

# CITY OF ALBUQUERQUE

*Planning Department*  
Alan Varela, Director



*Mayor Timothy M. Keller*

January 24, 2025

Cole Bishop  
Harvey, David E. Builders, Inc.  
3663 Briarpark Drive,  
Houston, TX 77042

**RE: ABB ABQ Addition**  
**6625 Bluewater Road NW**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 1/14/2025**  
**Engineer's Stamp Date: 1/9/2024**  
**Hydrology File: K10D011**

Dear Mr. Bishop:

PO Box 1293

Based on the Certification received 01/15/2024 and the site visit on 01/24/2025, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Anthony Montoya, Jr., P.E.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services

January 6, 2025

City of Albuquerque Planning Department  
600 2<sup>nd</sup> Street NW, 3<sup>rd</sup> Floor  
Albuquerque, NM 87102

***Hydrology Permit Close-Out Memo: Hydrology File #K10D011***

To whom this may concern,

The project located at 6625 BlueWater Road NW is ready to schedule the Hydrology inspection required to close-out the permit. Attached to this memo is the Drainage and Transportation Information Sheet (DTIS) with associated as-built information.

We appreciate your review of this application and plans. Please contact me at [Cole.watkins@kimley-horn.com](mailto:Cole.watkins@kimley-horn.com) or 720-722-5996 should you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC

Cole Watkins



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:**      Plat (# of lots) \_\_\_\_\_      Single Family Home  
All other Developments

RE-SUBMITTAL:      YES      NO

**DEPARTMENT:**      TRANSPORTATION      HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

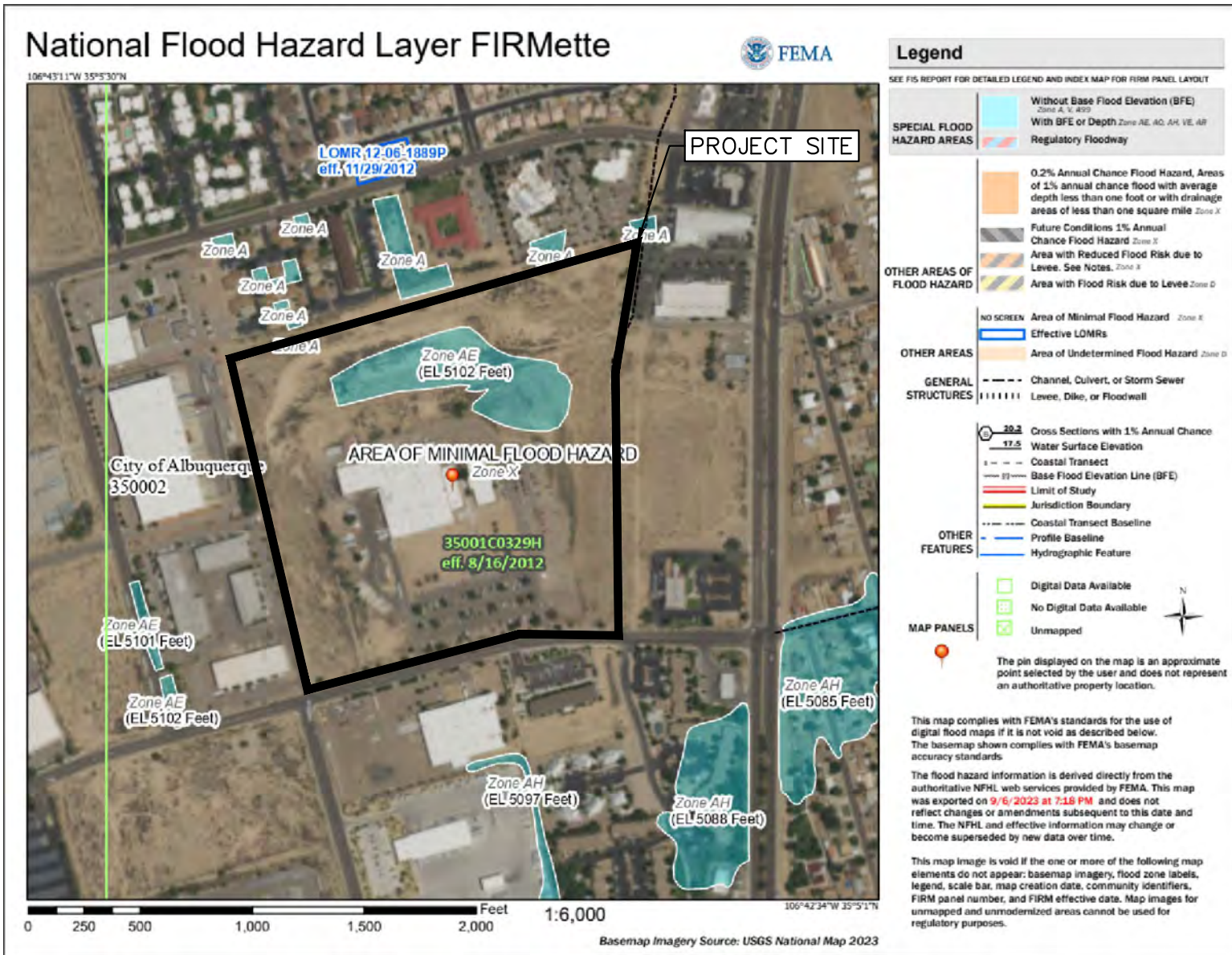
Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

