

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 17, 2024

Stephen Litsas, P.E.
Kimley-Horn and Associates, Inc.
380 Interlocken Crescent, Suite 100
Broomfield, CO 80021

**RE: ABB ABQ Addition
6625 Bluewater Road NW
Grading and Drainage Plans
Engineer's Stamp Date: 01/09/24
Hydrology File: K10D011**

Dear Mr. Litsas:

Based upon the information provided in your submittal received 01/12/2024, the Grading & Drainage Plans are approved for Building Permit, Grading Permit and Foundation Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

Site plan for the proposed Bluewater Road NW Flood Protection Project. The plan shows an existing warehouse with a footprint of 5106.32 and an existing detention basin. A new flood protection structure is proposed, indicated by a dashed line and hatched area, with a footprint of 5106.32. The plan includes topographic contours, existing inlets, and a FEMA Flood Zone. A north arrow and a graphic scale (0 to 150 feet) are provided.

EXISTING WAREHOUSE
FFE = 5106.32

EXISTING DETENTION BASIN

FEMA FLOODZONE PER PANEL
35001C0329H, BFE 5102'

EXISTING INLETS

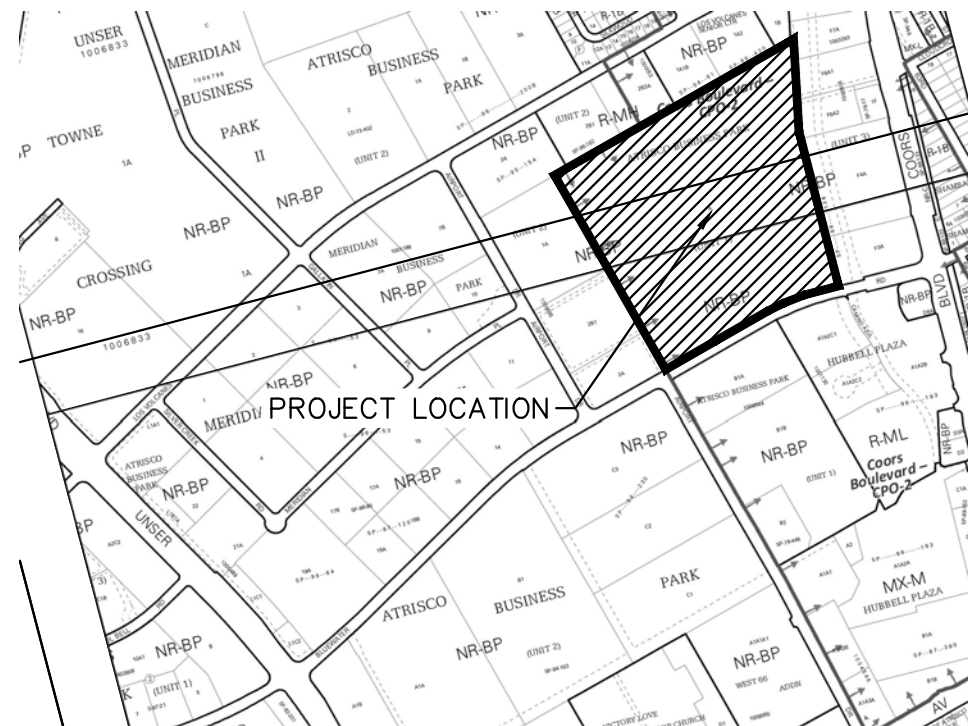
BLUEWATER ROAD NW
(PUBLIC ROW WIDTH VARIES)

GRAPHIC SCALE IN FEET
0 37.5 75 150


FINAL GRADING & DRAINAGE SUBMISSION SHEET LIST	
Sheet Number	Sheet Title
C3.0	EXISTING CONDITION DRAINAGE MAP
C3.1	PROPOSED CONDITION DRAINAGE MAP
C3.2	HYDROLOGY DATA
C3.3	STORM DRAINAGE PLAN
C3.4	DETAILED GRADING & DRAINAGE PLAN
C3.5	DETAILED GRADING & DRAINAGE PLAN
C3.6	DETAILED GRADING & DRAINAGE PLAN
C2.2	SITE PLAN DETAILS

