

CITY OF ALBUQUERQUE



January 15, 2015

Ronald R. Bohannon, PE
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

Re: ABQ Renal Construction, LLC
300 Unser Blvd. NW
Request Permanent C.O. - Accepted
Engineer's Stamp dated: 7-1-12 (K10D014)
Certification dated: 1-12-15

Dear Mr. Bohannon,

Based on the Certification received 1/14/2014, the above mentioned building is acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

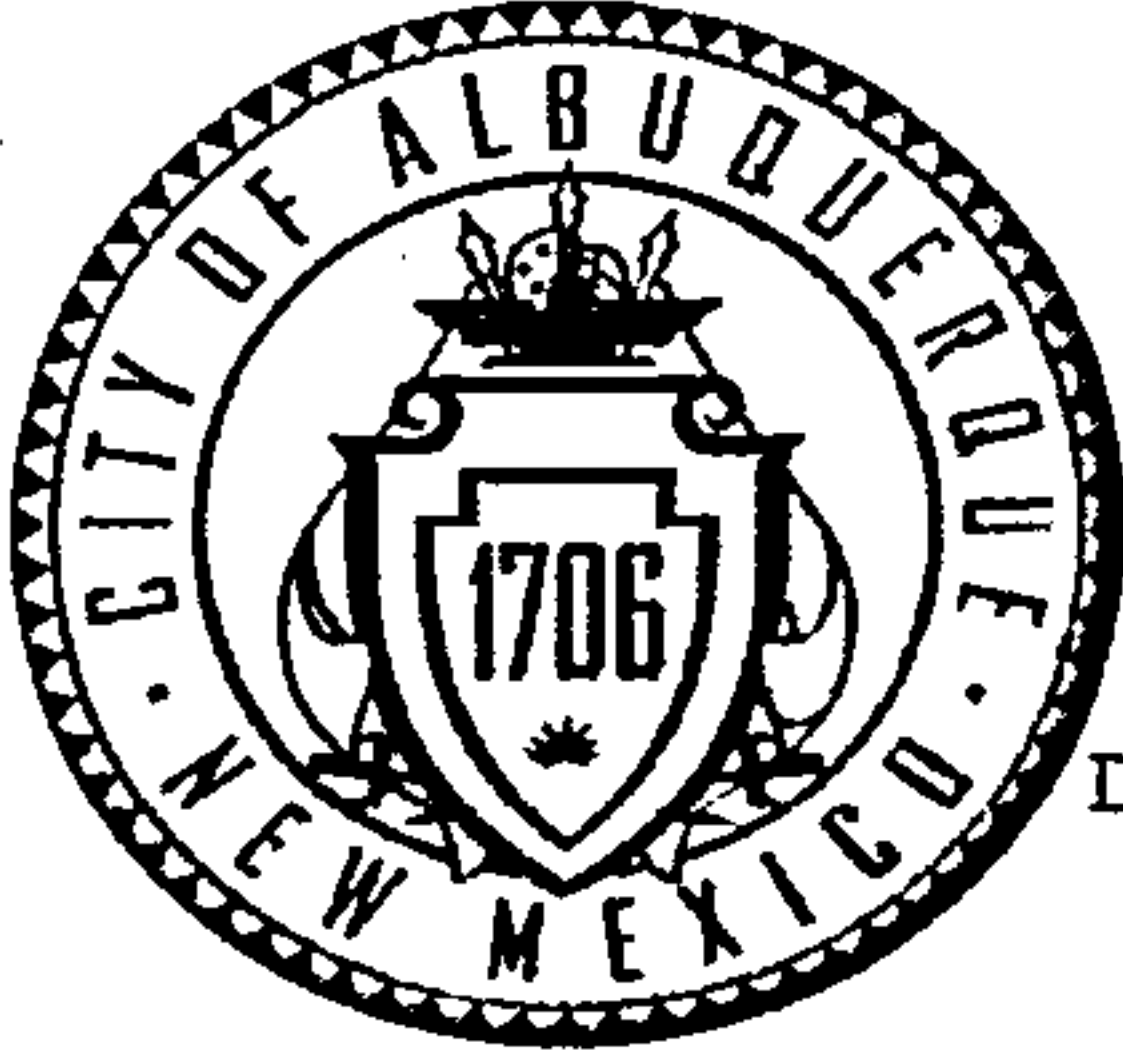
New Mexico 87103

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

www.cabq.gov

C: RR/CC
email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ABQ Renal Construction, LLC City Drainage #: K 10 / D 014
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract B-2 and B-3 of Hubble Heights
City Address: 300 Unser Boulevard NW, Albuquerque NM, 87121