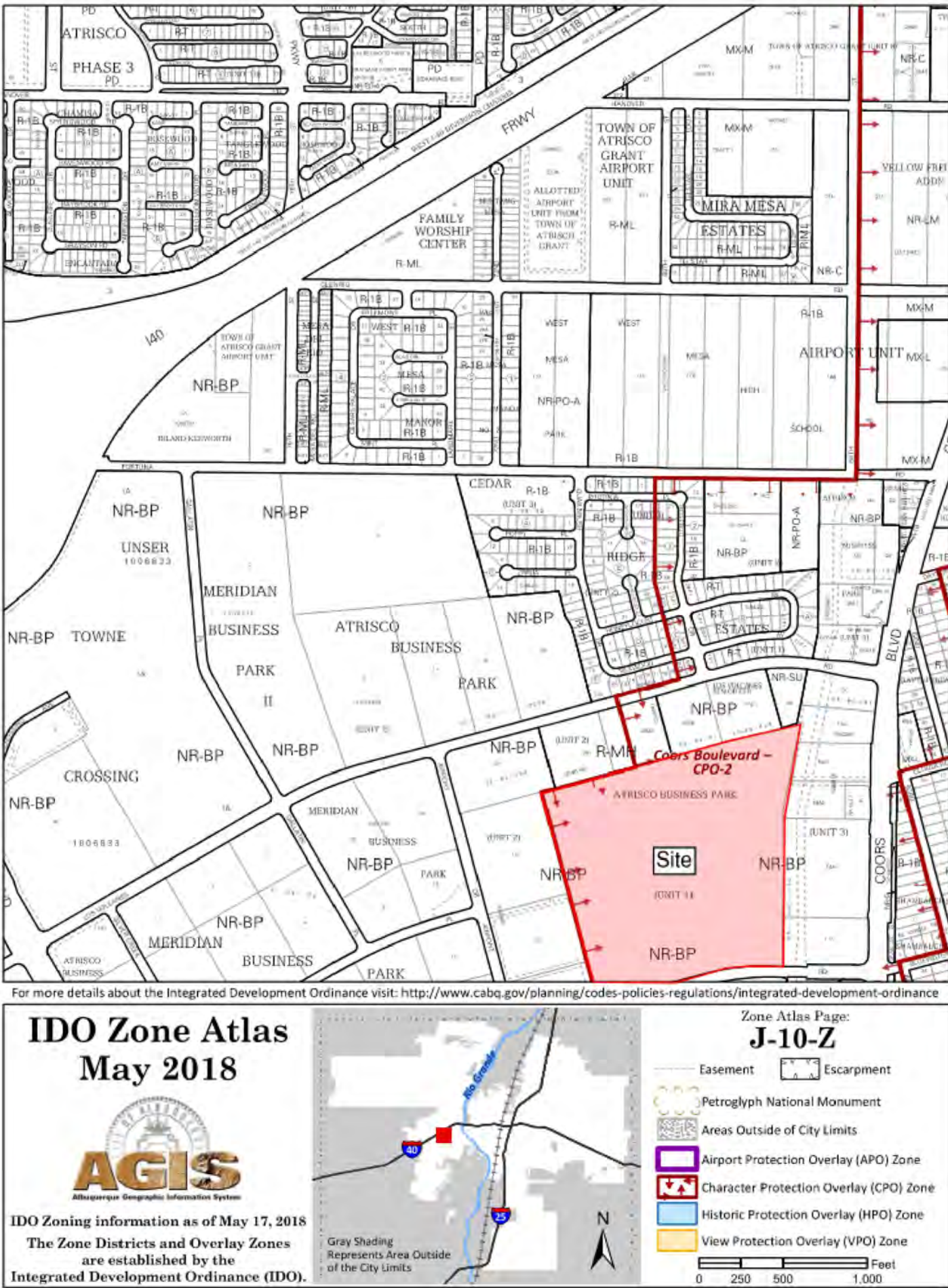
Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy -      Temp      Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_





