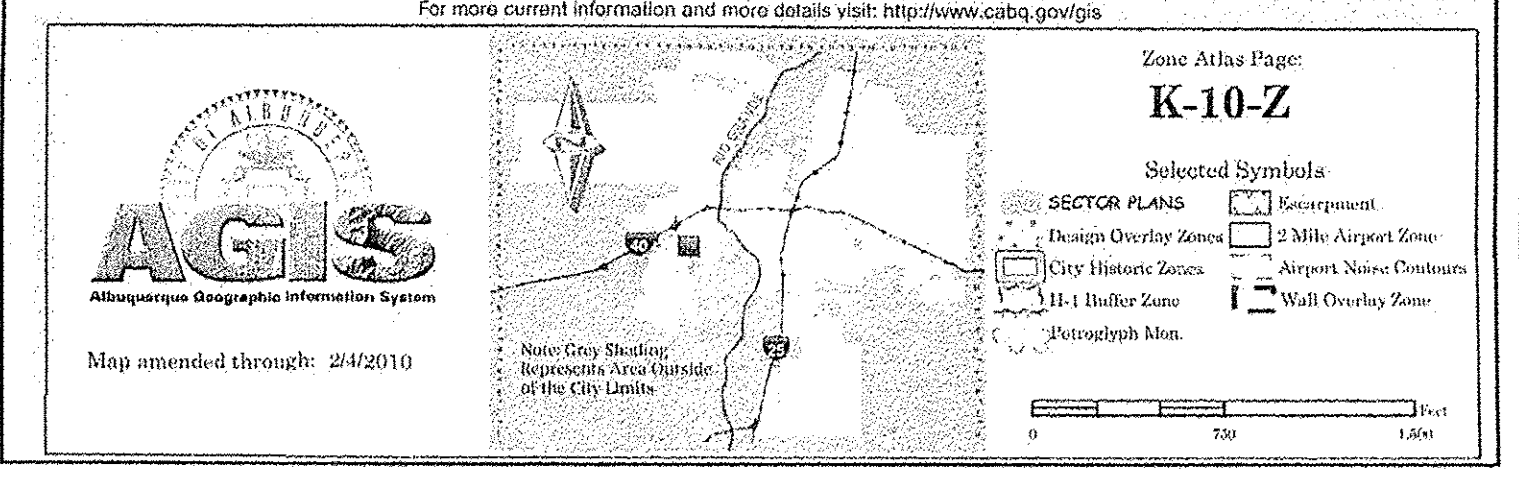
NOTES:
1. THE SITE PLAN SHALL COMPLY WITH THE GENERAL REGULATIONS OF THE ZONE CODE AND OF THE COORS CORRIDOR SECTOR DEVELOPMENT PLAN GENERAL REGULATIONS.
2. MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
3. SITE LIGHTING SHALL NOT HAVE A LUMINANCE GREATER THAN 1000 LAMBERTS

| PROJECT DATA | |
|--|---|
| LEGAL DESCRIPTION: TR 0-1 (REPLAT OF TRS A THRU F HUBBELL PLAZA AND LT 1 OF TRC-27 AIRPORT UNIT TOWN OF ATRISCO GRANT) HUBBELL PLAZA CONT. 62,983 SQ. FT. M/L | |
| ZONING: C-2 (Sc) | EXTERIOR SEATING: 16 SEATS PROVIDED (36' LF) |
| AREAS: TRACT AREA: 62,983 SQ. FT. (1.45 ACRES) BUILDING FOOTPRINT: 3,450 SF F.A.R.: .055 | PARKING REQUIREMENTS: PARKING REQUIRED (1 Per 4 SEATS) 108 SEATS PROVIDED PARKING PROVIDED ADA PARKING REQUIRED (1 VAN ACCESSIBLE) ADA PARKING PROVIDED (INCLUDES 1 VAN ACCESSIBLE) BICYCLE PARKING REQUIRED (1:20 AUTOS) BICYCLE PARKING PROVIDED MOTORCYCLE PARKING REQUIRED MOTORCYCLE PARKING PROVIDED |

PROJECT NUMBER: 1004095
Application Number:
This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

| DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL: | |
|---|------------------|
| <i>Reginald M. Wild</i> Traffic Engineering, Transportation Division | 7/22/15 Date |
| <i>Mike Cadiz</i> ABCMUA | 07/30/15 Date |
| <i>Carol S. Diamond</i> Parks and Recreation Department | 7-22-15 Date |
| <i>Pete T. Harrison</i> City Engineer | 7-22-15 Date |
| * Environmental Health Department (conditional) | Date |
| Solid Waste Management | Date |
| DRB Chairperson, Planning Department | 7-30-15 Date |



Freddy's Restaurant
Tract D-1 Hubbell Plaza
North Albuquerque Acres, Albuquerque NM

A001
5/21/15

peter butterfield
architect 13013 Glenwood Hills Ct. NE
albuquerque nm 87111 (ph) 505 332 9323 (fax) 212 0901