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestll.com

Owner: Fazlollah, Calderon, Miramontez, and Carol Contact: Gray Harrison
Address: 2207 E Elvira
Phone#: 1-469-828-3374 Fax#: _____ E-mail: _____

Architect: Callaway Architecture Contact: Scott Stone
Address: 8340 Meadow Road, Suite 240 Dallas TX,
Phone#: 214-368-2525 Fax#: _____ E-mail: _____

Surveyor: TBD Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

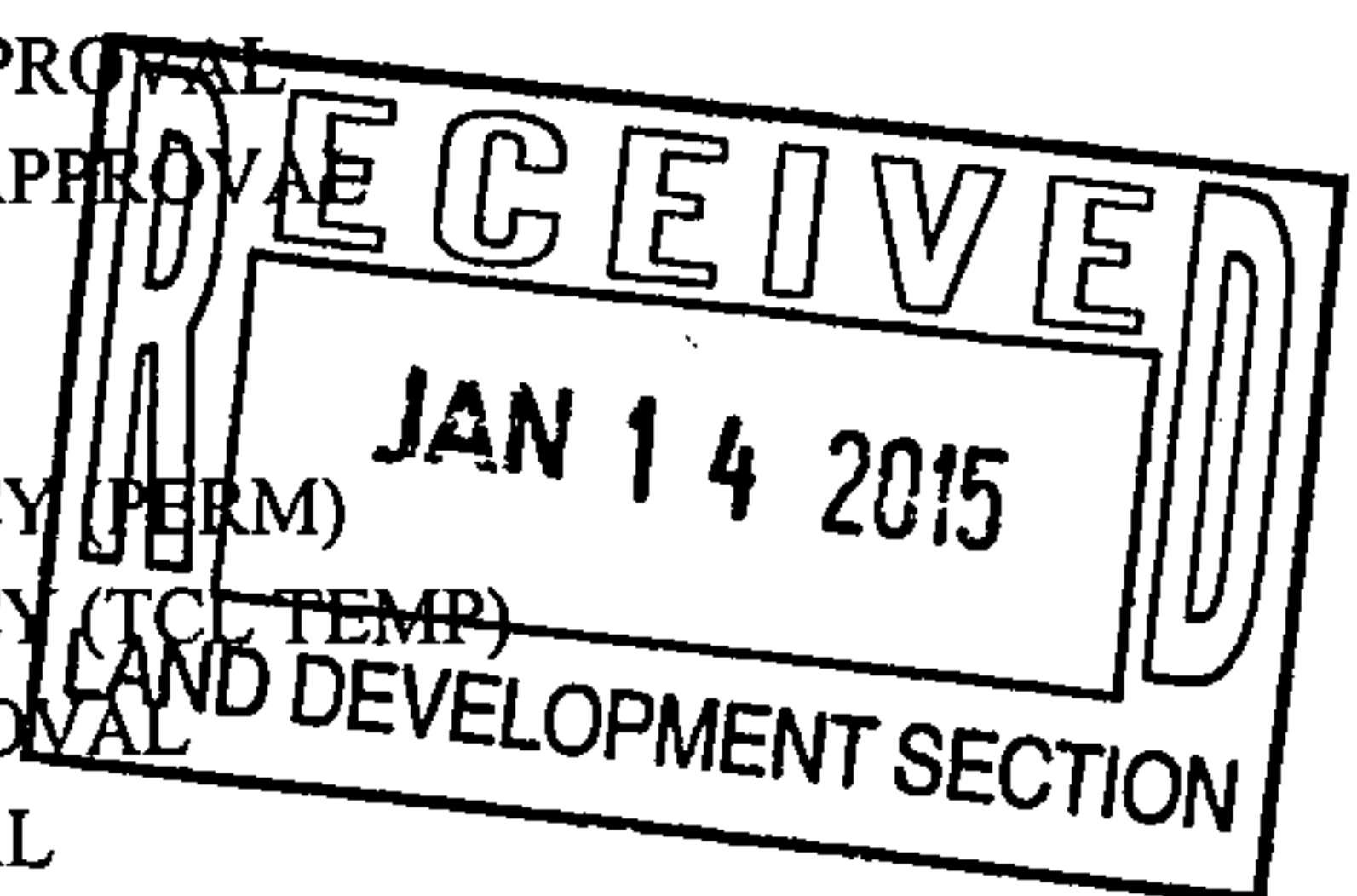
Contractor: TBD Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
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- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____