**FLOOD ZONE MAP**  
FIRM PANEL: 35001C0329H



# **ZONING MAP**

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J-10-Z

# DRAINAGE REPORT

## SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORS BLVD

## EXISTING CONDITIONS

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHICH SERVES AS A RETENTION BASIN. SURFACE RUNOFF FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED. FLOWS ALONG BLUEWATER ROAD TRAVEL OVERLAND EAST TO A LOW POINT INLET.

## PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET LOSS OF LAWN AND GRAVEL AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT CAN FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DRAINAGE VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. MITIGATED FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES. PORES AND INLETS ARE SIZED FOR THE 100-YEAR STORM EVENT; A NET STORAGE VOLUME OF 1,000,000 GALLONS OF WATER POLLS WILL BE STORED IN THE BASINS. BASINS WILL BE CONSTRUCTED TO THE WEST AND EAST SIDE OF THE SITE. BASINS WILL UTILIZE EXISTING AND PROPOSED PAVEMENT TO MEET MINIMUM VOLUME REQUIREMENTS.

FLOWES ASSOCIATED WITH THE OFFSITE IMPROVEMENTS OF THE RIGHT TURN LANE WILL CONTINUE TO SURFACE FLOW TO THE LOW POINT INLET.

## CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 5.52 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.88 AC-FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.77 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME. INFILTRATION RATES ARE UTILIZED PER TABLE 6.2.13 OF THE DPM.

## HYDROLOGY CALCULATIONS

									100-YR			
EXISTING BASIN	Land Treatment (Table 6.2.13)				Total Acreage	Q(100)	Q(10)	Q(2)	Weighted E	V <sub>360</sub>	V <sub>100HR</sub>	V <sub>100DAY</sub>
	A	B	C	D	ac	cfs	cfs	cfs	in	ac-ft	ac-ft	ac-ft
EX B.1	0	0.95	0	1.38	2.33	7.74	4.32	2.17	1.62	0.32	0.35	0.51
EX A.1	0	0.61	0.00	0.61	1.22	3.83	2.06	0.96	1.49	0.08	0.09	0.16
OFF-1	0	0	0.05	0.06	0.11	0.39	0.23	0.12	1.65	0.02	0.02	0.02

									100-YR				
PROPOSED BASIN	Land Treatment (Table 6.2.13)				Total Acreage	Q(100)	Q(10)	Q(2)	Weighted E	V <sub>360</sub>	V100 <sub>6HR</sub>	V100 <sub>10DAY</sub>	REQUIRED NET VOLUME
	A	B	C	D	ac	cfs	cfs	cfs	in	ac-ft	ac-ft	ac-ft	ac-ft
B.1	0	0	0.29	1.5	1.79	7.01	4.28	2.49	2.03	0.30	0.34	0.52	0.88
A.1	0	0	0.55	3.00	3.55	13.94	8.51	4.96	2.04	0.60	0.68	1.04	
OFF-1	0	0	0.01	0.10	0.11	0.44	0.27	0.16	2.12	0.02	0.02	0.03	

Retention Pond Drain Time					Drain Time Check
Pond	Volume	Percolation Rate*	Pond Bottom	Drain Time	
	cf	inches/hr	Sq. Ft.	hr	
#1	<del>33,541</del>	0.83	<del>5,991</del>	<del>81</del>	Meets Required Drain Time

