

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ABQ Renal Construction, LLC City Drainage #: K 10 / D 014

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B-2 and B-3 of Hubble Heights

City Address: 300 Unser Boulevard NW, Albuquerque NM, 87121

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestll.com

Owner: Fazlollah, Calderon, Miramontez, and Carol Contact: Gray Harrison

Address: 2207 E Elvira

Phone#: 1-469-828-3374 Fax#: _____ E-mail: _____

Architect: Callaway Architecture Contact: Scott Stone

Address: 8340 Meadow Road, Suite 240 Dallas TX,

Phone#: 214-368-2525 Fax#: _____ E-mail: _____

Surveyor: TBD Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: TBD Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

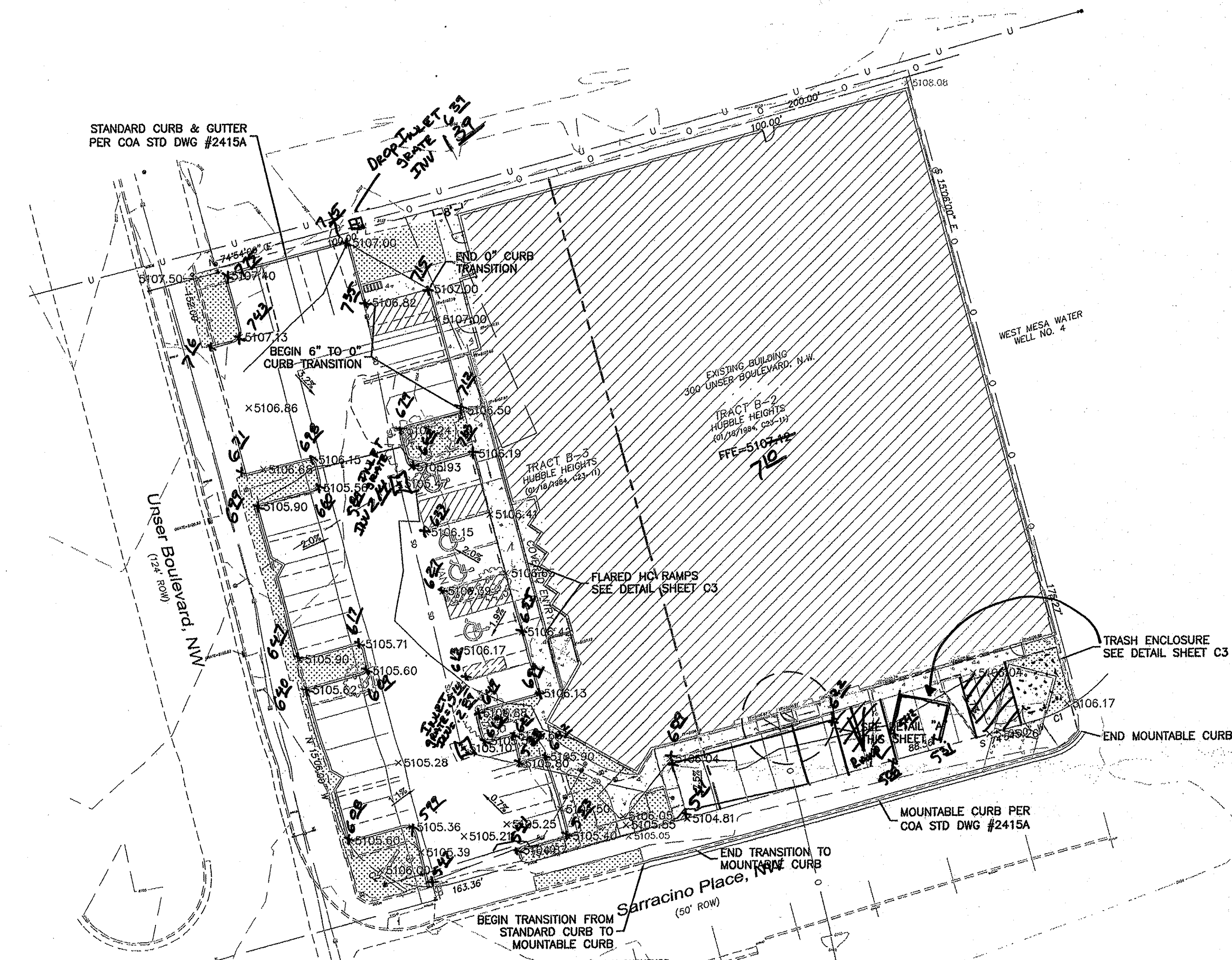
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 1/13/2015 By: Ronald R. Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

