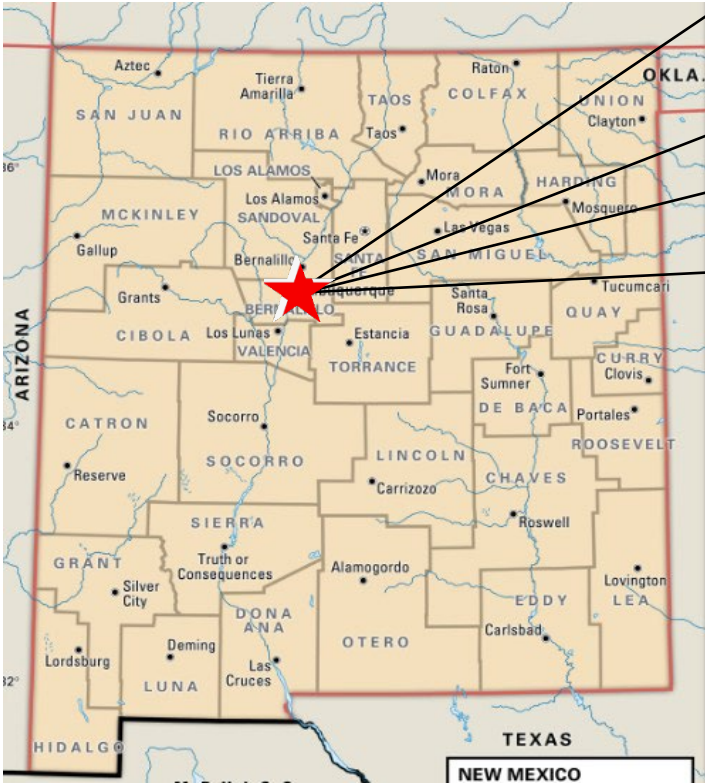


ABB ABQ Expansion

6625 Blue Water Road NW, Albuquerque, NM 87121

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN


PAGE INDEX	
1	TITLE PAGE
2	SWPPP INFO & NOTES
3	DETAILS
	TEMPORARY EROSION CONTROL PLAN
	SCHEDULE & SWPPP TEAM




GPS COORDINATES:

35.086904

-106.714446

 CPESC STAMP	ABB ABQ Expansion		PROJECT TITLE	
	ALBUQUERQUE, NM - BERNALILLO COUNTY			
	CITY, COUNTY, STATE			
	12/07/2023	DATE	D. Lewis / J. Tolman	DRAWN BY

INSPECTIONS PLUS



PERMIT NUMBER: NMR

NMR100000 STATE OF NEW MEXICO, EXCEPT INDIAN COUNTRY  
NMR10I000 INDIAN COUNTRY WITHIN THE STATE OF NEW MEXICO, EXCEPT NAVAJO RESERVATION LANDS THAT ARE COVERED UNDER ARIZONA PERMIT AZR10I000 AND UTE MOUNTAIN RESERVATION LANDS THAT ARE COVERED UNDER COLORADO PERMIT COR10I000.

OPERATOR NAME: David E. Harvey Builders, Inc.

OPERATOR POINT OF CONTACT: Chris Parise

NOI PREPARED BY: Inspections Plus

PROJECT/SITE NAME: ABB ABQ Expansion

PROJECT/SITE ADDRESS: 6625 Blue Water Road NW, Albuquerque, NM 87121

LATITUDE 35.086904

LONGITUDE -106.714446

ESTIMATED PROJECT START DATE 12/12/2023

ESTIMATED PROJECT COMPLETION DATE 12/12/2024

ESTIMATED AREA TO BE DISTURBED 8.1 acres

TYPE OF CONSTRUCTION Commercial

DEMOLITION OF ANY STRUCTURES, 10,000 SQ FT OF GREATER BUILT OR RENOVATED BEFORE JANUARY 1, 1980? NO

WAS THE PREDEVELOPMENT LAND USED FOR AGRICULTURE? NO

COMMENCED EARTH DISTURBING ACTIVITIES? NO

DISCHARGE TO MS4? MS4 NAME? YES; Albuquerque

SURFACE WATERS WITHIN 50FT? NO

RECEIVING WATER? Rio Grande River

IS RECEIVING WATER IMPAIRED? TIER DESIGNATION YES; 3

WHAT ARE THE IMPAIRMENTS, IF ANY? Dissolved Oxygen, E. Coli, Mercury, PCBS - Fish Consumption