Pond Volume	<del>0.77</del>	ac-ft
	0.97 AC-FT	

Retention Pond Drain Time					Drain Time Check
Pond	Volume	Percolation Rate*	Pond Bottom	Drain Time	
	cf	inches/hr	Sq. Ft.	hr	96 Hour Max
#2	<del>4,792</del>	0.83	<del>2,600</del>	<del>27</del>	Meets Required Drain Time

Pond Volume	<del>0.11</del>	ac-ft
	0.18 AC-FT	


## CONVEYANCE SYSTEM SIZING

INLET #	Land Treatment (Table 6.2.13)				Total Acreage Tributary to Inlet	Q(100)	Q(10)	Q(2)	PIPE SLOPE	PIPE DIA.	INLET
	A	B	C	D	ac	ac-ft	cfs	cfs	%	in	
CB 1	0	0	0.31	0.57	0.88	3.24	1.92	1.04	1.0	15	TYPE A
CB 2	0	0	0.25	2.57	2.82	11.31	6.97	4.13	1.0	24	DBL TYPE A
CB 3	0	0	0.11	1.06	1.17	4.68	2.88	1.71	1.0	15	TYPE A

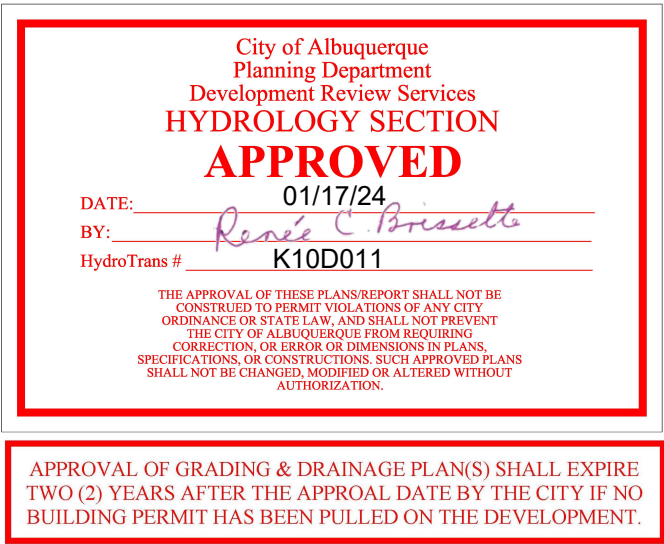
100-yr Peak Discharge (cfs/ac)				
Zone 1	Land Treatment			
	A	B	C	D
100	1.54	2.16	2.87	4.12
10	0.3	0.81	1.46	2.57
2	0	0.02	0.5	1.56

Excess Precisionation E (in)				
Zone 1	Land Treatment			
	A	B	C	D
100	0.55	0.73	0.95	2.24
10	0.11	0.26	0.43	1.43
2	0	0.01	0.13	0.92

I, STEPHEN LITSAS, P.E. NO. 27565, DO HEREBY CERTIFY THAT THESE AS-BUILT DRAWINGS INCORPORATE THE ON-SITE OBSERVATION OF CONSTRUCTED IMPROVEMENTS, ALL DIMENSIONS AND ELEVATIONS ON THE AS-BUILT DRAWINGS ARE SHOWN CORRECTLY BASED UPON THE POST CONSTRUCTION SURVEY. I HEREBY CERTIFY THAT THE PROJECT HAS BEEN COMPLETED IN SUBSTANTIAL ACCORDANCE WITH THE CITY APPROVED CONSTRUCTION PLANS.



STEPHEN LITSAS, PE, 27565



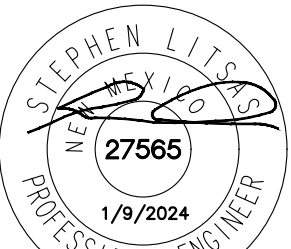
# Kimley»»Horn

©2023 KIMLEY-HORN AND ASSOCIATES, INC.  
6200 South Syracuse Way, Suite 300  
Greenwood Village, Colorado 80111 (303) 228-

