

# CITY OF ALBUQUERQUE



July 2, 2019

Gordon Allan Hall, R.A.  
Design 2 Function LLC  
P.O. Box 93368  
Albuquerque, NM 87199

**Re:    Vitality Works**  
      **8500 Blue Water Rd NW**  
      **Request for Certificate of Occupancy**  
      **Transportation Development Final Inspection**  
      Engineer's/Architect's Stamp dated 10-24-18 (K10D009)  
      Certification dated 6-19-19

Dear Mr. Hall,

Based upon the information provided in your submittal received 6-27-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981 or me at (505) 924-3633.

Sincerely,

Ernest Armijo, P.E.  
Senior Transportation Engineer, Planning Dept.  
Development Review Services

Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG     via: email  
C:     CO Clerk, File



139,171 S.F. TOTAL BUILDING AREA (INCLUDES EXISTING AND PROPOSED STRUCTURES)	
MANUFACTURING	= 1.3 EMPLOYEES OR 1/1000 S.F. (33,740 S.F.) = 2603.5 F
WAREHOUSE	= 1/2000 S.F. (82,224 S.F.) = 41
OFFICE	= 1/200 S.F. (23,759 S.F.) = 119
TOTAL PARKING REQUIRED	= 247 SPACES
TOTAL SPACES PROVIDED PER SDP = 325 (INCLUDING 8 ACCESSIBLE SPACES)	
TOTAL SPACES PROVIDED (Proposed) = 319 (INCLUDING 8 ACCESSIBLE SPACES) (1.8% REDUCT	
MOTORCYCLE SPACES REQUIRED = 5:151-300 (TOTAL REQUIRED OFF-STREET PARKING)	
BICYCLE SPACES REQUIRED = 1:20 REQUIRED SPACES = 13 REQUIRED, 15 PROVIDED	

OWNER:	VITALITY WORKS 8500 BLUEWATER BLVD NW ALBUQUERQUE, NM 87121 505-268-9950
LEGAL DESCRIPTION:	LOT 1 SUMMARY PLAT OF TRACTS H-1 H-2 I-1 & I-2 OF ATRISCO BUSINESS PARK UNIT 2
ZONING:	SU-1
LOT AREA:	871,814.71 S.F. (20 ACRES)
ZONE ATLAS PAGE:	K-10
UPC:	01-005-702-431-420-310
CONSTRUCTION TYPE:	I-1B, UNLIMITED AREA, FULLY-SPRINKLED (ESFR IN WAREHOUSE)
BUILDING AREA:	139,171 (4,000 GPM FIRE FLOW REQUIRED PER TABLE B105.1(2) & B105.2 PROVIDED VIA 1) FIRE HYDRANTS 143,638 S.F. (18.4%) TO REMAIN AS I.S.
EXISTING LANDSCAPING:	
NEW LANDSCAPING:	12,034 S.F. (8.4% INCREASE)

A. "THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"

B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXCEPTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK; AND (2) INCREASED CONSTRUCTION COST TO RESPONSIBLE PARTIES.

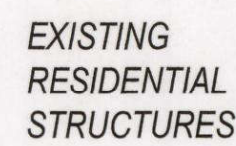
C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O. WILL BE SCHEDULED.

