

CITY OF ALBUQUERQUE



April 12, 2019

NICK PIRKL
DESIGN 2 FUNCTION LLC
P.O. BOX 93368 Albuquerque NM 87199-3368
Albuquerque, NM 87121

**Re: Vitality works,
8500 bluewater rd NW Albuquerque nm 87121
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 04-11-2018 (K10D009)
Certification dated 04-11-2018**

Dear Mr. Gordon Hall

Based upon the information provided in your submittal received 04-10-2019, Transportation Development cannot approve the release of Certificate of Occupancy for the above referenced project.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The ADA sign does not have the correct language. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out detail and location of HC signs.
2. The ADA access aisles shall have the words **"NO PARKING"** in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
3. The parking structure to the west of the project site is under construction.
4. 6 ADA spots that are shown on the plans, they do not exist.
5. The existing entrance to the visitor parking needs to be built. It's not in good condition.

Once corrections are complete, resubmit acceptable package along with a completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal please submit to PLNDRS@cabq.gov. If you have any questions, please contact me at (505) 924-3675 or Racquel Michel at (505) 9243991.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Mojgan', with a long, horizontal, sweeping underline.

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

/MM via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: VITALITY WORKS **Building Permit #:** _____ **City Drainage #:** _____
DRB#: 18 DRB-70114 **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 1, BLOCK 0, UNIT 2, ATRISCO BUSINESS PARK
City Address: 8500 BLUEWATER RD NW, ALBUQUERQUE, NM 87121

Engineering Firm: ABQ Engineering Inc. **Contact:** Craig Hagelgantz PE
Address: 8102 Menaul Blvd. NE, Suite D, Albuquerque NM 87110
Phone#: 505-255-7802 **Fax#:** 505-255-7902 **E-mail:** chagelgantz@abqeng.com

Owner: VITALITY WORKS **Contact:** JUNO RABY
Address: 8500 BLUEWATER RD NW, ALBUQUERQUE, NM 87121
Phone#: 505-268-9950 **Fax#:** _____ **E-mail:** JRABY@VITALITYWORKS.COM

Architect: DESIGN 2 FUNCTION, LLC **Contact:** NICK PIRKL - PROJECT MANAGER
Address: P.O. BOX 93368, ALBUQUERQUE, NM 87199-3368
Phone#: 505-823-6481 **Fax#:** _____ **E-mail:** NICK@D2FLLC.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION
____ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

____ ENGINEER/ ARCHITECT CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ EROSION & SEDIMENT CONTROL PLAN (ESC)
____ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ____ Yes ____ No

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ PRE-DESIGN MEETING
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 3-29-19 **By:** Nick PirkI - PM

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: ____



PARKING CALCULATIONS

139,171 S.F. TOTAL BUILDING AREA (INCLUDES EXISTING AND PROPOSED STRUCTURES)	
MANUFACTURING WAREHOUSE	= 1.3 EMPLOYEES OR 1:1000 S.F. (33,740 S.F.) = 260/3 = 87
OFFICE	= 1:2000 S.F. (82,224 S.F.) = 41
TOTAL PARKING REQUIRED =	= 247 SPACES
TOTAL SPACES PROVIDED =	= 325 (INCLUDING 8 ACCESSIBLE SPACES)
MOTORCYCLE SPACES REQUIRED =	= 5:151-300 (TOTAL REQUIRED OFF-STREET PARKING)
BICYCLE SPACES REQUIRED	= 1:20 REQUIRED SPACES = 13 REQUIRED, 15 PROVIDED

THESE TREES, HANDICAP SPACES, MOTORCYCLE SPACES, AND BICYCLE RACKS ARE BEING INSTALLED UNDER A SEPARATE PAVING PERMIT AND ADMINISTRATIVE AMENDMENT.

PROJECT INFORMATION:

OWNER: VITALITY WORKS
8500 BLUEWATER BLVD NW
ALBUQUERQUE, NM 87121
505-268-9950

LEGAL DESCRIPTION: LOT 1 SUMMARY PLAT OF TRACTS H-1 H-2 I-1 & I-2 OF ATRISCO BUSINESS PARK UNIT 2
SU-1
871,814.71 S.F. (20 ACRES)
K-10
101-005-702-431-420-310
II-B, UNLIMITED AREA, FULLY-SPRINKLED (ESFR IN WAREHOUSE)
139,171 (4,000 GPM FIRE FLOW REQUIRED PER TABLE B105 (2) & B105 (2))
PROVIDED VIA (4) FIRE HYDRANTS
143,838 S.F. (18.4%) TO REMAIN AS IS, NEW STREET TREES.