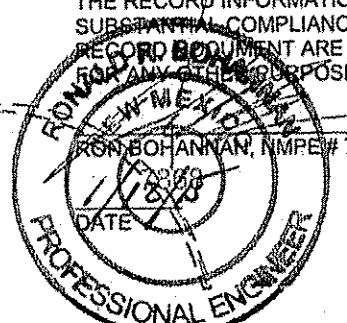
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre that are part of a larger common plan of development



I, RONALD R. BOHANNAN, NMPE # 7886, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 07/11/12. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TERRY MEDRANO, NMPS # 11893, OF THE FIRM, PRECISION SURVEYS, I, FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/14/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT BUILDING CERTIFICATE OF OCCUPANCY.

EXCEPTIONS:
NONE TAKEN

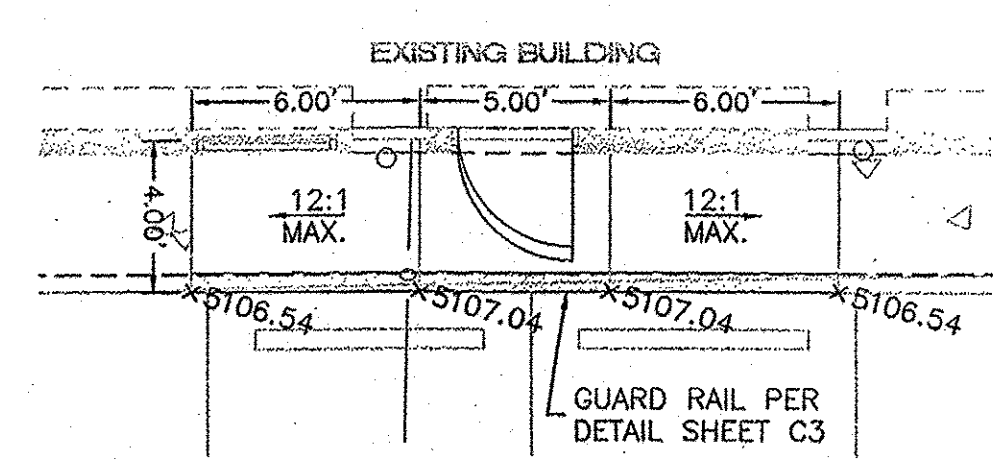
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS INFORMATION ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY PURPOSE.



(SEAL)

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - 5010 CONTOUR MAJOR
 - 5011 CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING CONTOUR MAJOR
 - EXISTING CONTOUR MINOR
 - EXISTING SPOT ELEVATION

