

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 20, 2023

Madison Jurewicz, E.I.T.
Kimley-Horn and Associates, Inc.
380 Interlocken Crescent, Suite 100
Broomfield, CO 80021

**RE: ABB ABQ Addition
6625 Bluewater Road NW
Conceptual Grading and Drainage Plans
Engineer's Stamp Date: No Date
Hydrology File: K10D011**

Dear Ms. Jurewicz:

PO Box 1293

Based upon the information provided in your submittal received 11/07/2023, the Conceptual Grading & Drainage Plans are preliminary approved for Grading Permit and action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

Albuquerque

PRIOR TO BUILDING PERMIT:

NM 87103

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: ABB ABQ Addition **Building Permit #** **Hydrology File #**
DRB# PR-2023-009209 **EPC#** PR-2023-009209
Legal Description: Atrisco Buisness Park Tract A Unit 1 **City Address OR Parcel** 6625 Bluewater Road

Applicant/Agent: Madison Jurewicz @ Kimley-Horn and Associates **Contact:** Madison Jurewicz @ Kimley-Horn and Associates
Address: 380 Interlocken Crescent, Suite 100, Broomfield, CO 80021 **Phone:** 720 464 2539
Email: madison.jurewicz@kimley-horn.com

Applicant/Owner: Amerace Corporation **Contact:**
Address: 6625 Bluewater Road **Phone:**
Email:

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ☒ ADMIN SITE: DFT
RE-SUBMITTAL: YES ☒ NO

DEPARTMENT: TRANSPORTATION ☒ HYDROLOGY/DRAINAGE
Check all that apply:

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
PAD CERTIFICATION
☒ CONCEPTUAL G&D PLAN
GRADING PLAN
DRAINAGE REPORT
DRAINAGE MASTER PLAN
FLOOD PLAN DEVELOPMENT PERMIT APP.
ELEVATION CERTIFICATE
CLOMR/LOMR
TRAFFIC CIRCULATION LAYOUT (TCL)
ADMINISTRATIVE
TRAFFIC CIRCULATION LAYOUT FOR DRB
APPROVAL
TRAFFIC IMPACT STUDY (TIS)
STREET LIGHT LAYOUT
OTHER (SPECIFY)
PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

BUILDING PERMIT APPROVAL
CERTIFICATE OF OCCUPANCY
CONCEPTUAL TCL DRB APPROVAL
PRELIMINARY PLAT APPROVAL
SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG PERMIT APPROVAL
FINAL PLAT APPROVAL
SIA/RELEASE OF FINANCIAL GUARANTEE
FOUNDATION PERMIT APPROVAL
GRADING PERMIT APPROVAL
SO-19 APPROVAL
PAVING PERMIT APPROVAL
GRADING PAD CERTIFICATION
WORK ORDER APPROVAL
CLOMR/LOMR
FLOOD PLAN DEVELOPMENT PERMIT
OTHER (SPECIFY)

DATE SUBMITTED: 11/1/2023

This site plan illustrates the proposed flood control infrastructure along Bluewater Road NW. The plan includes the following key features:

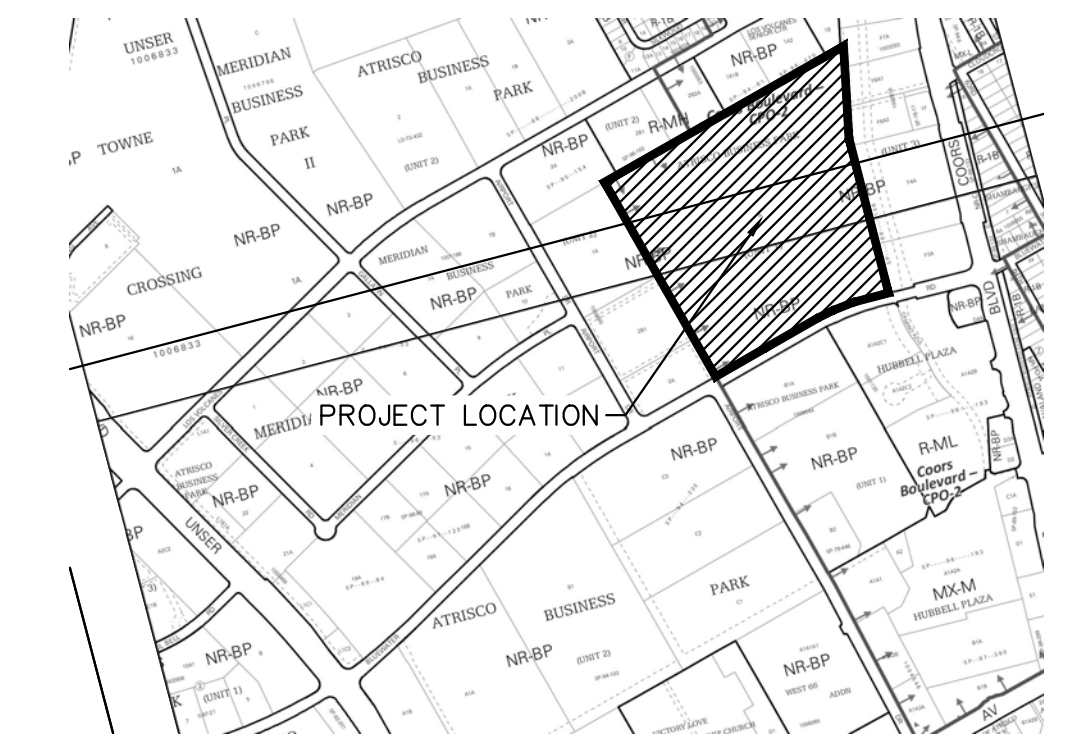
- EXISTING WAREHOUSE:** Located in the upper left, with a Finished Floor Elevation (FFE) of 5106.34.
- EXISTING DETENTION BASIN:** A large, irregularly shaped basin located in the upper right, shaded with a stippled pattern.
- Proposed Basins (Full Basin Demo):**
 - BASIN A.1:** Located in the lower right, adjacent to the existing detention basin.
 - BASIN A.2:** Located in the center, below the warehouse.
 - BASIN B.1:** Located in the lower left, below the warehouse.
 - BASIN A.3:** Located in the upper right, above the existing detention basin.
- EXISTING INLETS:** Indicated by arrows pointing into the proposed basins from the left.
- FEMA FLOODZONE PER PANEL 35001C0329H, BFE 5102':** A large area in the upper right, shaded with a cross-hatch pattern, representing the 500-year flood zone.
- EX BASIN 1 and EX BASIN 2:** Located at the bottom of the plan, near Bluewater Road NW.
- BLUEWATER ROAD NW:** The main road running horizontally across the bottom of the plan, with a note indicating "PUBLIC ROW WIDTH VARIES".
- Topography:** Contour lines are shown throughout the plan, with elevations ranging from 5100 to 5106.
- Orientation and Scale:** A north arrow is located in the bottom right corner, and a graphic scale bar indicates distances in feet (0, 37.5, 75, 150).

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION

PRELIMINARY APPROVAL

DATE: 11/20/23
BY: Renee C. Brissette
HydroTrans # K10D011

THESE PLANS AND/OR REPORT ARE
CONCEPT ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.