D. ALL SIDEWALK AND C&G IN DISREPAIR WILL BE REMOVED AND REPLACED.

E. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

F. CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

1. NEW STANDARD CURB PER DETAIL 1VC1.1A.
2. PULVERIZE EXISTING ASPHALT PAVING AS NEW BASE COURSE. OVERLAY WITH 2" ASPHALT. RESTRIPE LOT AS SHOWN.
3. (13) NEW L.E.D. PARKING LOT LIGHT POLES. MAXIMUM FIXTURE HEIGHT SHALL NOT EXCEED 30' WHEN LOCATED GREATER THAN 100' FROM THE WEST PROPERTY LINE AND 16' WHEN LOCATED LESS THAN 100' (ONLY 12' POLE TIES TO THE EXTERIOR PER THE 1002'.
4. NEW FLUSH CURB DETAIL 3C1.1A. TYPICAL ON THE NORTH SIDE OF ALL NEW ISLANDS AS SHOWN. REUSE EXISTING PARKING BUMPERS AS SHOWN.
5. NEW CONCRETE "BASKETBALL" PAD. SIZE AS SHOWN.
6. INDICATES NEW LANDSCAPING AREA. PROVIDE WITH GRAY CRUSHER FINES OVER LANDSCAPE FABRIC.
7. MOTORCYCLE PARKING SPACES WITH SIGNS AS SHOWN.
8. REMOVE EXISTING BUMPERS AND SIGNS IN DRIVEWAYS TO MAINTAIN 24" MINIMUM WIDTH.
9. NEW CONCRETE SIDEWALK TO CONNECT EXISTING SIDEWALK AND RAMP. MAXIMUM RAMP SLOPE TO BE 1:12 FOR A 6" RISE. RUNNING SLOPE OF SIDEWALK SHALL NOT EXCEED 1:20 WITH A MAXIMUM CROSS SLOPE OF 1:48.
10. FIRE DEPARTMENT ACCESS GATE SHALL HAVE KNOX BOX OR OTHER APPROVED FIRE DEPARTMENT CONTROLS.
11. INSTALL EMPLOYEE EXIT GATE TO REMAIN.
12. 20 NEW SARGENT COTTONWOOD TREES (POPULUS SARGENTII) INSTALLED PER DETAIL #5 THIS SHEET.
13. 8 NEW SARGENT COTTONWOOD PARKING LOT TREES (POPULUS SARGENTII) INSTALLED PER DETAIL #5 THIS SHEET. PROVIDE PLUMBAGO (CERATOSTIGMA PLUMBAGINOIDES) GROUND COVER UNDER TREES AS SHOWN.



GORDON HALL, NMRA #1005, OF THE FIRM DESIGN 2 FUNCTION, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE ORIGINAL PLAN AND SPECIFICATIONS. THE INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ OF THE FIRM CSI-CARTESIAN SURVEYS NMRRPS NM18374. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE AND THAT THE INFORMATION PROVIDED HEREON IS TRUE AND THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

EXCEPTIONS: NONE

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



A. ALL EASEMENTS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.

B. ALL NEW SITE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET NIGHT SKY ORDNANCE REQUIREMENTS.

C. COORDINATE WITH ALL UTILITY COMPANIES FOR EXIST. REQUIREMENTS AND INSTALLATION PLANS FOR, AND EXTEND ALL UTILITIES TO, THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK.

D. ALL SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE, BROOM FINISH WITH 1/8" PER 1'-0" MAXIMUM CROSS SLOPE, UNDER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLANS. SIDEWALKS TO BE 4'-0" WIDE MINIMUM. 4'-0" WIDE MINIMUM. CURBS SHALL BE 1'-0" LINEAR FEET, TOE EDGES WITH 1/4" FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNOWNS WITH #4 BAR CONTINUOUS.

E. ALL PAVING TO BE TYPE "C" PER C.O.A. STANDARD DRAWING #2400 AND ADDITIONALLY REFERENCED STANDARDS.

F. ALL STRIPING TO BE PER MUTCO STANDARDS FOR TRAFFIC PATTERN AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED WHITE ON BLUE IN EACH ACCESSIBLE PARKING SPACE.

G. ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2154 AND #2145B.

H. DRIVEWAY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2425. DRIVEWAY ENTRANCES (CURB RETURNED) SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426. ALLEY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426.

I. CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST 2" #3 BARS TYPICAL. ANCHOR TO PAVING WITH WITH 2" (18" LONG) 60S WELDS TYPICAL. 1" MINIMUM CLEARANCE FROM CURB TO BUMPERS. 1'-0" PAINTED RED. 1" MINIMUM HET INTO 10'-0" X 12'-0" BUILT FOLDINGS, PROVIDE 3" MINIMUM CLEARANCE FROM STEEL TO DRIVE.