PROJECT LOCATION

CL 17.07/0.9
Hwy 17/0.9

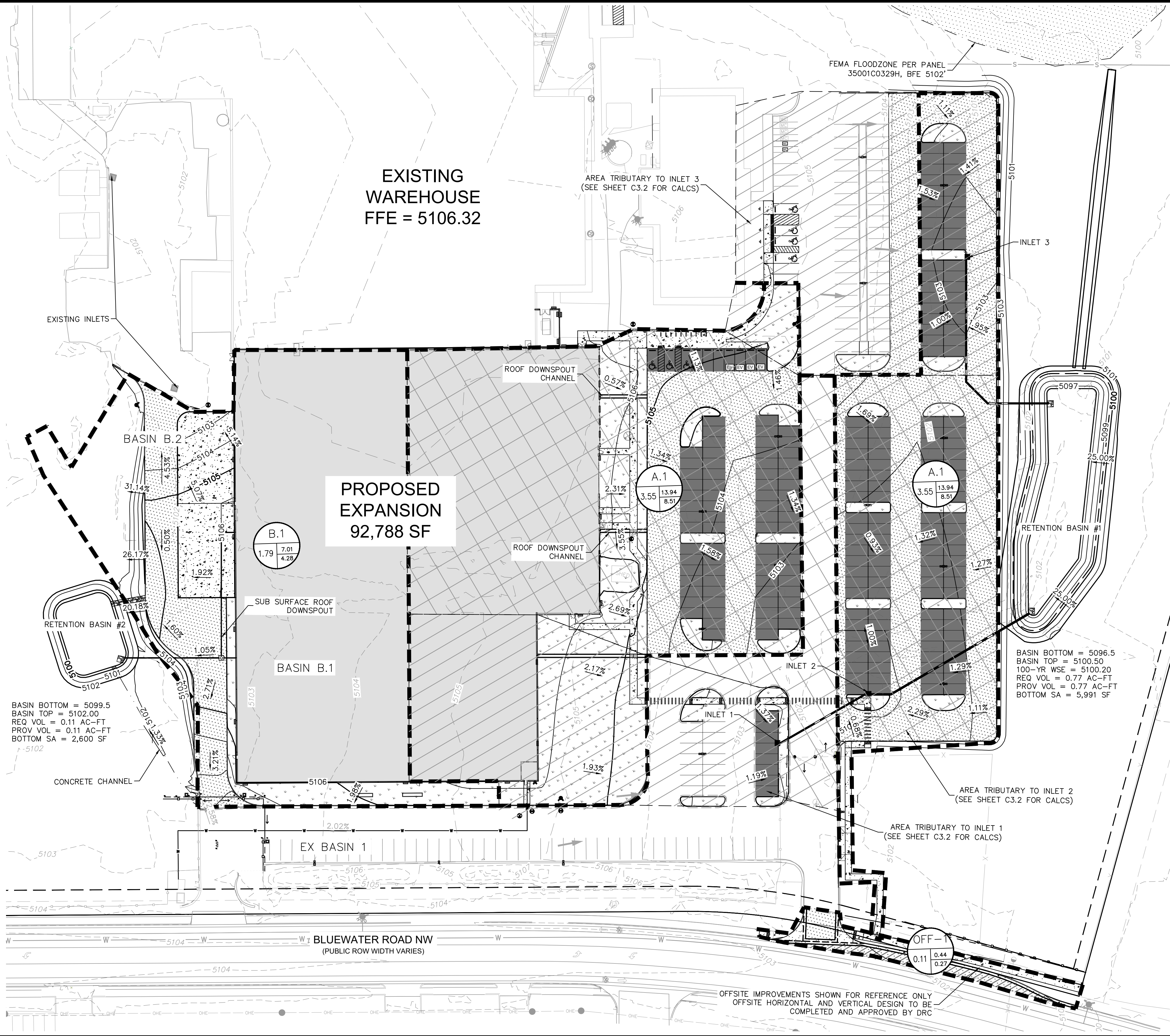


VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z

<p>ABB ABQ ADDITION</p> <p>6625 BLUEWATER ROAD NW</p> <p>CONSTRUCTION DRAWINGS</p> <p>EXISTING CONDITION DRAINAGE MAP</p>		<p>PROJECT NO. 09652.3009</p> <p>SHEET</p> <p>C3.0</p>	<p>LEGAL DESCRIPTION: TRACT A, ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>	<p>DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 2024-01-10</p>	<p>Kimley»»Horn</p> <p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300</p>	NO.	REVISION	BY	DATE	APPR.

VALID FOR "FOUNDATION - ONLY" PERMIT

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



LEGEND:

- PROPERTY LINE
- EX. UTILITY ESMT
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- PROP. 6" VERTICAL CURB
- PROP. BUILDING
- PROP. CONTOUR
- EX. CONTOUR
- PROP. SLOPE ARROW
- EX. SLOPE ARROW
- DRAINAGE BASIN BOUNDARY
- INLET DRAINAGE AREA

Basin Data:
A = BASIN #
B = AREA (ACRES)
C = 100 YR FLOW (CFS)
D = 10 YR FLOW (CFS)

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 01/17/24
BY: *Russell Brissett*
HydroTrans # K10D011

THE APPROVAL OF THESE PLANS BY THE CITY OF ALBUQUERQUE DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED OR THE RESULTS OF THE ANALYSIS. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE PLANS. THE CITY OF ALBUQUERQUE SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE, LOSS, OR INJURY, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR FROM THE USE OF THESE PLANS.

APPROVAL OF GRADING & DRAINAGE PLANS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.