SWPPP CONTACT INFORMATION: Inspections Plus, Madelyn Schauer, 505-895-1547, madelyn@inspectionsplus.com

ENDANGERED SPECIES CRITERIA: CRITERION "A"; NO CRITICAL HABITATS CRITERION "A"

HISTORIC PRESERVATION CRITERIA: PREEXISTING DEVELOPMENT

EROSION CONTOL NOTES  
ESC Plan Standard Notes (2022-08-23)

- 1.All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
- a.The City Ordinance § 14-5-2-11, the ESC Ordinance,  
b.The EPA's 2017 Construction General Permit (CGP), and  
c.The City of Albuquerque Construction BMP Manual.
- 2.All BMP's must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP's such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
- 3.Self-inspections - At a minimum a routine compliance self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- 4.Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
- 5.Stabilization reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request. Reports should include records of weed removal per City Ordinance (§ 9-8-1), sterilization, soil test results and recommendation, materials, and manufacturer's specifications for application rates, estimated functional longevity, methods of application, inspection and maintenance. The reduced self-inspection schedule in CGP 4.4.1 applies to stabilized area and any damaged or worn stabilization must be identified in the reports along with weed problems. Corrective actions for stabilization shall be documented in a stabilization report including actual rates and dates of stabilization, and the materials and manufacturer's specifications used.
- 6.BMPs shall be inspected and maintained until all disturbed areas are stabilized in accordance with the Final Stabilization Criteria (CGP 2.2.14.b). Generally, all disturbed areas, other than structures and impervious surfaces, must have uniform perennial vegetation that provides 70 percent or more of the cover provided by native vegetation or seed the disturbed area and provide non-vegetative mulch that provides cover for at least three years without active maintenance. Final stabilization must be approved by the City of Albuquerque prior to removal of BMPs and discontinuation of inspections.

  CPESC STAMP	ABB ABQ Expansion PROJECT TITLE	
	ALBUQUERQUE, NM - BERNALILLO COUNTY CITY, COUNTY, STATE	
	12/07/2023 DATE	 INSPECTIONS PLUS
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SEDIMENT TRACK OUT CONTROL



- BMP Objectives**
- Sediment Control

BERMS AND SWALES



- BMP Objectives**
- Runoff Control
  - Run-on Diversion

SILT FENCE



- BMP Objectives**
- Sediment Control
  - Sheet Flow Runoff Control
  - Wind Erosion Control

MULCH SOCK/STRAW WATTLE






- BMP Objectives**
- Sediment Control
  - Reduce Runoff Velocity
  - Inlet Protection