**VITALITY WORKS**  
8500 BLUEWATER RD NW  
ALBUQUERQUE, NM 87121

\* THIS DOCUMENT IS THE PROPERTY OF DESIGN 2 FUNCTION, LLC AND SHALL NOT BE USED OR COPIED WITHOUT EXPRESS WRITTEN CONSENT.

\* DUE TO VARIATIONS IN PRINTING AND COPYING TECHNIQUES, THERE MAY BE SLIGHT VARIATIONS IN THE SCALE OF THE DRAWINGS. ONLY PRINTED DIMENSIONS SHALL BE USED. CONTRACTOR TO VERIFY ALL LAYOUTS, DIMENSIONS AND OTHER RELATED INFORMATION PRIOR TO BIDDING OR CONSTRUCTION.

**PROJECT MANAGER**  
**NICK PIRKL**

DRAWN BY  
NAP

CLIMATE CHANGE

SHEET TITLE:  
ADMINISTRATIVE  
AMENDMENT  
SITE PLAN

## C1.1A

SHEET: 1 OF 1

ADMINISTRATIVE AMENDMENT  
FILE # 00442 PROJECT # PR-2018-00430  
Parking and landscape  
improvements.  
R.B. 14 Dec 2018  
APPROVED BY DATE



139,171 S.F. TOTAL BUILDING AREA (INCLUDES EXISTING AND PROPOSED STRUCTURES)	
MANUFACTURING	= 1:3 EMPLOYEES OR 1:1000 S.F. (33,740 S.F.) = 260/3 = 87
WAREHOUSE	= 1:2000 S.F. (82,234 S.F.) =
OFFICE	= 1:200 S.F. (23,759 S.F.) = 119
TOTAL PARKING REQUIRED =	= 247 SPACES
TOTAL SPACES PROVIDED = 325 (INCLUDING 8 ACCESSIBLE SPACES )	
MOTORCYCLE SPACES REQUIRED =	= 5:151-300 TOTAL REQUIRED OFF-STREET PARKING)
BICYCLE SPACES REQUIRED	= 1:20 REQUIRED SPACES = 13 REQUIRED, 15 PROVIDED

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ZONING:	SU-1
LOT AREA:	871,814.71 S.F. (20 ACRES)
ZONE ATLAS PAGE:	K-10
UPC:	01-005-702-431-420-310
CONSTRUCTION TYPE:	1-B UNLIMITED AREA, FULLY-SPRINKLED (ESFR IN WAREHOUSE)
BUILDING AREA:	100,000 GPM FIRE FLOW REQUIRED PER TABLE B(05.102) & B(05.2)
EXISTING LANDSCAPING:	PROVIDED VIA (4) FIRE HYDRANTS 143,838 S.F. (14%) TO REMAIN AS IS, NEW PAVED TREES.

A. THE "RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN"

B. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT EXPECTED BY THE TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN: (1) UNLIMITED DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK, AND (2) INCREASED CONSTRUCTION COST TO RESPONSIBLE PARTIES.

C. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION. FOR TEMPORARY C.O., WILL BE SCHEDULED.

D. ALL SIDEWALK AND C&G IN DISCREP WILL BE REMOVED AND REPLACED.

E. CONTRACTOR MUST BE MADE AWARE THAT ANY AGREEMENT WITH THE OWNER STATING PORTIONS OF THIS BUILDING PERMIT WORK TO BE COMPLETED BY THE OWNER, OR A REPRESENTATIVE, WILL MEAN CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

F. CERTIFICATE BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.

A. MAINTENANCE OF LANDSCAPE (ONSITE AND WITHIN ROW) TO BE MAINTAINED BY PROPERTY OWNER.

B. PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM WITH REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ALBUQUERQUE.

C. LANDSCAPE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.

D. THIS PLAN IS TO COMPLY WITH C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1. PLANTING RESTRICTIONS APPROACH.

E. IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUNDCOVER OF LANDSCAPE AREAS AT MATURITY PER ORDINANCE 14-16-3-10.