GRAPHIC SCALE IN FEET
0 20 40 80

PROJECT LOCATION

FEMA FIRMETTE #35001C0329H

VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z

Kimley»Horn

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PARK UNIT 1 CONTAINING
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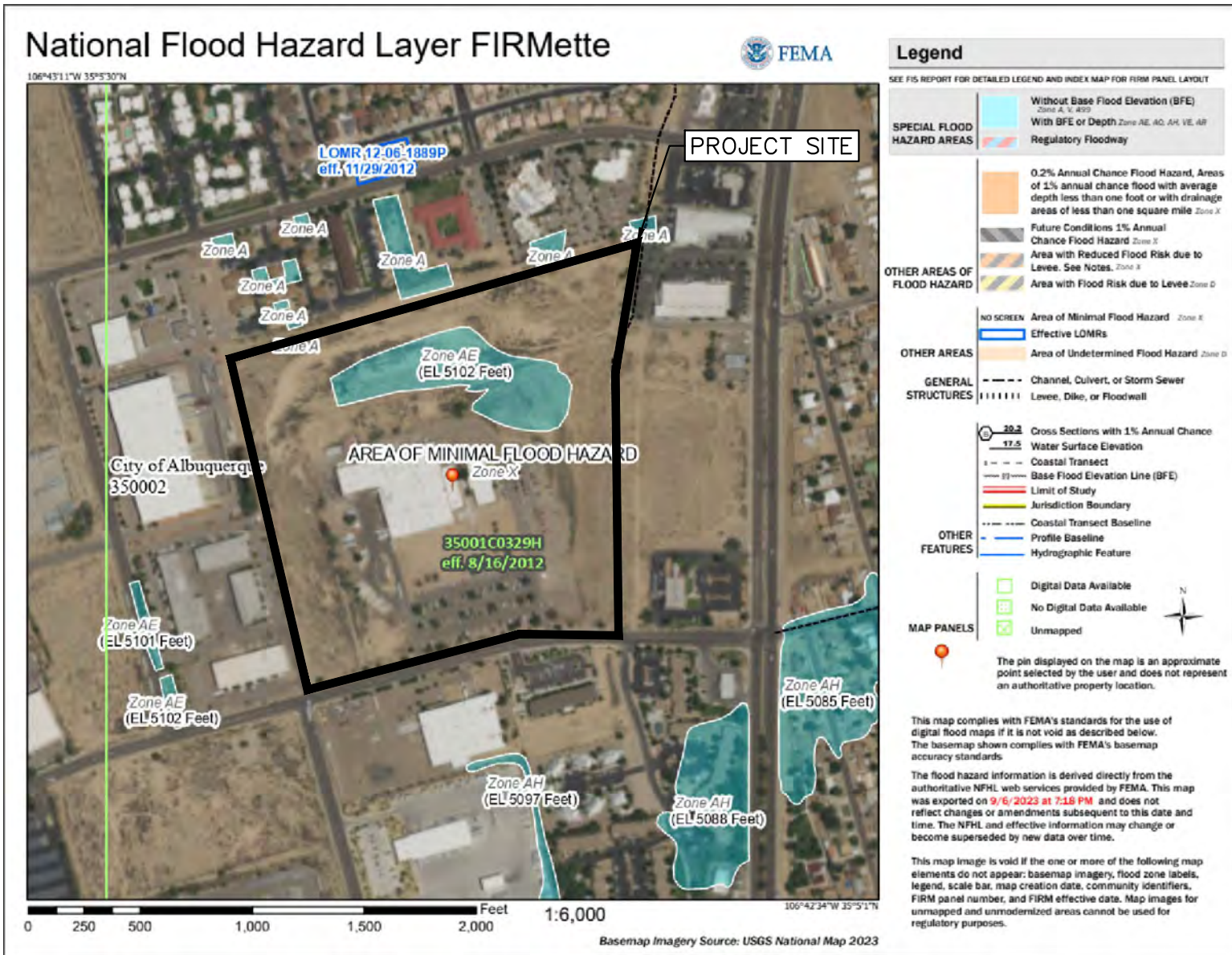
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
CONSTRUCTION DRAWINGS
DRAINAGE MAP