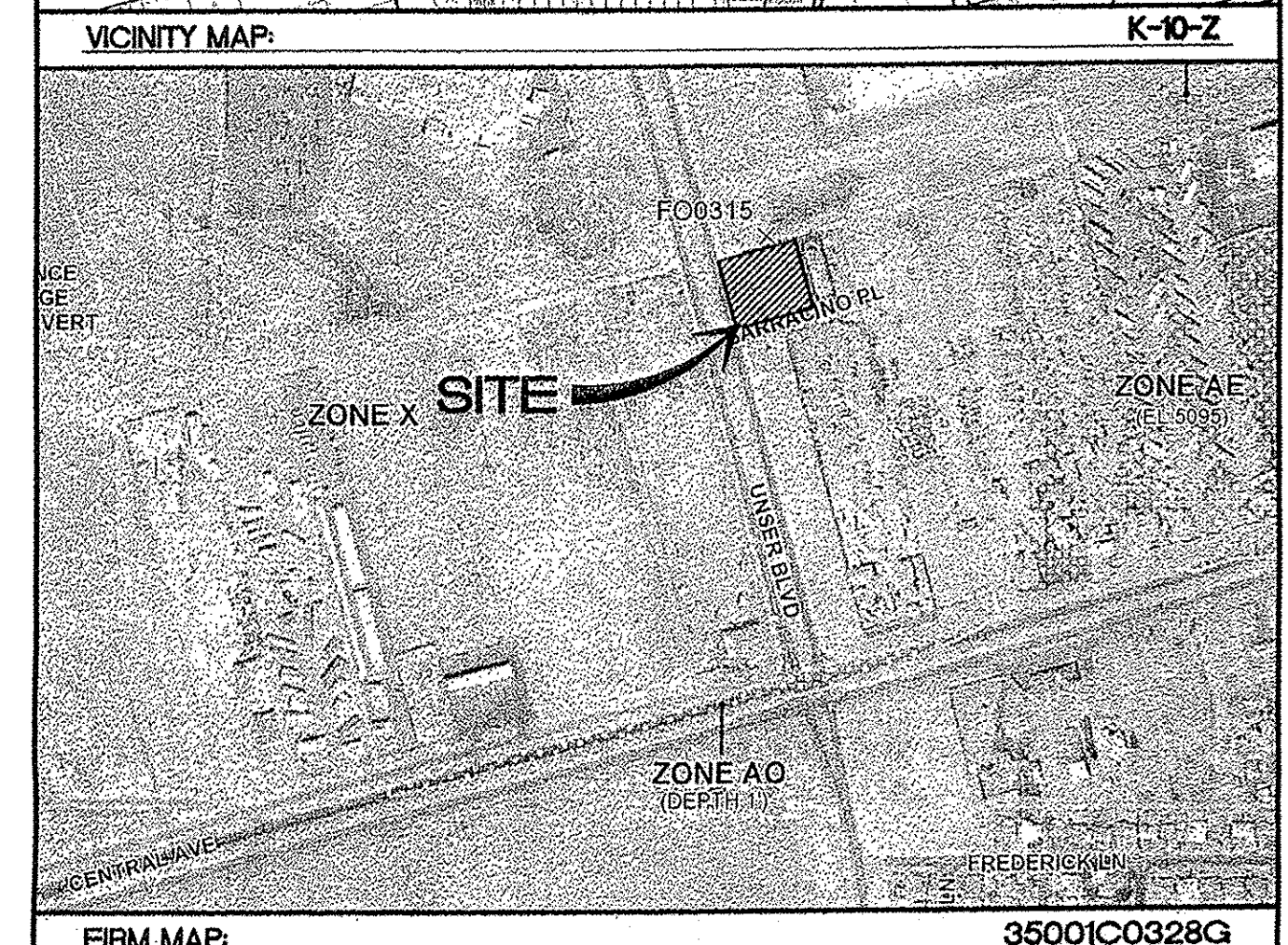