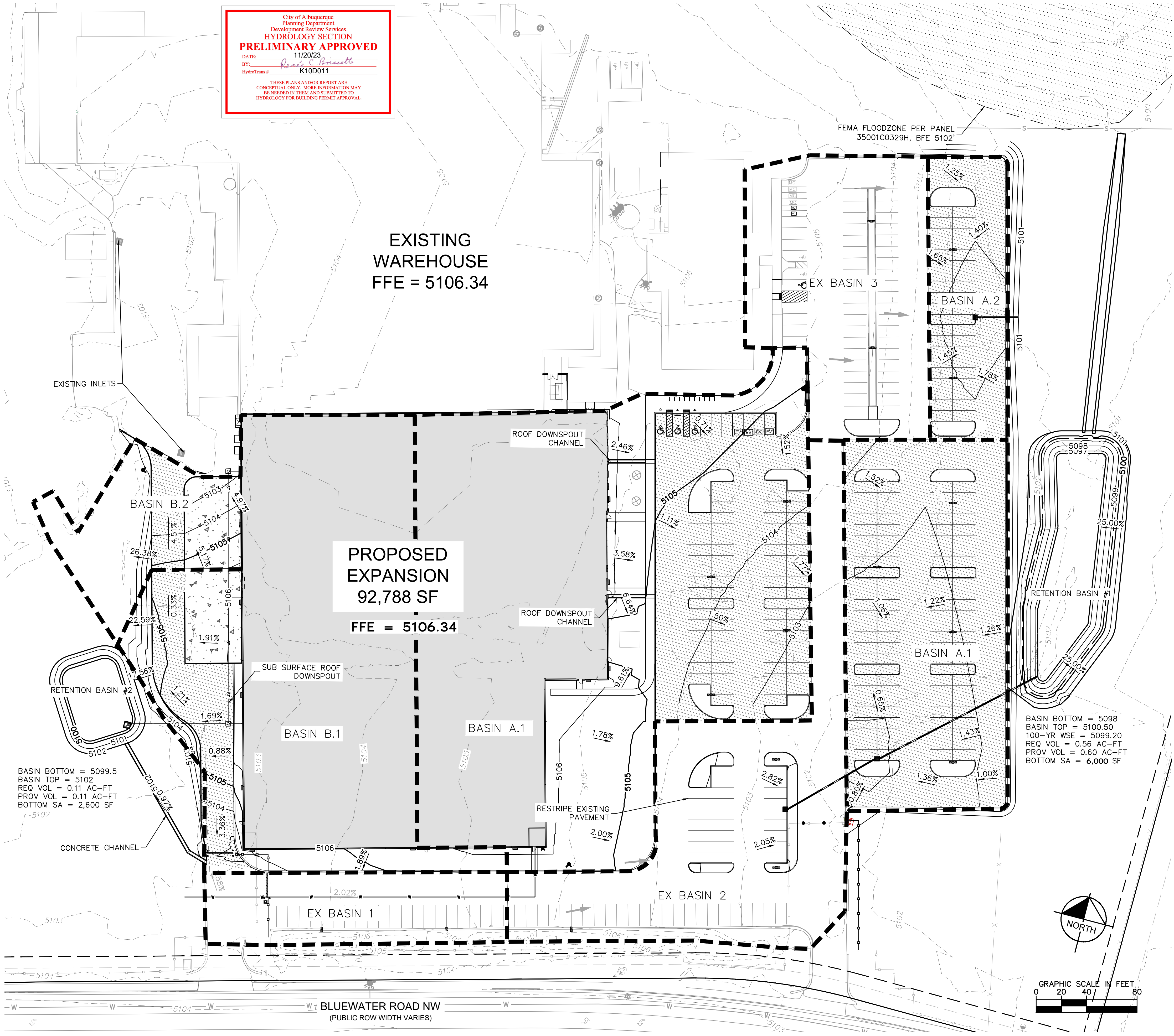
VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z

D1	SHEET	PROJECT NO. 096523009	Kimley-Horn and Associates, Inc.	Kimley»Horn NOT FOR CONSTRUCTION FOR REVIEW ONLY	ABB ABQ ADDITION 6625 BLUEWATER ROAD NW SITE PLAN - DFT CONCEPTUAL EXISTING DRAINAGE EXHIBIT	LEGAL DESCRIPTION: TRACT A, TRISCO BUSINESS PARK UNIT 1, CONTAINING 39.775 ACRES	DESIGNED BY: MEU DRAWN BY: MEU CHECKED BY: SAL DATE: 11/06/2023	© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300	Kimley»Horn	NO.	REVISION	BY	DATE	APPROVED
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THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE. IT IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

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Development Review Services
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PRELIMINARY APPROVED
DATE: 11/20/23
BY: *Rachel Brissette*
HydroTeam # K10D011