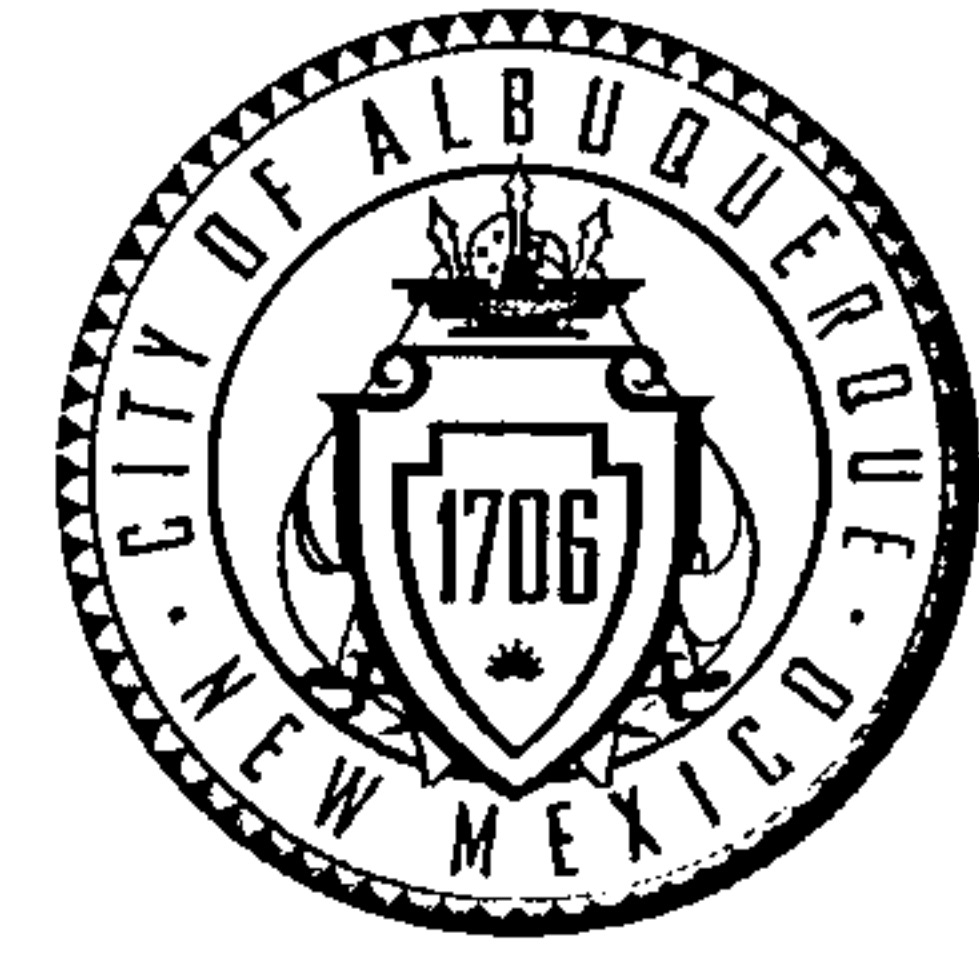
WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 1/13/2015 By: Ronald R. Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



August 6, 2012

Ronald R. Bohannon, P.E.
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**Re: Albuquerque Renal Construction
Grading and Drainage
Engineer's Stamp dated 7-1-12 (K10/D014)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 7-11-12, the above referenced plan is approved for Paving Permit and Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

For future reference please make all references and points ledgeable and not overlapping one another.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Sincerely,

Shahab Biazar, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

RER/SB
C: File

5571 Midway Park Place NE Albuquerque, NM 87109
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102
tierrawestllc.com

TIERRA WEST, LLC

July 11, 2012

Mr. Curtis Cherne
Senior Engineer
City of Albuquerque
Public Works Hydrology Department
P.O. Box 1293
Albuquerque, NM 87103