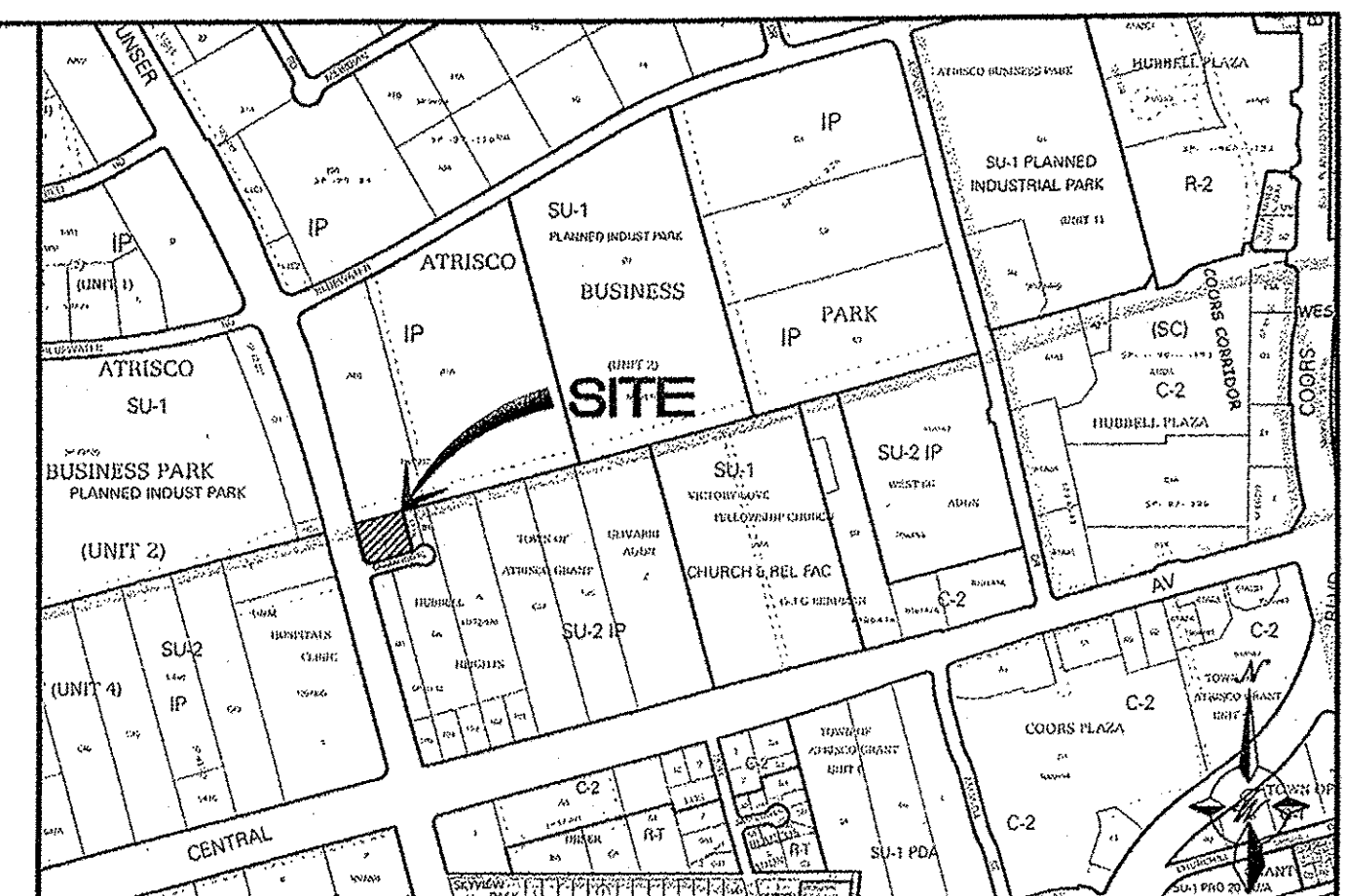