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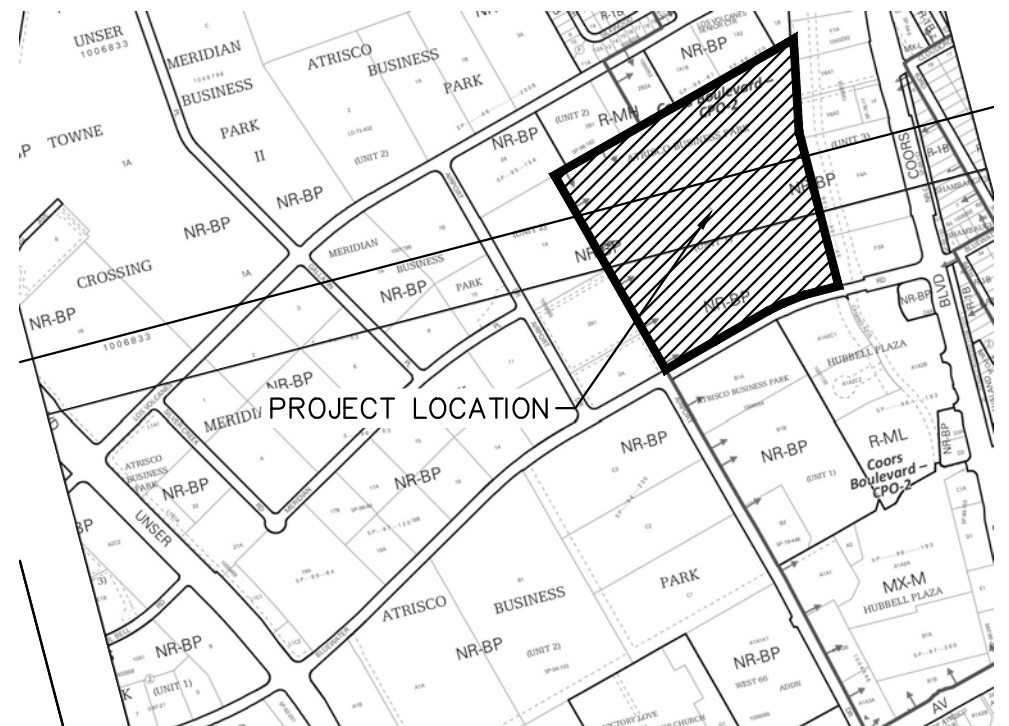


- LEGEND:**
- PROPERTY LINE
 - ADJACENT SECTION LINE
 - EX. UTILITY ESMT
 - EX. WROUGHT IRON FENCE
 - EX. CHAIN LINK FENCE
 - EX. FIRE HYDRANT/VALVE
 - EX. SANITARY SEWER MANHOLE/CLEANOUT
 - EX. SANITARY SEWER LINE
 - EX. FLAGPOLE
 - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - EX. SITE LIGHT
 - EX. SIGN
 - PROP. 6" VERTICAL CURB
 - PROP. BUILDING
 - PROP. PAVEMENT
 - PROP. FIRE LANE
 - PROP. CONTOUR
 - EX. CONTOUR
 - PROP. SLOPE ARROW
 - PROP. BUILDING SETBACK
 - EX. SLOPE ARROW

- GRADING LEGEND:**
- FLOWLINE = FL
 - BOTTOM OF CURB = BOC
 - FINISHED GRADE = FG
 - EXISTING GRADE = EG
 - FINISHED FLOOR ELEVATION = FFE
 - EDGE OF PAVEMENT = EOP
 - HIGH POINT = HP
 - LOW POINT = LP
 - SIDEWALK = SW
 - CENTERLINE = CL



FEMA FIRMETTE #35001C0329H



VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 11/06/2023

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
CONCEPTUAL GRADING & DRAINAGE PLAN