**RE: DRAINAGE PLAN FOR PROPOSED MEDICAL OFFICE @
300 UNSER BOULEVARD NW, ALBUQUERQUE NM
TRACTS B-2 AND B-3 OF HUBBLE HEIGHTS, ZONE ATLAS MAP K-10-Z**

Dear Mr. Cherne:

Transmitted with this letter is the drainage plan for the above referenced property. The site is located on the hard northeast corner of Unser Boulevard and Sarracino Place NW. The site is currently fully developed, containing a 20,635 square foot warehouse building, parking lot and loading dock facilities, and landscaping on the 0.809 acre lot. No hydrology file was found at your office in association with this site.

The existing site conveys runoff to several storm inlets onsite, which are connected to the Unser storm drain system via underground piping. A small portion of the property conveys flows to Sarracino Place by sheet flow. This runoff is then conveyed to Unser Blvd. and eventually enters the Unser storm drain system via storm drain curb inlets downstream.

The proposed building plan for the site is a tenant improvement to remodel the existing building space to accommodate a medical office that will function as a dialysis treatment clinic. The west parking field will be reconfigured, with the existing loading dock to be eliminated, to better optimize available parking space. Minimal re-grading will also be required to meet the tenant's need for overall ADA access in this area. The area between the building and Sarracino Place will also be re-graded to accommodate more parking.

The drainage management plan for the building remodel and parking reconfiguration will result in an increase in pervious areas, and therefore decrease the peak discharge. The overall drainage patterns will remain unchanged; the west parking lot will continue to convey runoff to the two grate inlets and continue to the Unser storm drain system. The new parking area at the south property line will convey runoff to Sarracino and continue to follow historic drainage patterns, entering the Unser storm drain as before.

Tierra West LLC requests approval of a Grading and Drainage Plan based on the information provided. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, PE

Enclosure/s: Grading and Drainage Plan and Hydrologic Calculations

JN: 2012011
PE/cla

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Albuquerque Renal Construction, LLC
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE # K-10-18014
WORK ORDER #: _____

LEGAL DESCRIPTION: Tracts B-2 and B-2 of Hubble Heights
CITY ADDRESS: 300 Unser Boulevard NW, Albuquerque NM, 87121

ENGINEERING FIRM: Tierra West, LLC
ADDRESS: 5571 Midway Park Place NE
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon
PHONE: (505) 858-3100
ZIP CODE: 87109

OWNER: Fazlollah, Calderon, Miramontez, & Carol
ADDRESS: 2207 E Elvira
CITY, STATE: Tucson, AZ

CONTACT: Gray Harrison
PHONE: 1-469-828-3374
ZIP CODE: 75225

ARCHITECT: Callaway Architecture
ADDRESS: 8340 Meadow Road, Suite 240
CITY, STATE: Dallas, TX

CONTACT: Scott Stone
PHONE: (214) 368-2525
ZIP CODE: 75231

SURVEYOR: Precision Surveys, Inc.
ADDRESS: 5571 Midway Park Place, NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: 505-856-5700
ZIP CODE: 87109

CONTRACTOR: TBD
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☒ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