INLET PROTECTION

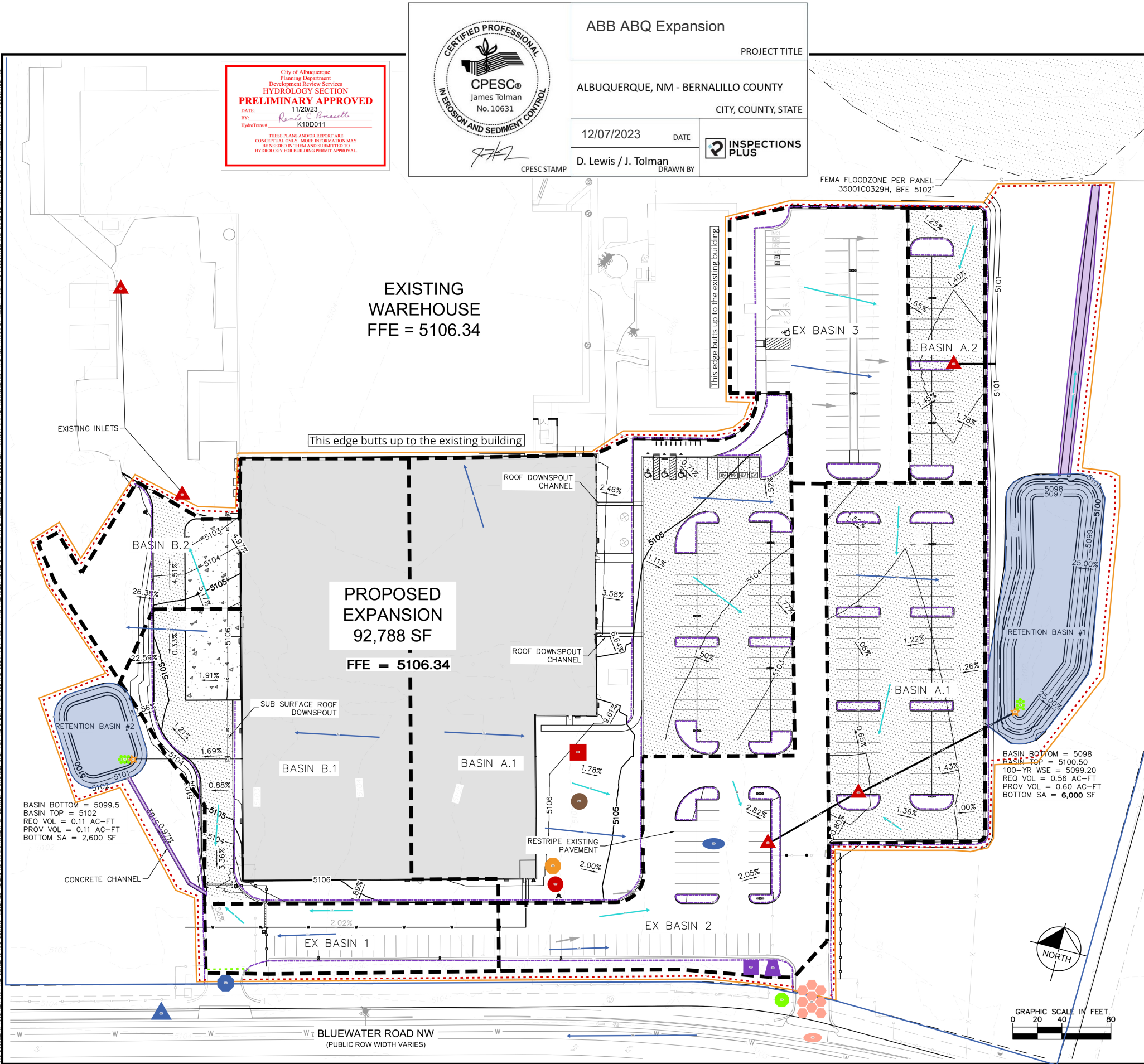


- BMP Objectives**
- Sediment Control
  - Sheet Flow Runoff Control
  - Wind Erosion Control

  CPESC STAMP	ABB ABQ Expansion		PROJECT TITLE
	ALBUQUERQUE, NM - BERNALILLO COUNTY		CITY, COUNTY, STATE
	12/07/2023	DATE	
	D. Lewis / J. Tolman	DRAWN BY	



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**LEGEND:**

—	PROPERTY LINE
- - -	ADJACENT SECTION LINE
- - -	EX. UTILITY ESMT
- - -	EX. WROUGHT IRON FENCE
- - -	EX. CHAIN LINK FENCE
⊗	EX. FIRE HYDRANT/VALVE
⊗	EX. SANITARY SEWER MANHOLE/CLEANOUT
— S —	EX. SANITARY SEWER LINE
⊗	EX. FLAGPOLE
— OWE —	EX. OVERHEAD ELECTRICAL
■	EX. STORM INLET
⊙	EX. SITE LIGHT
+	EX. SIGN
—	PROP. 6" VERTICAL CURB
—	PROP. BUILDING
—	PROP. PAVEMENT
—	PROP. FIRE LANE
— 5747 —	PROP. CONTOUR
— 5747 —	EX. CONTOUR
X.XX%	PROP. SLOPE ARROW
- - -	PROP. BUILDING SETBACK
→	EX. SLOPE ARROW