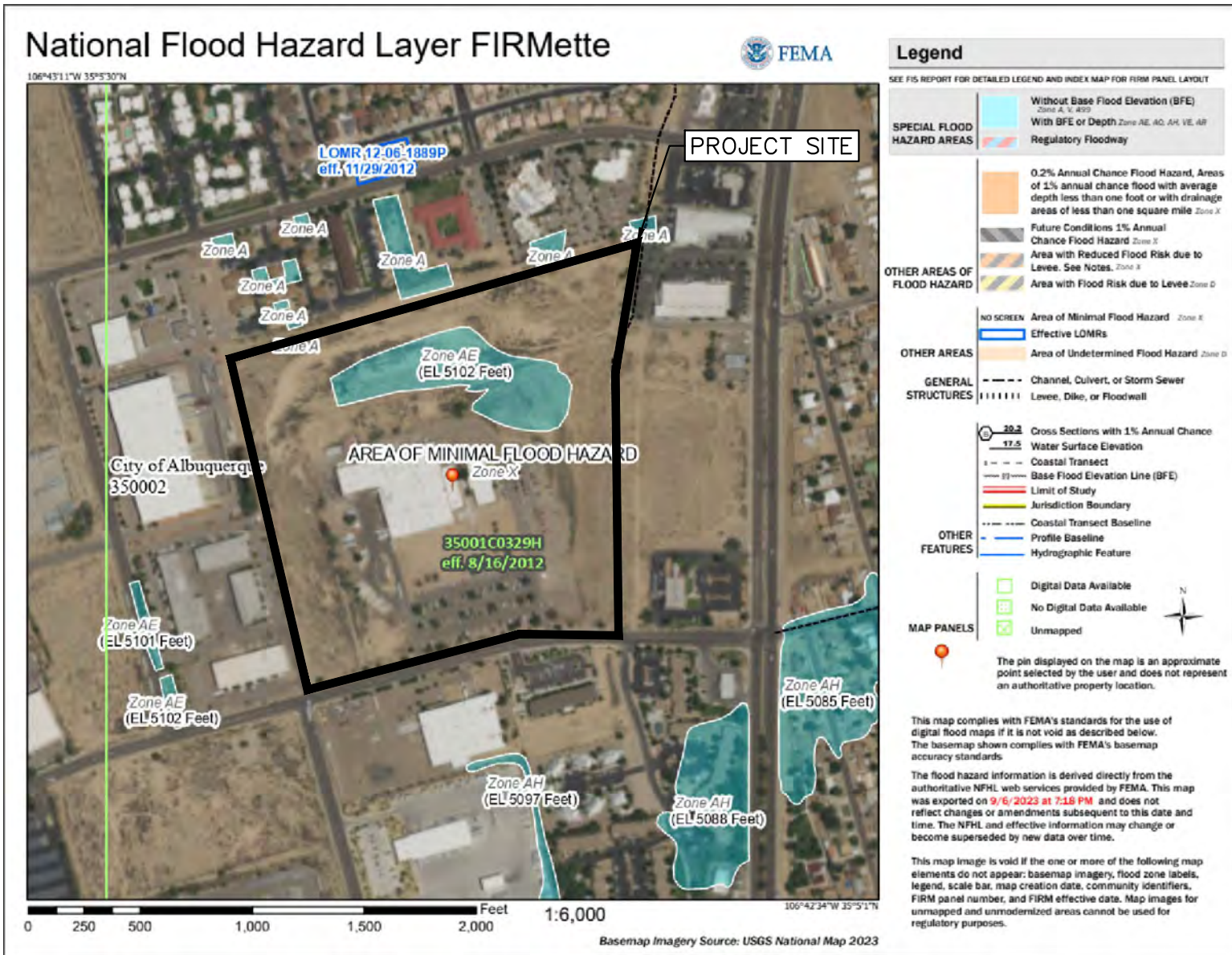
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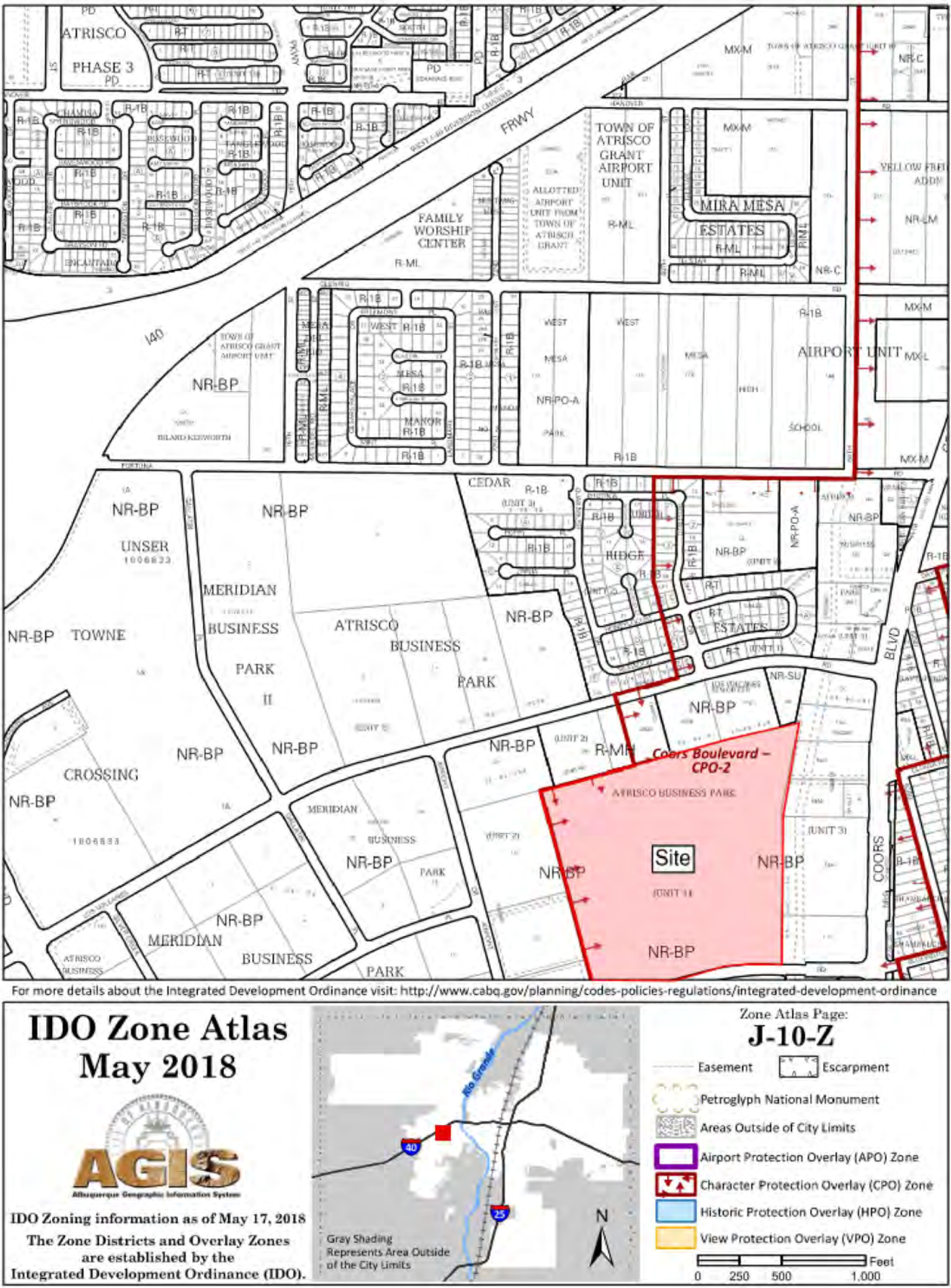
SHEET