DESIGNED BY: MEJ  
DRAWN BY: MEJ  
CHECKED BY: SAL  
DATE: 2024-01-10

**DESCRIPTION:**  
A TRISCO BUSINESS  
UNIT 1 CONTAINING  
9.775 ACRES

**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
CONSTRUCTION DRAWINGS  
HYDROLOGY DATA



PROJECT NO.  
096523009

SHEET

C3.2

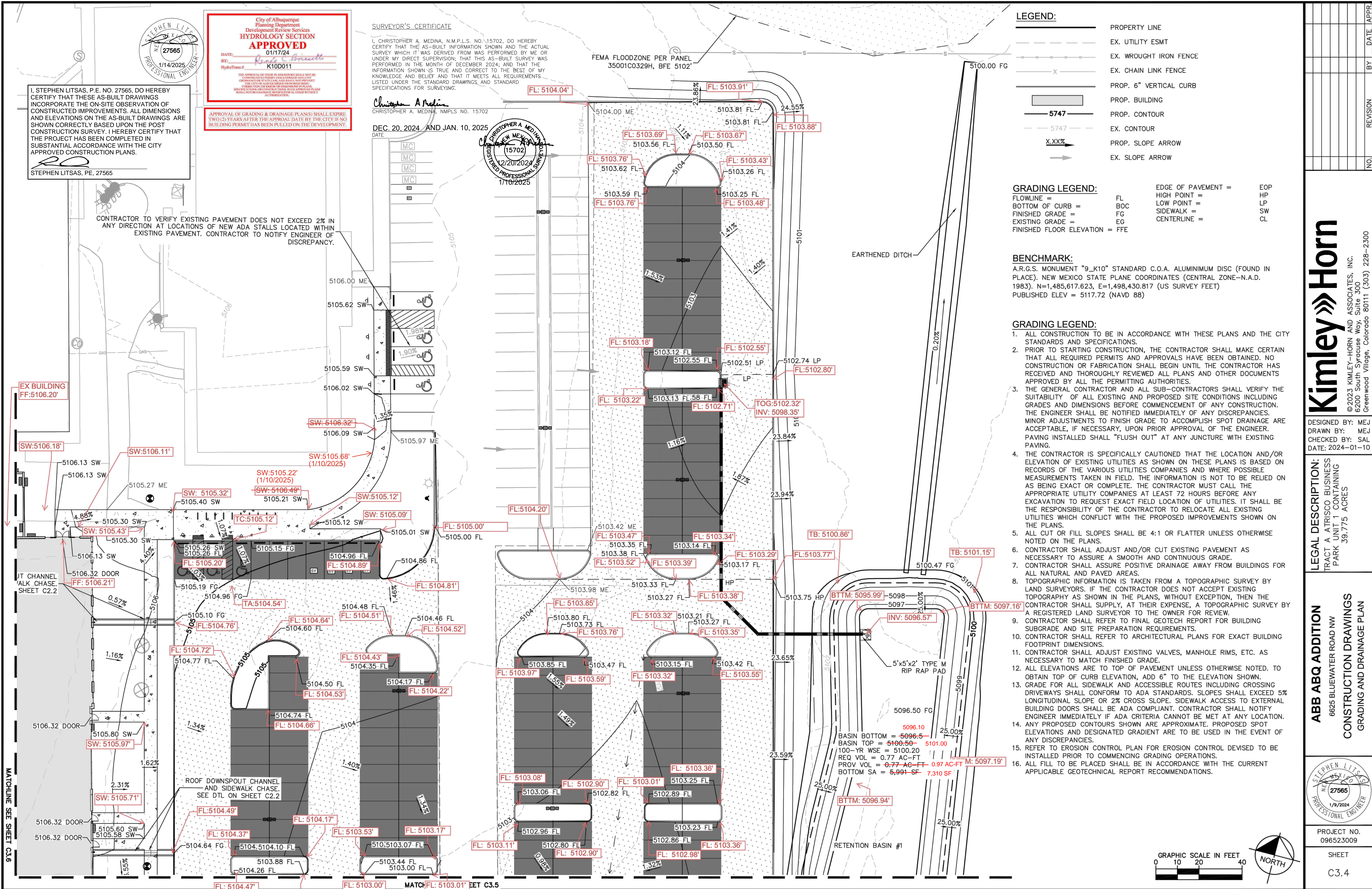






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MA ICHLINE SEE SHEE I C3.0



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|--|------------------------|
|  | PROPERTY LINE          |
|  | EX. UTILITY ESMT       |
|  | EX. WROUGHT IRON FENCE |
|  | EX. CHAIN LINK FENCE   |
|  | PROP. 6" VERTICAL CURB |
|  | PROP. BUILDING         |
|  | PROP. CONTOUR          |
|  | EX. CONTOUR            |
|  | PROP. SLOPE ARROW      |