RECEIVED
JUL 11 2012
AO

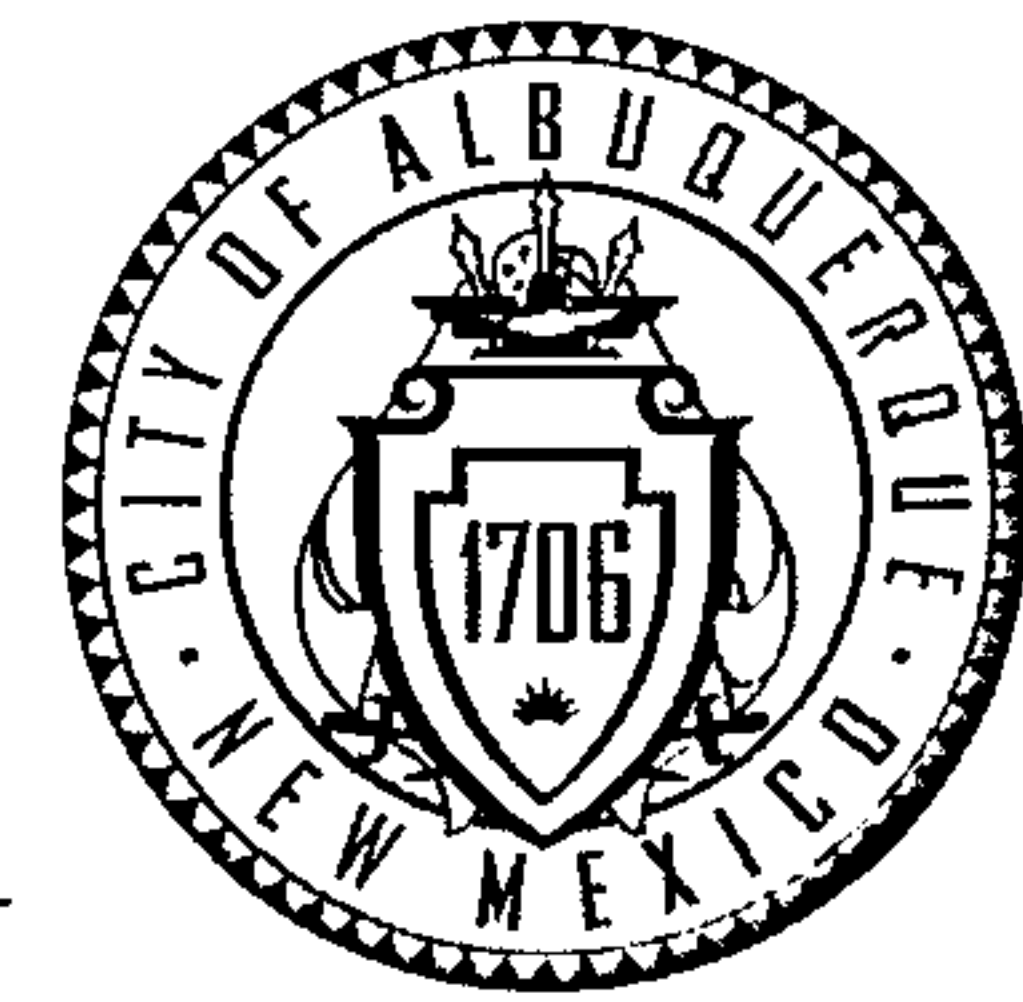
paid \$50.00 ✓

DATE SUBMITTED: 7/11/2012 BY: Ronald R. Bohannan, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



September 30, 2013

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park PL NE
Albuquerque, NM 87109

**Re: Albuquerque Renal Construction, LLC Remodel
Grading and Drainage Plan
Engineer's Stamp Date 9-24-13 (K10D014)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 9-24-13, the above referenced plan is approved for Building Permit and Paving Permit. A copy of this approved plan was attached to the FasTrax Building Permit set and therefore the FasTrax permit has been approved by Hydrology.

Due to the building already being in place and the scope of work, an Engineer's Certification is not required for release of Certificate of Occupancy. However, a Certification will be accepted by Hydrology for our records.