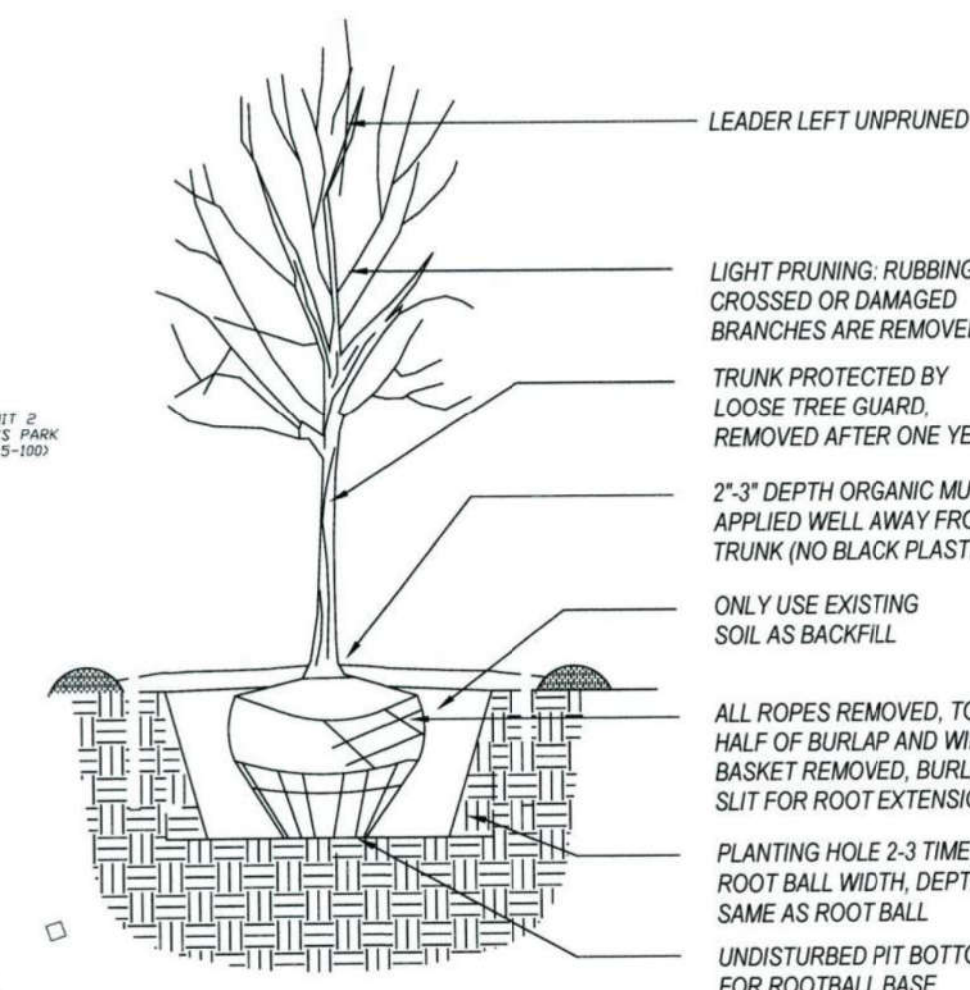
ZONING: SU-1
LOT AREA: 871,814.71 S.F. (20 ACRES)
ZONE ATLAS PAGE: K-10
UPC: 101-005-702-431-420-310
CONSTRUCTION TYPE: II-B, UNLIMITED AREA, FULLY-SPRINKLED (ESFR IN WAREHOUSE)
BUILDING AREA: 139,171 (4,000 GPM FIRE FLOW REQUIRED PER TABLE B105 (2) & B105 (2))
EXISTING LANDSCAPING: 143,838 S.F. (18.4%) TO REMAIN AS IS, NEW STREET TREES.