F. PLANTING AREAS TO BE MULCHED WITH GRAVEL MULCH AT 2" DEPTH.

G. APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE C.O.A LANDSCAPE AND WATER WASTE ORDINANCE 6-1-1.

H. STREET TREES TO CONFORM TO STREET TREE ORDINANCE 6-6-2.

I. LANDSCAPE PLAN TO CONFORM TO CITY OF ALBUQUERQUE ORDINANCE 14-16-3-10.

J. LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ALLOWED IN THIS AREA.

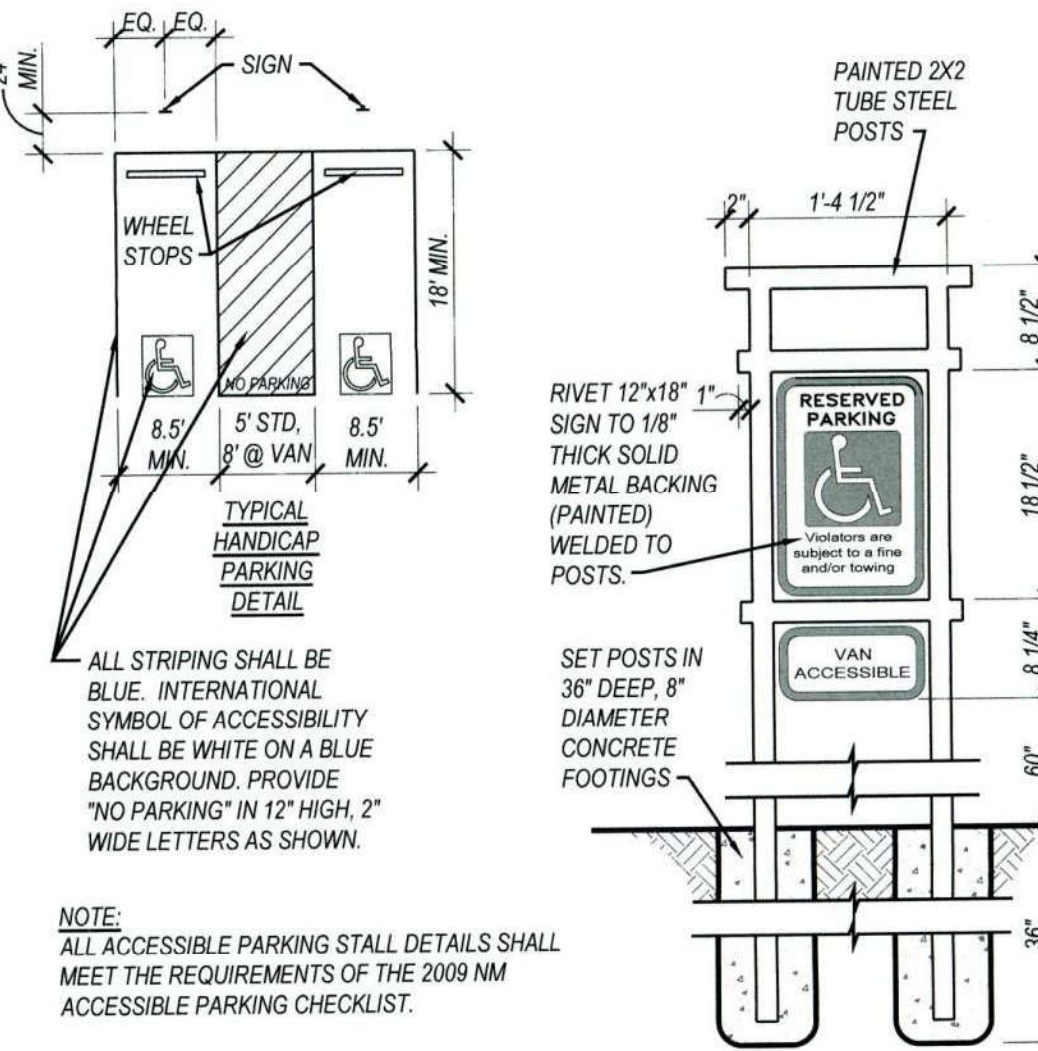
K. IRRIGATION SYSTEM: AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE UTILIZED TO PROVIDE EVEN AND ADEQUATE WATER TO ALL PLANT MATERIAL. WATER USE SHALL BE CONTROLLED IN SUCH A MANNER AS TO CONSERVE ITS USE AND PREVENT ANY AND ALL RUNOFF FROM LANDSCAPE MATERIALS. IRRIGATION SHALL BE RESTRICTED TO EARLY MORNING HOURS TO CONSERVE THIS LIMITED RESOURCE.