**GRADING LEGEND:**

FLOWLINE =	FL
BOTTOM OF CURB =	BOC
FINISHED GRADE =	FG
EXISTING GRADE =	EG
FINISHED FLOOR ELEVATION =	FFE
EDGE OF PAVEMENT =	EOP
HIGH POINT =	HP
LOW POINT =	LP
SIDEWALK =	SW
CENTERLINE =	CL

**GRADING LEGEND:**

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EDGE OF PAVEMENT =	EOP
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LOW POINT =	LP
SIDEWALK =	SW
CENTERLINE =	CL

**PROJECT LOCATION**

**FEMA FIRMETTE #35001C0329H**

**VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z**

**ABB ABQ Expansion**

PROJECT TITLE

ALBUQUERQUE, NM - BERNALILLO COUNTY

CITY, COUNTY, STATE

12/07/2023 DATE

D. Lewis / J. Tolman DRAWN BY

INSPECTIONS PLUS

CPESC STAMP

CERTIFIED PROFESSIONAL  
CPESC®  
James Tolman  
No. 10631  
EROSION AND SEDIMENT CONTROL

**City of Albuquerque**  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 11/20/23  
BY: *James C. Bruneau*  
HydroTrans #: K10D011

THESE PLANS AND/OR REPORT ARE  
CONCEPTUAL ONLY. MORE INFORMATION MAY  
BE NEEDED IN THEM AND SUBMITTED TO  
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