I, STEPHEN LITSAS, P.E. NO. 27565, DO HEREBY CERTIFY THAT THESE AS-BUILT DRAWINGS INCORPORATE THE ON-SITE OBSERVATION OF CONSTRUCTED IMPROVEMENTS. ALL DIMENSIONS AND ELEVATIONS ON THE AS-BUILT DRAWINGS ARE SHOWN CORRECTLY BASED UPON THE POST CONSTRUCTION SURVEY. I HEREBY CERTIFY THAT THE PROJECT HAS BEEN COMPLETED IN SUBSTANTIAL ACCORDANCE WITH THE CITY APPROVED CONSTRUCTION PLANS.

STEPHEN LITSAS, PE, 27565

**BENCHMARK:**  
A.R.G.S. MONUMENT "9\_K10" STANDARD C.O.A. ALUMINIMUM DISC (FOUND IN PLACE). NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE--N.A.D. 1983). N=1,485,617.623, E=1,498,430.817 (US SURVEY FEET)  
PUBLISHED ELEV = 5117.72 (NAVD 88)

GRADING LEGEND:

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS.
2. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL THE PERMITTING AUTHORITIES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE, IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER. PAVING INSTALLED SHALL "FLUSH OUT" AT ANY JUNCTURE WITH EXISTING PAVING.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
5. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED ON THE PLANS.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN IN THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
9. CONTRACTOR SHALL REFER TO FINAL GEOTECH REPORT FOR BUILDING SUBGRADE AND SITE PREPARATION REQUIREMENTS.
10. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING FOOTPRINT DIMENSIONS.
11. CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
12. ALL ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TO OBTAIN TOP OF CURB ELEVATION, ADD 6" TO THE ELEVATION SHOWN.
13. GRADE FOR ALL SIDEWALK AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL EXCEED 5% LONGITUDINAL SLOPE OR 2% CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
14. ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
15. REFER TO EROSION CONTROL PLAN FOR EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
16. ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.

SURVEYOR'S CERTIFICATE

I, CHRISTOPHER A. MEDINA, N.M.P.L.S. NO. 15702, DO HEREBY CERTIFY THAT THE AS-BUILT INFORMATION SHOWN AND THE ACTUAL SURVEY WHICH IT WAS DERIVED FROM WAS PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION; THAT THIS AS-BUILT SURVEY WAS PERFORMED IN THE MONTH OF DECEMBER 2024; AND THAT THE INFORMATION SHOWN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT IT MEETS ALL REQUIREMENTS LISTED UNDER THE STANDARD DRAWINGS AND STANDARD SPECIFICATIONS FOR SURVEYING.

Christopher A Medina

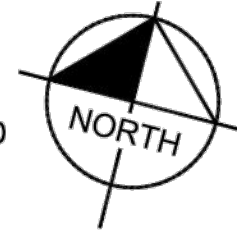
CHRISTOPHER A. MEDINA, NMPLS NO. 15702

DEC 20 2024

DATE

GRAPHIC SCALE IN FEET

A horizontal scale bar with tick marks at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments. The segments between 0 and 10, 10 and 20, and 20 and 40 are each 10 feet long. The segment between 0 and 10 is white, 10 and 20 is black, and 20 and 40 is white.

[illegible]

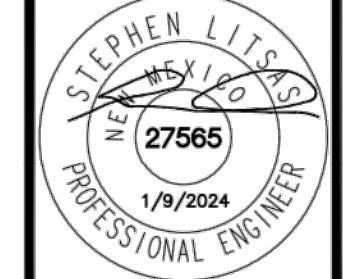
**Kimley»»Horn**

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6200 South Syracuse Way, Suite 300

DESIGNED BY: MEJ  
DRAWN BY: MEJ  
CHECKED BY: SAL  
DATE: 2024-01-10

**LEGAL DESCRIPTION:**  
TRACT A ATRISCO BUSINESS  
PARK UNIT 1 CONTAINING  
30.775 ACRES

**ABB ABQ ADDITION**  
6625 BLUEWATER ROAD NW  
CONSTRUCTION DRAWINGS  
CRACKING AND DRAINAGE PLAN



PROJECT NO.  
096523009

C3