PO Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: e-mail
file



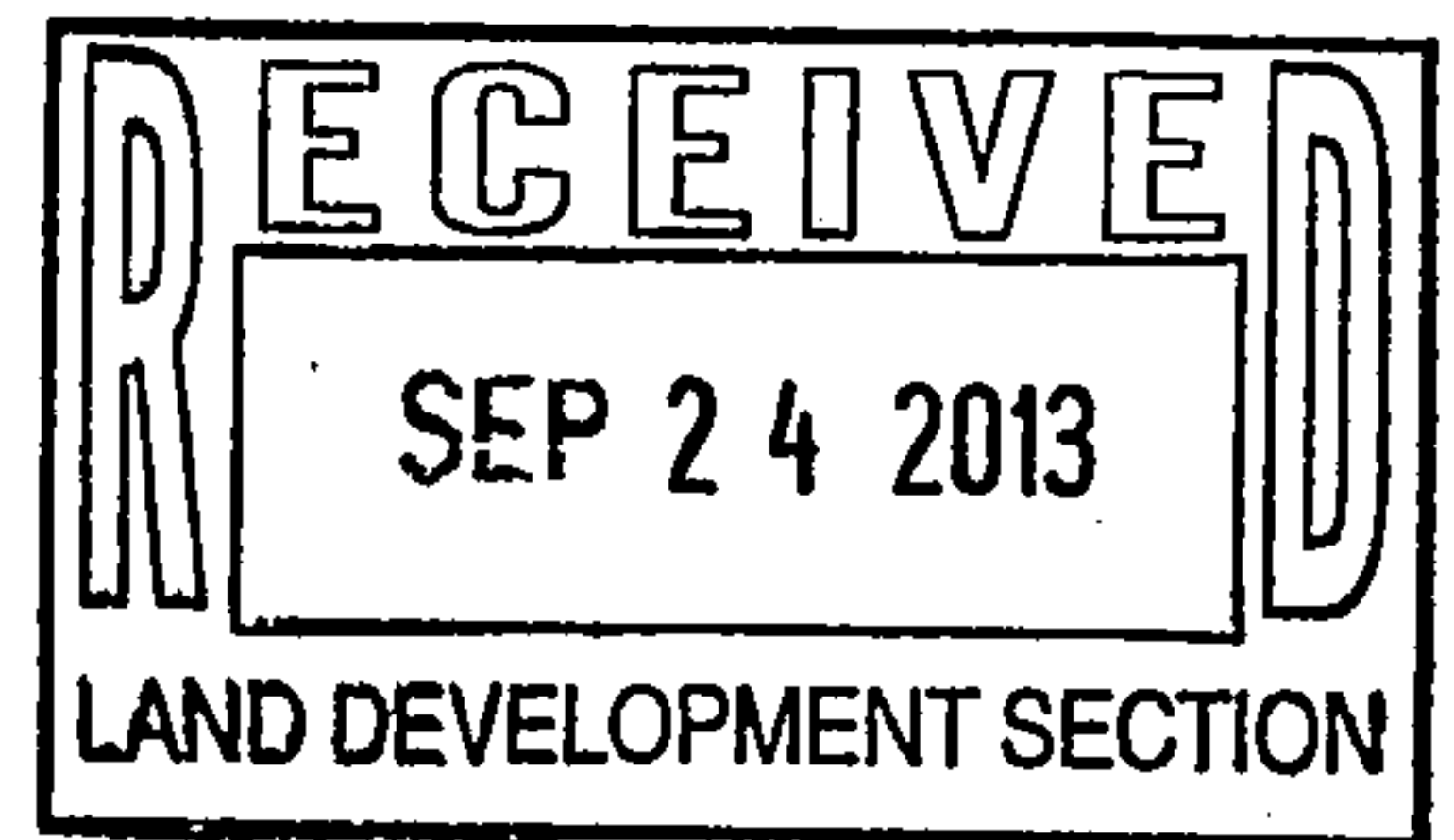
City of Albuquerque

Planning Department

Development & Building Services Division

RAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)



Project Title: Albuquerque Renal Construction, LLC City Drainage #: K10/D014
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: Tract B-2 and B-3 of Hubble Heights
City Address: 300 Unser Boulevard NW, Albuquerque NM, 87121

Engineering Firm: Tierra West, LLC Contact: Ronald R. Bohannon
Address: 5571 Midway Park Place NE Albuquerque, NM 87109
Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: rrb@tierrawestll.com

Owner: Fazlollah, Calderon, Miramontez, and Carol Contact: Gray Harrison
Address: 2207 E Elvira
Phone#: 1-469-828-3374 Fax#: _____ E-mail: _____

Architect: Callaway Architecture Contact: Scott Stone
Address: 8340 Meadow Road, Suite 240 Dallas TX,
Phone#: 214-368-2525 Fax#: _____ E-mail: _____

Surveyor: TBD Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: TBD Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