STEPHEN L. LIPS
27565
1/9/2024
PROFESSIONAL ENGINEER

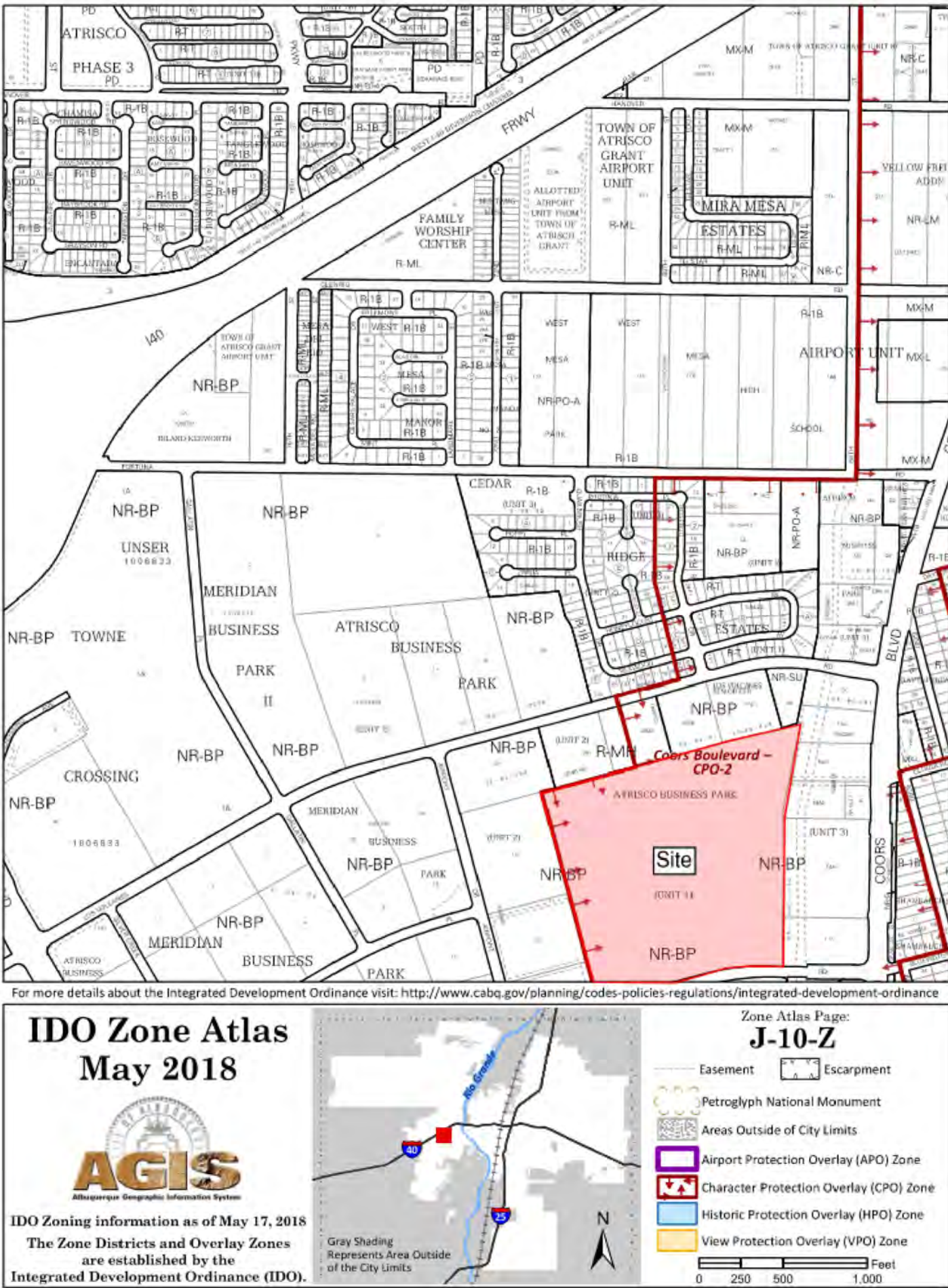
PROJECT NO.
096523009

SHEET
C3.1

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FLOOD ZONE MAP
FIRM PANEL: 35001C0329H



ZONING MAP

DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORS BLVD

EXISTING CONDITIONS

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHICH SERVES AS A RETENTION BASIN. SURFACE RUNOFF FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED. FLOWS ALONG BLUEWATER ROAD TRAVEL OVERLAND EAST TO A LOW POINT INLET.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE IN PERMEABLE AREA ASSOCIATED WITH THE EXPANDED RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN AND DETENTION BASIN) PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. MITIGATED FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES. PIPES AND INLETS ARE SIZED FOR THE 100-YEAR STORM EVENT. A NET STORAGE VOLUME OF 1,000,000 GALLONS OF VOLUME IS REQUIRED TO CAPTURE FLOWS GENERATED ON THE WEST AND EAST SIDE OF THE BASINS. THE PROJECT WILL UTILIZE EXISTING AND PROPOSED PAVEMENT TO MEET MINIMUM VOLUME REQUIREMENTS.

FLOW ASSOCIATED WITH THE OFFSITE IMPROVEMENTS OF THE RIGHT TURN LANE WILL CONTINUE TO SURFACE FLOW TO THE LOW POINT INLET.

CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 5.52 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.88 AC-FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.77 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME. INFILTRATION RATES ARE UTILIZED PER TABLE 6.2.13 OF THE DPM.