L. STREETScape LANDSCAPING SHALL CONSIST PRIMARILY OF SHRUBS AND DECIDUOUS TREES IN AN ADJACENT PARKING AREA BETWEEN THE RIGHT-OF-WAY OF THE STREET AND THE FACE OF THE CURB OF AN ADJACENT PARKING AREA. CLEAR-SIGHT TRIANGLE REQUIREMENTS MUST BE MET.

SCALE: NOT TO SCALE

A. ALL EASEMENTS SHOWN ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.  
B. ALL NEW SITE LIGHTING SHALL BE BUILDING MOUNTED FIXTURES. FIXTURES SHALL MEET NIGHT SKY ORDINANCE REQUIREMENTS.  
C. COORDINATE WITH ALL UTILITY COMPANIES FOR EXACT REQUIREMENTS AND INSTALLATION DEPT. OF WATER AND SEWER, AND ALL UTILITIES, TO THE PROJECT AS REQUIRED (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE, ETC.). VERIFY ALL SERVICES WITH OWNER PRIOR TO COMMENCING WORK.  
D. ALL SIDEWALKS TO BE 4" THICK MINIMUM, 4000 PSI CONCRETE. BROOM FINISH WITH 1/8" PER 1' 0" MINIMUM CROSS SLOPE. OVER COMPACTED GRADE UNLESS NOTED OTHERWISE ON GRADING PLAN. PROVIDE EXPANSION JOINTS EVERY 4'-0" LINEAR FEET AND CONTROL JOINTS EVERY 20'-0" LINEAR FEET. TOOL EDGES WITH 1/4" 0° FINISHING TOOL. PROVIDE 6" WIDE X 12" DEEP TURN DOWN EDGE AT CURBS AND ADJACENT TO PAVING. REINFORCE TURNDOWNS WITH #4 BAR CONTINUOUS.  
E. ALL PAVING TO BE TYPE "C" PER C.O.A. STANDARD DRAWING #2400 AND ADDITIONALLY REFERENCED STANDARDS.  
F. ALL STRIPING TO BE PER MUTCD STANDARDS FOR TRAFFIC PAINL AND SHALL BE WHITE IN COLOR UNLESS NOTED OTHERWISE. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE PAINTED IN BLUE IN EACH POSSIBLE PARKING SPACE.  
G. ALL HEADER CURBS, MEDIAN AND STANDARD CURB & GUTTERS TO BE CONSTRUCTED PER C.O.A. STANDARD DRAWINGS #2154 AND #2415#8.  
H. DRIVEWAY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2425. SIDEWALK ENTRANCES (CURB RETURNED) SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2426. ALLEY ENTRANCES SHALL BE CONSTRUCTED PER C.O.A. STANDARD DRAWING #2428.  
I. CONCRETE PARKING BUMPERS TO BE 7'-0" WIDE MINIMUM, SLOT BOTTOM AND REINFORCED WITH AT LEAST 2" #3 BARS TYPICAL. ANCHOR TO PAVING WITH 2" X 18" LONG 60# DOWELS 5' TYPICAL. ROUNDED STYLE BUMPERS SHALL BE 18" HIGH. 2" #4 BARS TYPICAL. 2" #4 BARS PER INSET INTO CURB. PROVIDE DEEP FOOTINGS, PROVIDE 3" MINIMUM CLEARANCE FROM STEEL TO SOIL.