DETAIL 'A'
SC: 1"=5'

GRADING AND DRAINAGE MANAGEMENT PLAN
PURPOSE The purpose of this Grading and Drainage Plan is to update the drainage management plan for the above reference site for a Tenant Improvement for building permit approval.

EXISTING CONDITIONS The site is a fully developed 0.809 acre lot located in Albuquerque NM on the hard northeast corner of Unser Boulevard and Sarracino Place, NW, identified as Tracts B-2 and B-3 of Hubbell Heights. The site contains a single story 20,635 square foot building, parking lot, and landscaped areas. The existing site conveys runoff to several drop inlets in the parking field, which connect to an existing storm drain system in Unser Blvd. The remaining flows are conveyed to Sarracino Place, and continue to Unser Blvd. via sheet and shallow concentrated flow, which also enter the Unser Blvd. storm drain system. An approved Drainage Plan was not available from City Hydrology, so peak discharge for the 100 yr, 10 yr, and 2 yr (6 hours) storm events have been calculated according to Chapter 22 of the DPM and can be seen in the table on this sheet. The site lies outside the flood hazard zone as indicated in the above FEMA Flood Map, and no offsite flows enter the property.

PROPOSED CONDITIONS The existing commercial building will be remodeled internally to accommodate a healthcare office for dialysis treatment. The parking field on the west side of the building will be reconfigured, with the below-grade delivery dock being filled in, to increase parking and better accommodate ADA accessibility throughout the site. The south edge of the site will be reconfigured to accommodate more parking spaces as well. An increase in pervious area in the form of landscape will result due to the parking lot reconfiguration; therefore the overall site discharge will decrease. The west parking area will continue to convey runoff to the existing two drop inlets and continue to the Unser storm drain. Further, the south parking area will convey runoff via sheet flow to Sarracino Place and flow to Unser Blvd. Therefore historic drainage patterns will not be diverted and peak discharge will decrease due to this proposed site remodel and parking lot reconfiguration.



LEGAL DESCRIPTION:

TRACTS B-2 AND B-3 HUBBELL HEIGHTS

NOTES:

1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

EROSION CONTROL NOTES:

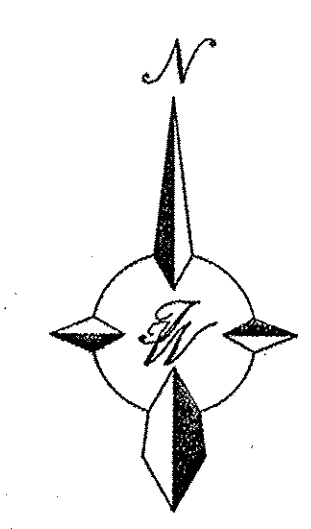
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

DPM Weighted E Method
Precipitation Zone 1 - Albuquerque Renal Construction, LLC

Basin		Basin Descriptions				100-Year, 6-Hr				10-Year, 6-Hr				2-Year, 6-Hr			
		Treatment A	Treatment B	Treatment C	Treatment D	Weighted E	Volume	Flow	Weighted E	Volume	Flow	Weighted E	Volume	Flow	Weighted E	Volume	Flow
Impervious	32,873.3	0.755	0.00118	0%	0%	0.000	0%	0.000	1.970	0.124	3.30	1.240	0.078	2.18	0.720	0.045	1.28
Pervious	2,388.8	0.055	0.00009	0%	0%	0.000	100%	0.054839	0.990	0.005	0.16	0.440	0.002	0.08	0.120	0.001	0.03
Total	35,262.1	0.810	0.00126							0.128	3.46		0.080	2.26		0.046	1.30

Notes:

Equations:
Weighted E = $E_p \cdot A_p + E_c \cdot A_c + E_d \cdot A_d + E_s \cdot A_s$ / (Total Area)
Volume = Weighted E * Total Area
Flow = $Q_p \cdot A_p + Q_c \cdot A_c + Q_d \cdot A_d + Q_s \cdot A_s$



GRAPHIC SCALE
20 10 0 10 20
SCALE: 1"=20'

ROUGH GRADING APPROVAL

DATE

	ALBUQUERQUE RENAL CONSTRUCTION, LLC		DRAWN BY
	GRADING AND DRAINAGE PLAN		DY
	TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		DATE 7/11/12
			2012011-GRE
		SHEET #	
		C2	
		JOB #	
		2012011	

CITY OF ALBUQUERQUE



January 15, 2015

Ronald R. Bohannon, PE
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: ABQ Renal Construction, LLC
300 Unser Blvd. NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 7-1-12 (K10D014)
Certification dated: 1-12-15**

Dear Mr. Bohannon,

Based on the Certification received 1/14/2014, the above mentioned building is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email