HYDROLOGY CALCULATIONS

									100-YR			
EXISTING BASIN	Land Treatment (Table 6.2.13)				Total Acreage	Q(100)	Q(10)	Q(2)	Weighted E	V ₃₆₀	V100 _{6HR}	V100 _{10DAY}
	A	B	C	D	ac	cfs	cfs	cfs	in	ac-ft	ac-ft	ac-ft
EX B.1	0	0.95	0	1.38	2.33	7.74	4.32	2.17	1.62	0.32	0.35	0.51
EX A.1	0	0.61	0.00	0.61	1.22	3.83	2.06	0.96	1.49	0.08	0.09	0.16
OFF-1	0	0	0.05	0.06	0.11	0.39	0.23	0.12	1.65	0.02	0.02	0.02

									100-YR				
PROPOSED BASIN	Land Treatment (Table 6.2.13)				Total Acreage	Q(100)	Q(10)	Q(2)	Weighted E	V ₃₆₀	V _{100_{6HR}}	V _{100_{1DAY}}	REQUIRED NET VOLUME
	A	B	C	D	ac	cfs	cfs	cfs	in	ac-ft	ac-ft	ac-ft	
B.1	0	0	0.29	1.5	1.79	7.01	4.28	2.49	2.03	0.30	0.34	0.52	0.88
A.1	0	0	0.55	3.00	3.55	13.94	8.51	4.96	2.04	0.60	0.68	1.04	
OFF-1	0	0	0.01	0.10	0.11	0.44	0.27	0.16	2.12	0.02	0.02	0.03	

Retention Pond Drain Time					Drain Time Check
Pond	Volume	Percolation Rate*	Pond Bottom	Drain Time	
	cf	inches/hr	Sq. Ft.	hr	
#1	33,541	0.83	5,991	81	Meets Required Drain Time

Pond Volume	0.77	ac-ft
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Retention Pond Drain Time					Drain Time Check
Pond	Volume	Percolation Rate*	Pond Bottom	Drain Time	
	cf	inches/hr	Sq. Ft.	hr	
#2	4,792	0.83	2,600	27	Meets Required Drain Time

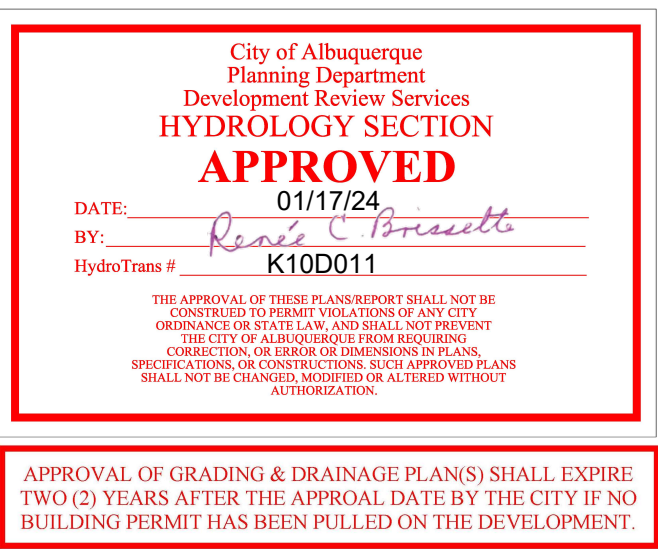
Pond Volume	0.11	ac-ft
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CONVEYANCE SYSTEM SIZING

INLET #	Land Treatment (Table 6.2.13)				Total Acreage Tributary to Inlet	Q(100)	Q(10)	Q(2)	PIPE SLOPE	PIPE DIA.	INLET
	A	B	C	D	ac	ac-ft	cfs	cfs	%	in	
CB 1	0	0	0.31	0.57	0.88	3.24	1.92	1.04	1.0	15	TYPE A
CB 2	0	0	0.25	2.57	2.82	11.31	6.97	4.13	1.0	24	DBL TYPE A
CB 3	0	0	0.11	1.06	1.17	4.68	2.88	1.71	1.0	15	TYPE A

100-yr Peak Discharge (cfs/ac)				
Zone 1	Land Treatment			
	A	B	C	D
100	1.54	2.16	2.87	4.12
10	0.3	0.81	1.46	2.57
2	0	0.02	0.5	1.56