CITY OF ALBUQUERQUE NOTES

- "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"
- THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O., WILL BE SCHEDULED.
- ALL SIDEWALK AND C&G IN DISPAIR WILL BE REMOVED AND REPLACED.
- CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.
- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

LANDSCAPE NOTES

- MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER.
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE.
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1.1. PLANTING RESTRICTIONS APPROACH.
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10.
- LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2"-3" DEPTH.
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE, OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE 6-1.1.
- STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.
- LANDSCAPE PLAN TO CONFORM TO ZONING REGULATIONS ORDINANCE 14-16-3-10.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.
- IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER LEVELS TO ALL PLANT MATERIAL. WATER USE SHALL BE DONE IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.
- STREETSCAPE LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN A SETBACK AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

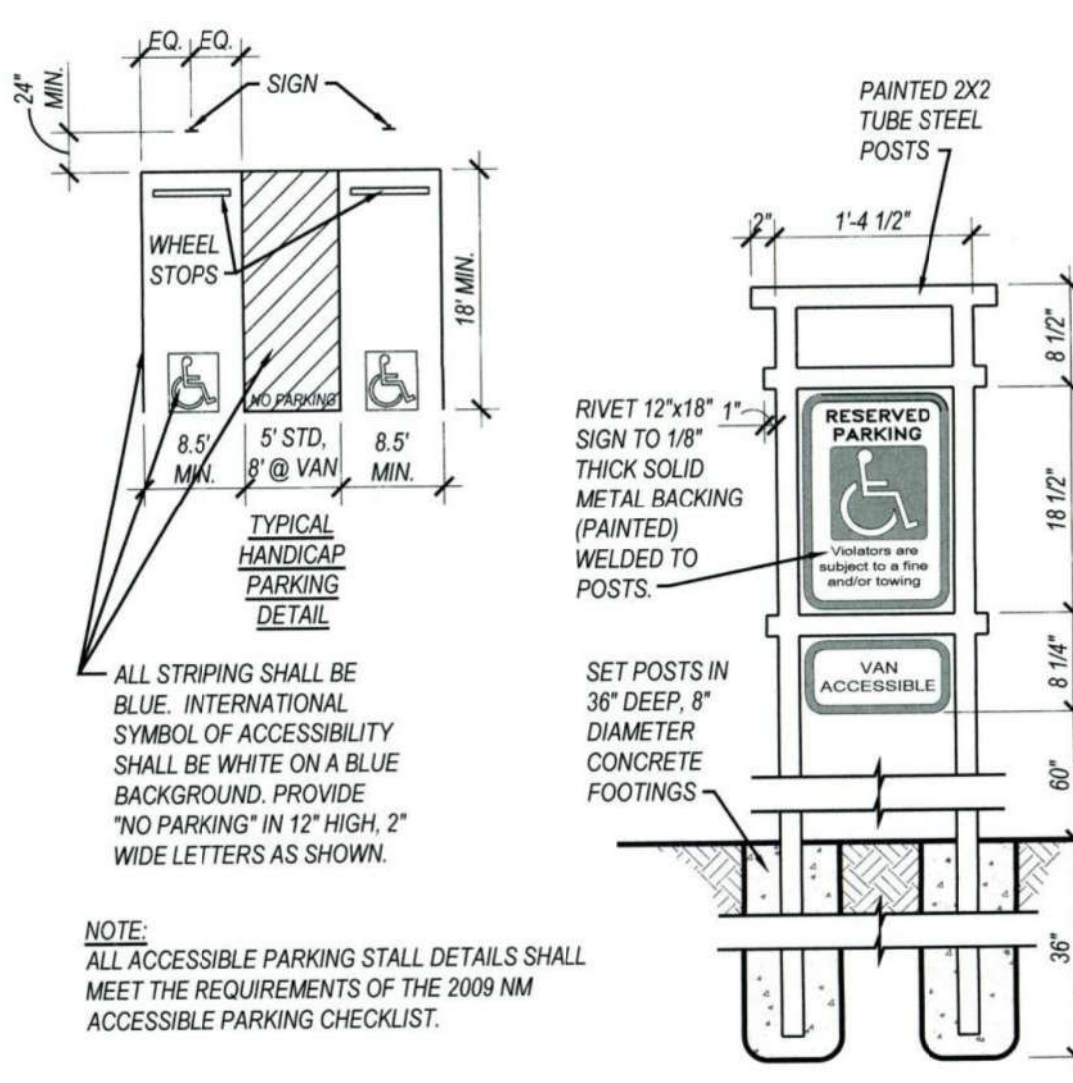


1 TREE PLANTING DETAIL

SCALE: NOT TO SCALE

○ SITE PLAN KEYED NOTES:

- REMOVE EXISTING AIR COMPRESSOR STRUCTURE IN ITS ENTIRETY.
- REMOVE EXISTING LIGHT POLE.
- REMOVE EXISTING CHAIN LINK FENCING AS REQUIRED FOR NEW STRUCTURE AND SITE LAYOUT.
- REMOVE EXISTING CURB AND GUTTER AS REQUIRED FOR NEW SITE TRUCKING LOADING AREA.
- NEW 8\"/>
- OPTION #1: EXISTING PAVING TO BE REPAIRED AND OVERLAID WITH NEW ASPHALT, APPROXIMATELY 33,500 S.F. TOTAL AREA. EXISTING CONCRETE PADS IN THIS AREA SHALL REMAIN UNLESS LOCATED IN THE AREA OF NEW PAVING (NOTE #7).
- NEW PAVING FOR WAREHOUSE ADDITION, APPROXIMATELY 15,000 S.F.
- RELOCATED TRASH COMPACTOR LOCATION. PROVIDE 12\"/>
- AND CONTAINER, 6\"/>
- NEW C&G OR CONCRETE SIDEWALK FROM EGRESS DOOR TO TRUCK LOT.
- EMERGENCY DISPERSAL AREA AS PER 2015 IBC 1028.5, SIZED FOR 150 PERSONS AT 5 S.F. EACH (775 S.F. REQUIRED). AREA SHALL BE STRIPED AND LABELED.
- STRIPES EXISTING PARKING SPACE FOR (4) NEW DEDICATED MOTORCYCLE PARKING SPACES 4\"/>
- EXISTING MONUMENT SIGN TO REMAIN.
- EXISTING LANDSCAPE AREA.
- EXISTING BIKE RACK LOCATION. ADD (2) MORE 5-LOOP RACKS FOR 15 TOTAL SPACES.
- NEW SITE LIGHTING VIA WALL MOUNTED LIGHT FIXTURES (FULL CUTOFF) MOUNTED AT 18\"/>
- AND AT 60\"/>
- NEW 5\"/>
- NEW 6\"/>
- NEW 6\"/>
- NEW 6\"/>
- NEW 26\"/>
- RE-STRIP THIS PARKING ISLAND TO PROVIDE 6-0\" ACCESS AISLE AS SHOWN BETWEEN PARKING SPACES. PROVIDE PARKING BUMPERS AND ACCESSIBLE PARKING SIGNS PER THE DETAILS.
- NEW TEXAS RED OAK (5), QUERCUS TEXANA SYN BUCKLEYI, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
- NEW CHINESE PISTACHE (3), PISTACHIA CHINENSIS, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
- NEW HONEY LOCUST (2), GLADISTIA TRIACANTHOS INERMIS, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
- NEW HACKBERRY (3), CELTIS OCCIDENTALIS, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
- NEW FRAXINUS OXYCARPA (3), FRAXINUS ANGUSTIFOLIA OXYCARPA, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
- EXISTING 7.5\"/>
- EXISTING 7.5\"/>
- NEW 6\"/>
- EXISTING RAMP AS SHOWN. SIDEWALK SHALL BE 120 MAXIMUM SLOPE AND 148 MAXIMUM C&G. PROVIDE LEVEL LANDING AT CHANGES IN DIRECTION.
- PROVIDE A 12\"/>
- 25\"/>
- 25\"/>



2 ACCESSIBLE PARKING DETAILS

SCALE: NOT TO SCALE

PROJECT NUMBER: 1011573
Application Number: 13 DRB-70114

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [redacted], and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes () No If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

	5/2/18
Traffic Engineering, Transportation Division	Date
	05-31-18
ABCWJA	Date
	5/2/18
Parks and Recreation Department	Date
	5/2/2018
City Engineer/Hydrology	Date
	5/2/18
Code Enforcement	Date
N/A	Date
Environmental Health Department (conditional)	4-12-18
Waste Management	Date
DRB Chairperson, Planning Department	6-9-18
	Date