1. REMOVE EXISTING AIR COMPRESSOR STRUCTURE IN ITS ENTIRETY.
2. REMOVE EXISTING LIGHT POLE.
3. REMOVE EXISTING CHAIN LINK FENCING AS REQUIRED FOR NEW STRUCTURE AND SITE LAYOUT.
4. REMOVE EXISTING CURB AND GUTTER AS REQUIRED FOR NEW SITE TRUCKING/LOADING AREA.
5. NEW 8" HIGH CHAINLINK FENCE TO MATCH EXISTING. MAINTAIN 15" MINIMUM CLEARANCE AROUND BUILDING.
6. OPTION #1: EXISTING PAVING TO BE REPAIRED AND OVERLAID WITH NEW ASPHALT, APPROXIMATELY 33,350 S.F. TOTAL AREA. EXISTING CONCRETE PADS IN THIS AREA SHALL REMAIN UNLESS LOCATED IN THE AREA OF NEW PAVING (NOTE #7).
7. NEW PAVING FOR WAREHOUSE ADDITION, APPROXIMATELY 15,000 S.F.
8. RELOCATED TRASH COMPACTOR LOCATION, PROVIDE 12X40' (10' LONGER THAN COMPACTOR MANUFACTURER, 6" THICK 3000 PSI CONCRETE PAD PER CITY REQUIREMENTS.
9. NEW A/C OR CONCRETE SIDEWALK FROM EGRESS DOOR TO TRUCK LOT.
10. EMERGENCY DISPERSAL AREA AS PER 2015 IBC 102.8.5, SIZED FOR 150 PERSONS AT 5 S.F. EACH (775 S.F. REQUIRED). AREA SHALL BE STRIPED AND LABELED.
11. STRIKE EXISTING PARKING SPACE FOR (4) NEW DEDICATED MOTORCYCLE PARKING SPACES 4'X8' MINIMUM. PROVIDE A 12X18 SIGN AT LEAST 4' FROM THE GROUND AT THE WEST END OF EACH SPACE.
12. EXISTING MONUMENT SIGN TO REMAIN.
13. EXISTING LANDSCAPE AREA.
14. EXISTING BIKE RACK LOCATION, ADD (2) MORE 5-LOOP RACKS FOR 16 TOTAL SPACES.
15. NEW SITE LIGHTING WITH WALL MOUNTED LIGHT FIXTURES (FULL CUTOFF) MOUNTED AT 18' A.F.F. AND AT 80° O.C. TYPICAL. ALL OTHER SITE LIGHTING SHALL BE EXISTING TO REMAIN.
16. NEW 5' WIDE DETACHED SIDEWALK.
17. NEW 8' WIDE ATTACHED SIDEWALK AS SHOWN.
18. NEW 6' WIDE DETACHED SIDEWALK TO MATCH EXISTING.
19. NEW 26" WIDE AGGREGATE BASE COURSE FOR FIRE DEPARTMENT EMERGENCY ACCESS. CUT CURB FLUSH TO ASPHALT AS REQUIRED.
20. RE-STRIP THIS PARKING ISLAND TO PROVIDE 6'-0" ACCESS AISLE AS SHOWN BETWEEN PARKING SPACES. PROVIDE PARKING BUMPERS AND ACCESSIBLE PARKING SIGNS PER THE DETAILS.
21. NEW TEXAS RED OAK (5), QUERCUS TEXANA SYN BUCKLEY, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
22. NEW CHINESE PISTACHE (3), PISTACIA CHINENSIS, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
23. NEW HONEY LOCUST (2), GLADIOLUS TRICANTHOS INFERMS, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
24. NEW HACKBERRY (3), CELTIS OCCIDENTALIS, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
25. NEW RAYWOOD ASH (3), FRAXINUS ANGUSTIFOLIA OXYCARPA, STREET TREES. CONNECT TO EXISTING DRIP IRRIGATION SYSTEM.
26. EXISTING 7.5' WIDE CONCRETE SIDEWALK AND RAMP TO PUBLIC ENTRANCE.
27. EXISTING 7.5' WIDE CONCRETE SIDEWALK AND RAMP TO EMPLOYEE ENTRANCE.
28. NEW 8' WIDE CONCRETE PEDESTRIAN PATHWAY FROM NEW SIDEWALK ON BLUEWATER TO EXISTING RAMP AS SHOWN. SIDEWALK SHALL BE 1:20 MAXIMUM SLOPE AND 1:48 MAXIMUM CROSS SLOPE. TYPICAL. PROVIDE LEVEL LANDINGS AT CHANGES IN DIRECTION.
29. PROVIDE A 12X18 MOTORCYCLE PARKING SIGN AT LEAST 4' FROM THE GROUND AT THE EAST END OF THE EXISTING MOTORCYCLE PARKING SPACE FOR PUBLIC USE AS SHOWN.
30. 25' CLEAR SIGN TRIANGLE. NO SIGNING REQUIRED. SIGNING WILL NOT INTERFERE WITH CLEAR SIGN TRIANGLE. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8' FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGN TRIANGLE.