Excess Precisionation E (in)				
Zone 1	Land Treatment			
	A	B	C	D
100	0.55	0.73	0.95	2.24
10	0.11	0.26	0.43	1.43
2	0	0.01	0.13	0.92



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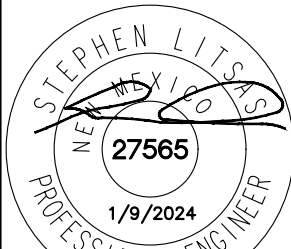
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DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 2024-01-10

LEGAL DESCRIPTION:
A ATRISCO BUSINESS
UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
CONSTRUCTION DRAWINGS
HYDROLOGY DATA

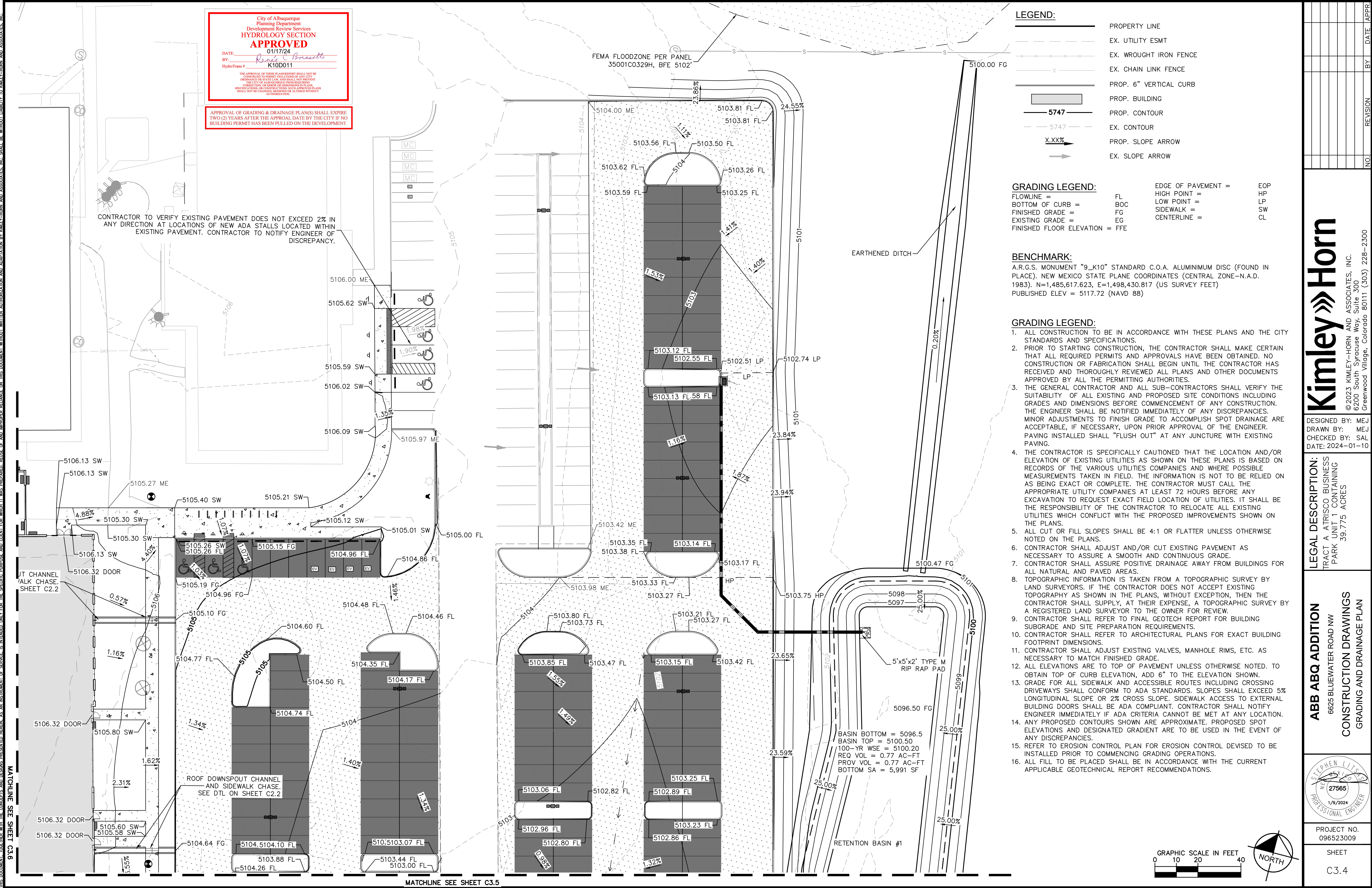


PROJECT NO.
096523009

SHEET

C3.2





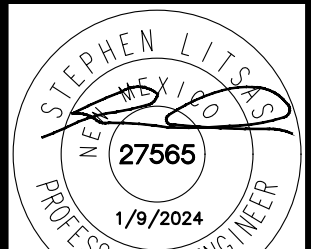
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TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
CONSTRUCTION DRAWINGS
GRADING AND DRAINAGE PLAN



PROJECT NO.
096523009

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C3.4

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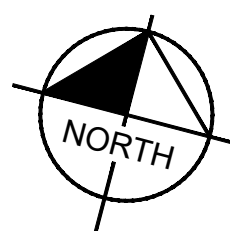
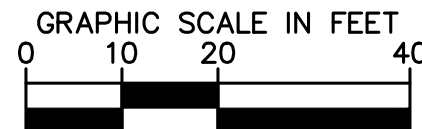
MA ICHLINE SEE SHEET C3.0

	PROPERTY LINE
	EX. UTILITY ESMT
	EX. WROUGHT IRON FENCE
	EX. CHAIN LINK FENCE
	PROP. 6" VERTICAL CURB
	PROP. BUILDING
	PROP. CONTOUR
	EX. CONTOUR
	PROP. SLOPE ARROW
	EX. SLOPE ARROW

FLOWLINE =	FL
BOTTOM OF CURB =	BOC
FINISHED GRADE =	FG
EXISTING GRADE =	EG
FINISHED FLOOR ELEVATION =	FFE

A.R.G.S. MONUMENT "9_K10" STANDARD C.O.A. ALUMINUM DISC (FOUND IN PLACE). NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983). N=1,485,617.623, E=1,498,430.817 (US SURVEY FEET)
PUBLISHED ELEV = 5117.72 (NAVD 88)