*Environmental Health, if necessary

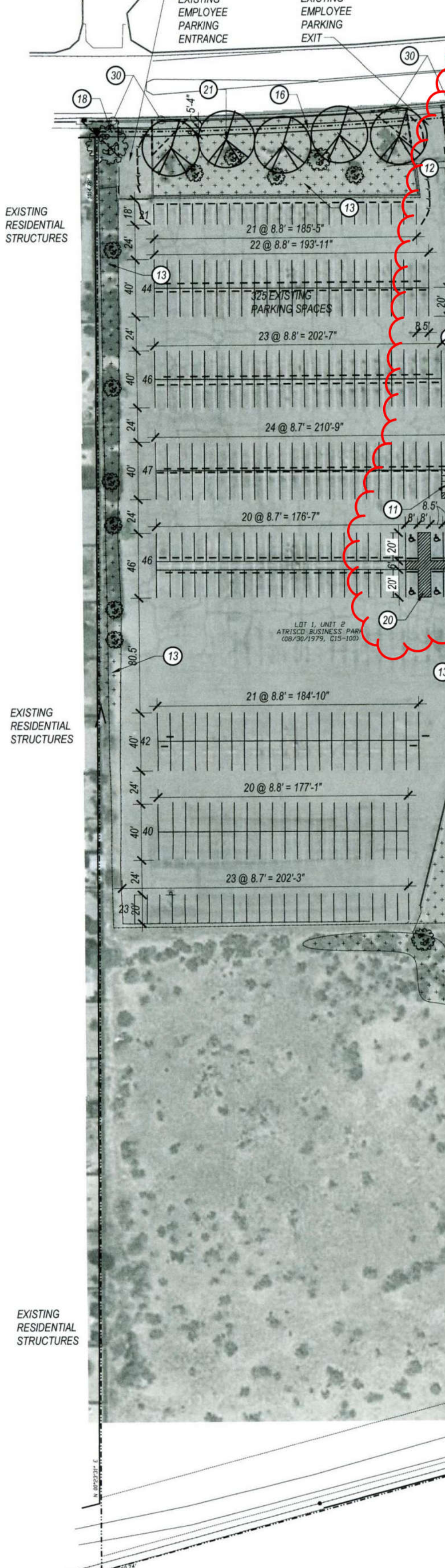
2/16/18

GENERAL SITE NOTES

- ALL EASEMENTS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL NEW SITE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET NIGHT SKY ORDINANCE REQUIREMENTS.
- COORDINATE WITH ALL UTILITY COMPANIES FOR EXACT REQUIREMENTS AND INSTALLATION DETAILS FOR, AND EXTEND ALL UTILITIES TO, THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK.
- ALL SIDEWALKS TO BE 4\"/>
- ALL PAVING TO BE TYPE \"C\" PER C.O.A. STANDARD DRAWING #2400 AND ADDITIONALLY REFERENCED STANDARDS.
- ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINT AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED WHITE ON BLUE IN EACH ACCESSIBLE PARKING STALL.
- ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2415A AND #2415B.
- DRIVEPAD ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2425.
- DRIVEWAY ENTRANCES (CURB RETURNED) SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426. ALLEY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2428.
- CONCRETE PARKING BUMPERS TO BE 7-0\"/>
- ALL SIDEWALKS TO BE 4\"/>

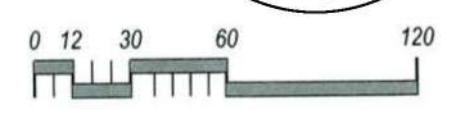
VICINITY MAP

SCALE: 1\"/>



SITE PLAN

SCALE: 1\"/>



GORDON HALL, NMRA #1005, OF THE FIRM DESIGN 2 FUNCTION, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4/11/18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ OF THE FIRM CSI-CARTESIAN SURVEYS NMRS #18374. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3/27/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

EXCEPTIONS: NOTED ON THIS PLAN.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



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VITALITY WORKS
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* ERRORS MAY OCCUR IN THE TRANSMISSION OF ELECTRONIC FILES. DESIGN 2 FUNCTION, LLC IS NOT RESPONSIBLE FOR ANY CLAIMS, DAMAGES OR EXPENSES ARISING OUT OF THE UNAUTHORIZED USE OF THE INFORMATION CONTAINED IN ELECTRONIC FILES.

DRAWING ISSUE DATES:
3/8/18
3/8/18
4/11/18

PROJECT MANAGER:
NICK PIRAL

DRAWN BY:
NAP

SHEET TITLE:
SITE PLAN
FOR BUILDING
PERMIT

C1.1

SHEET: 2 OF 45

18 DRB-70114 SHEET 1 OF 5