**Kimley»Horn**

DESIGNED BY: MEJ  
DRAWN BY: MEJ  
CHECKED BY: SAL  
DATE: 11/06/2023

**LEGAL DESCRIPTION:**  
TRACT A, ATRISCO BUSINESS  
PARK UNIT 1, CONTAINING  
39.775 ACRES

**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
**SITE PLAN - DFT**  
CONCEPTUAL GRADING & DRAINAGE PLAN

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION

**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

























PROJECT NO.  
096523009



SHEET  
D2





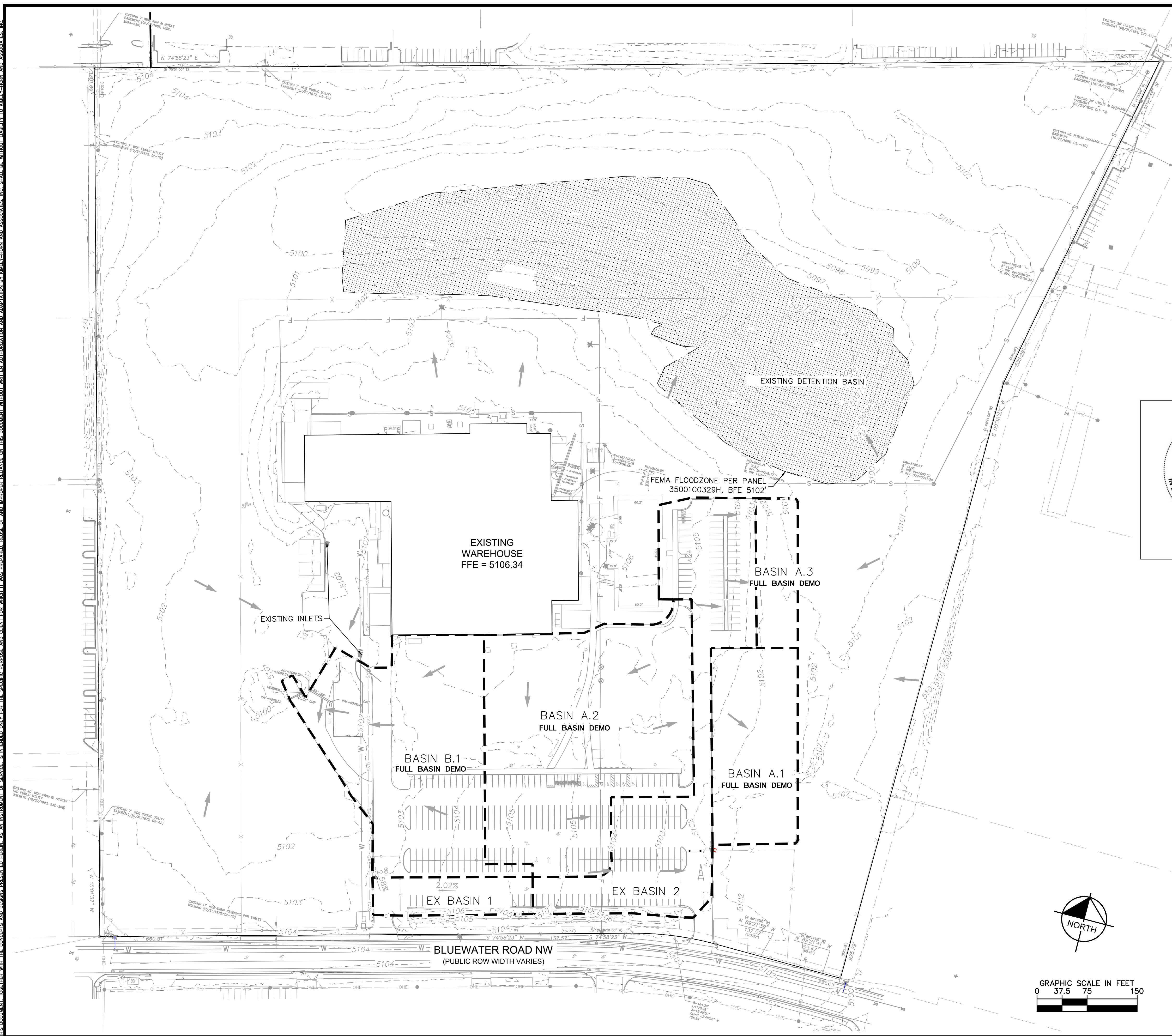
Latitude: 35.086904  
 Longitude: -106.714446

-  Concrete Drainage Swale (2)
-  Retention Basin (2)
-  Pre-Construction Water Flow/Slope (11)
-  Cut-back Curbs and/or Sidewalks (33)
-  Limit of Disturbance (3)
-  Gator Guard (1)
-  Post-Construction Water Flow/Slope (14)
-  Silt Fence (4)
-  Property Boundary (1)
-  Street Sweeping (1)
-  Spill Kit - near Material Storage (1)
-  Water Truck (1)
-  Material Storage (1)
-  Yellow Jacket Inlet Filter (5)
-  Dumpster (1)
-  NOI/Site Notice Posting (1)
-  Portable Concrete Washout Bin w/ Sign (1)
-  Outfall Point (2)
-  Stabilized Construction Entrance/Exit (1)
-  Rip Rap (2)
-  Portable Toilet - MUST be staked and at least 10 ft. from any impervious surface (1)
-  Temporary Barricade (1)
-  Stockpiles (1)
-  Yellow Jacket Inlet Filter at nearest downstream inlet (1)

 CPESC STAMP	ABB ABQ Expansion	
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	CITY, COUNTY, STATE	
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- EX. STORM INLET
- EX. SITE LIGHT
- EX. SIGN

City of Albuquerque  
Planning Department  
Development Review Services  
**HYDROLOGY SECTION**  
**PRELIMINARY APPROVED**  
DATE: 11/20/23  
BY: *Renee E. Brissett*  
HydroTrans # K10D011  
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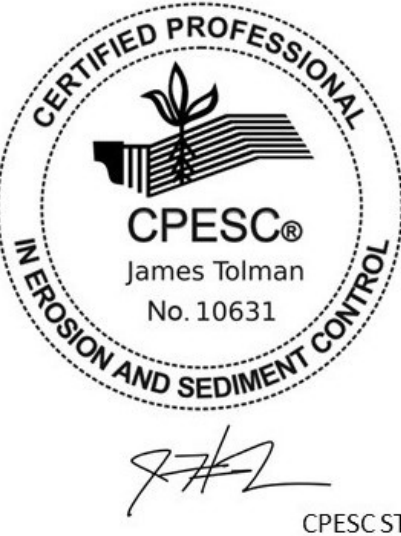