D2

NO. REVISION BY DATE APPR



FLOOD ZONE MAP
FIRM PANEL: 35001C0329H



ZONING MAP

J-10-Z

DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORS BLVD

EXISTING CONDITIONS

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE. ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHICH SERVES AS A RETENTION BASIN. SURFACE RUNOFF FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WOULD RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING, AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND DRIVEWAYS. THE PROPOSED PROJECT WILL BE LOCATED IN AN AREA WITH A 1% TO 2% SLOPE. WITH THE EXPANSION, RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO OBTAIN THE NET INCREASE OF REQUIRED 100-TO-100 YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE TIME OF CONCENTRATION. THE EXISTING RETENTION BASIN #1 WILL BE FLOWING INTO THE NEW RETENTION POND STORAGE VOLUME WILL PASS TO BASIN #2. FLOWS WILL CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.

HYDROLOGY CALCULATIONS

[illegible][illegible]

Retention Pond Drain Time					Drain Time Check
Pond	Volume	Percolation Rate*	Pond Bottom	Drain Time	
	cf	inches/hr	Sq. Ft.	hr	
#1	24,394	0.83	6,000	59	Meets Required Drain Time

Pond Volume	0.56	ac-ft
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Retention Pond Drain Time					Drain Time Check
Pond	Volume	Percolation Rate*	Pond Bottom	Drain Time	
	cf	inches/hr	Sq. Ft.	hr	
#2	4,792	0.83	2,600	27	Meets Required Drain Time

Pond Volume	0.11	ac-ft
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6625 BLUEWATER ROAD NW

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D3