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED ON THE PLANS.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN IN THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
10. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
12. ALL ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TO OBTAIN TOP OF CURB ELEVATION, ADD 6" TO THE ELEVATION SHOWN.
13. GRADE FOR ALL SIDEWALK AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL EXCEED 5% LONGITUDINAL AND 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
14. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
15. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
16. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

[illegible]

Kimley»»Horn

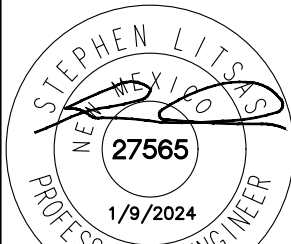
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CONSTRUCTION DRAWINGS
GRADING AND DRAINAGE PLAN



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C3.5

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HYDROLOGY SECTION
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BY: *Reynolds Brissett*
HydroTrans # K10D011

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TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO
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PROPOSED
EXPANSION
92,788 SF
FFE = 5106.32

FFE=5106.32

RETENTION BASIN #2

5'x5'x2' TYPE M
RIP RAP PAD

BASIN BOTTOM = 5099.5
BASIN TOP = 5102.00
REQ VOL = 0.11 AC-FT
PROV VOL = 0.11 AC-FT
BOTTOM SA = 2,600 SF

EARTHENED SWALE

SAWCUT. MATCH EXISTING

SAWCUT. MATCH EXISTING