ABB ABQ Expansion

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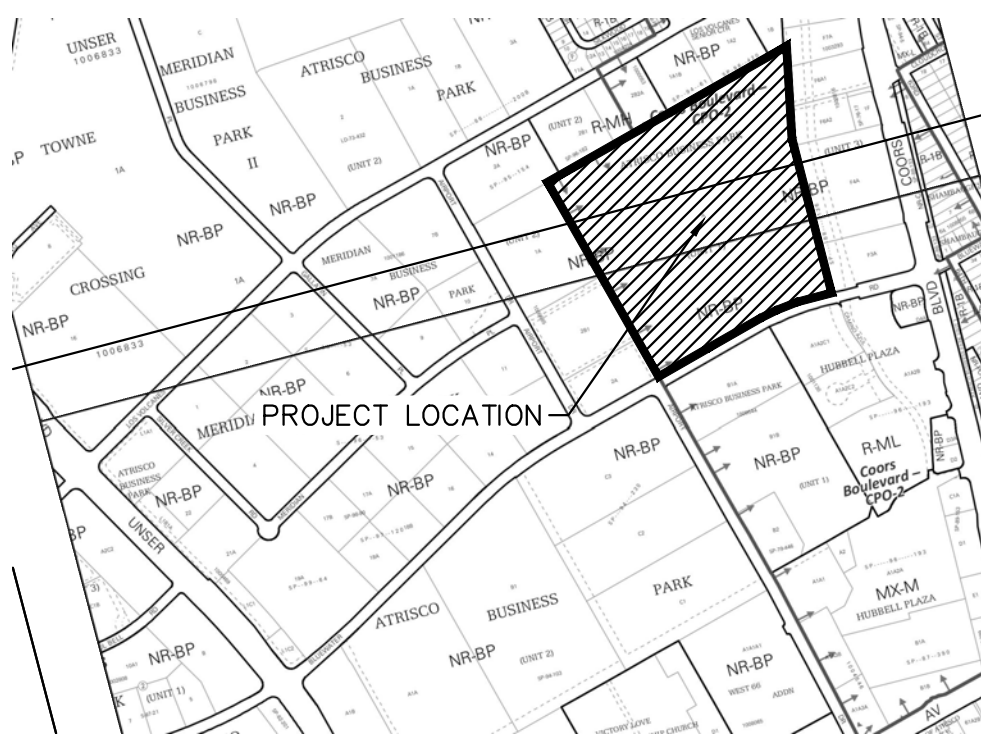
DATE

D. Lewis / J. Tolman

DRAWN BY



FEMA FIRMETTE #35001C0329H



VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z

**Kimley»Horn**

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6200 South Syracuse Way, Suite 300  
Greenwood Village, Colorado 80111 (303) 228-2300

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DRAWN BY: MEJ  
CHECKED BY: SAL  
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**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
096523009

SHEET

D1

NO. REVISION BY DATE APPR



**OPERATOR:**

David E. Harvey Builders, Inc.  
3663 Briarpark Drive  
Houston, TX 70042  
713-262-5685

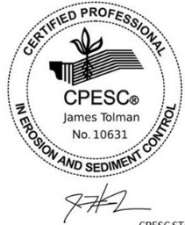
Chris Parise  
Project Manager  
832-477-3312  
cparise@HarveyBuilders.com

Jeremy Shockley  
Site Superintendent  
713-262-5685  
jshockley@harveybuilders.com

**OWNER:**

ABB, Installation Products Inc.  
305 Gregson Drive  
Cary, NC 27511

David Jaramillo  
Property Owner Contact  
505-833-2637  
david.jaramillo@us.abb.com

	ABB ABQ Expansion	
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	ALBUQUERQUE, NM - BERNALILLO COUNTY	
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