SCALE: NOT TO SCALE

Application Number: 18 DPB-70114

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.

**Is an Infrastructure List required?** ( ) Yes ( ) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN APPROVAL**

*Robert Williams*  
Traffic Engineering, Transportation Division  
*Walter Cook*  
ABCWUA  
*John J. Taylor*  
Parks and Recreation Department  
City Engineer/Hydrology  
*N/A*  
Code Enforcement  
\* Environmental Health Department (conditional)  
*Walt*  
Solid Waste Management  
*Walt*  
DRB Chairperson, Planning Department

\*Environmental Health, if necessary

2/16/18



**VITALITY WORKS**  
8500 BLUEWATER RD NW  
ALBUQUERQUE, NM 87121

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\* ERRORS MAY OCCUR IN THE TRANSMISSION OF ELECTRONIC FILES. DESIGN 2 FUNCTION, LLC IS NOT RESPONSIBLE FOR ANY CLAIMS, DAMAGES OR EXPENSES ARISING OUT OF THE UNAUTHORIZED USE OF

DRAWING ISSUE DATES	
3/8/18	
3/28/18	
4/11/18	

**PROJECT MANAGER**  
**NICK PIRKL**

DRAWN BY:  
NAP

SHEET TITLE:  
SITE PLAN  
FOR BUILDING  
PERMIT

## C1.1

SHEET: 2 OF 45

18 DRB-70114 SHEET 1 of 5



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** VITALITY WORKS **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_  
**DRB#:** 18 DRB-70114 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 1, BLOCK 0, UNIT 2, ATRISCO BUSINESS PARK  
**City Address:** 8500 BLUEWATER RD NW, ALBUQUERQUE, NM 87121

**Engineering Firm:** ABQ Engineering Inc. **Contact:** Craig Hagelgantz PE  
**Address:** 8102 Menaul Blvd. NE, Suite D, Albuquerque NM 87110  
**Phone#:** 505-255-7802 **Fax#:** 505-255-7902 **E-mail:** chagelgantz@abqeng.com

**Owner:** VITALITY WORKS **Contact:** JUNO RABY  
**Address:** 8500 BLUEWATER RD NW, ALBUQUERQUE, NM 87121  
**Phone#:** 505-268-9950 **Fax#:** \_\_\_\_\_ **E-mail:** JRABY@VITALITYWORKS.COM

**Architect:** DESIGN 2 FUNCTION, LLC **Contact:** NICK PIRKL - PROJECT MANAGER  
**Address:** P.O. BOX 93368, ALBUQUERQUE, NM 87199-3368  
**Phone#:** 505-823-6481 **Fax#:** \_\_\_\_\_ **E-mail:** NICK@D2FLLC.COM

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

\_\_\_\_ HYDROLOGY/ DRAINAGE  
\_\_\_\_ TRAFFIC/ TRANSPORTATION  
\_\_\_\_ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

\_\_\_\_ ENGINEER/ ARCHITECT CERTIFICATION  
\_\_\_\_ CONCEPTUAL G & D PLAN  
\_\_\_\_ GRADING PLAN  
\_\_\_\_ DRAINAGE MASTER PLAN  
\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

\_\_\_\_ BUILDING PERMIT APPROVAL  
\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_ CLOMR/LOMR  
\_\_\_\_ PRE-DESIGN MEETING  
\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 6-27-19 **By:** Nick PirkI - PM

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_