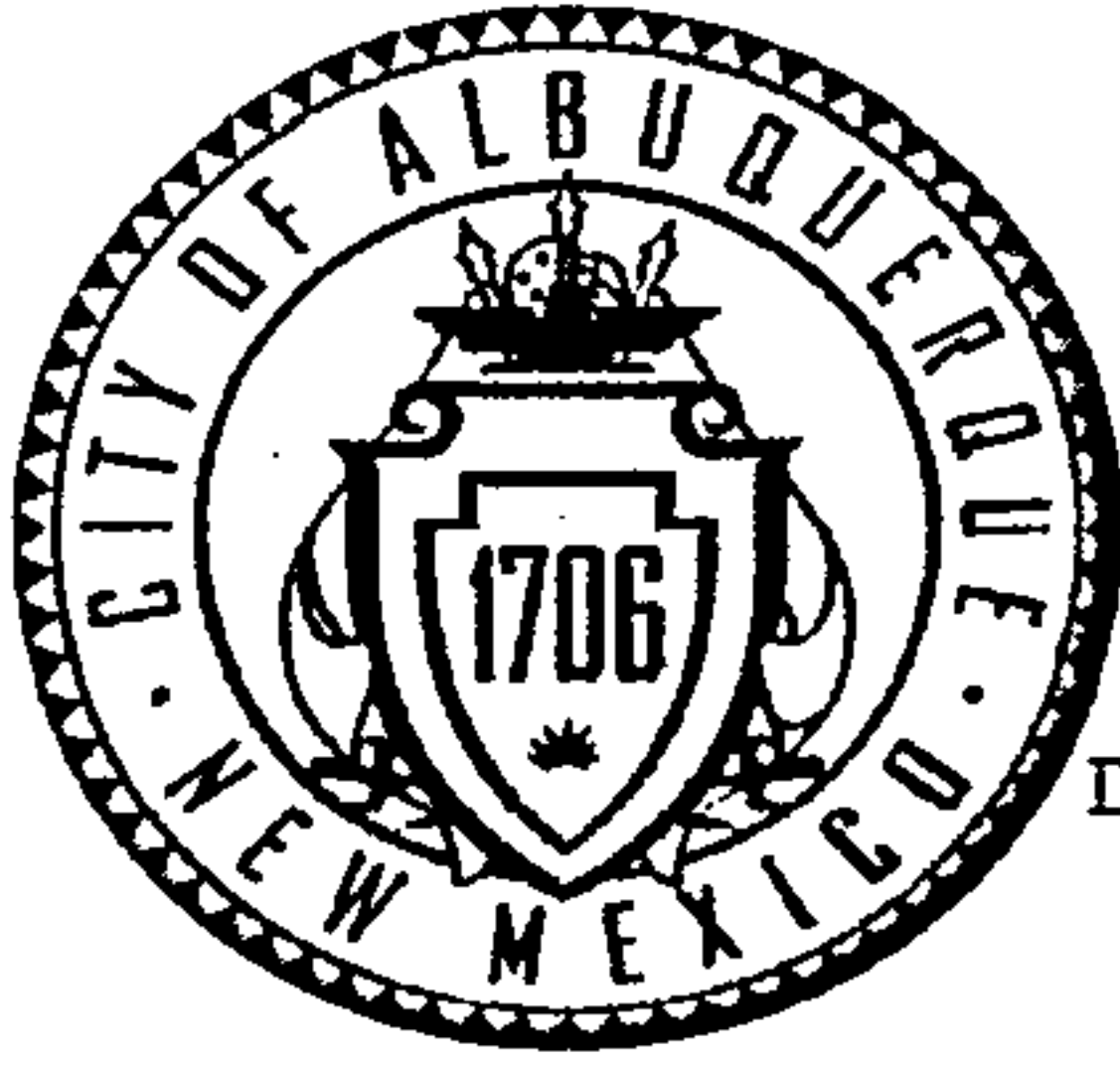
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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: ☐ Yes ☐ No ☐ Copy Provided

DATE SUBMITTED: 09/24/2013 By: Ronald R. Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ABQ Renal Construction, LLC

City Drainage #: K1012014

DRB#:

EPC#:

Work Order#:

Legal Description: Tract B-2 and B-3 of Hubble Heights

City Address: 300 Unser Boulevard NW, Albuquerque NM, 87121

Engineering Firm: Tierra West, LLC

Contact: Ronald R. Bohannon

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100

Fax#: 505-858-1118

E-mail: rrb@tierrawestll.com

Owner: Fazlollah, Calderon, Miramontez, and Carol

Contact: Gray Harrison

Address: 2207 E Elvira

Phone#: 1-469-828-3374

Fax#:

E-mail:

Architect: Callaway Architecture

Contact: Scott Stone

Address: 8340 Meadow Road, Suite 240 Dallas TX,

Phone#: 214-368-2525

Fax#:

E-mail:

Surveyor: TBD

Contact:

Address:

Phone#:

Fax#:

E-mail:

Contractor: TBD

Contact:

Address:

Phone#:

Fax#:

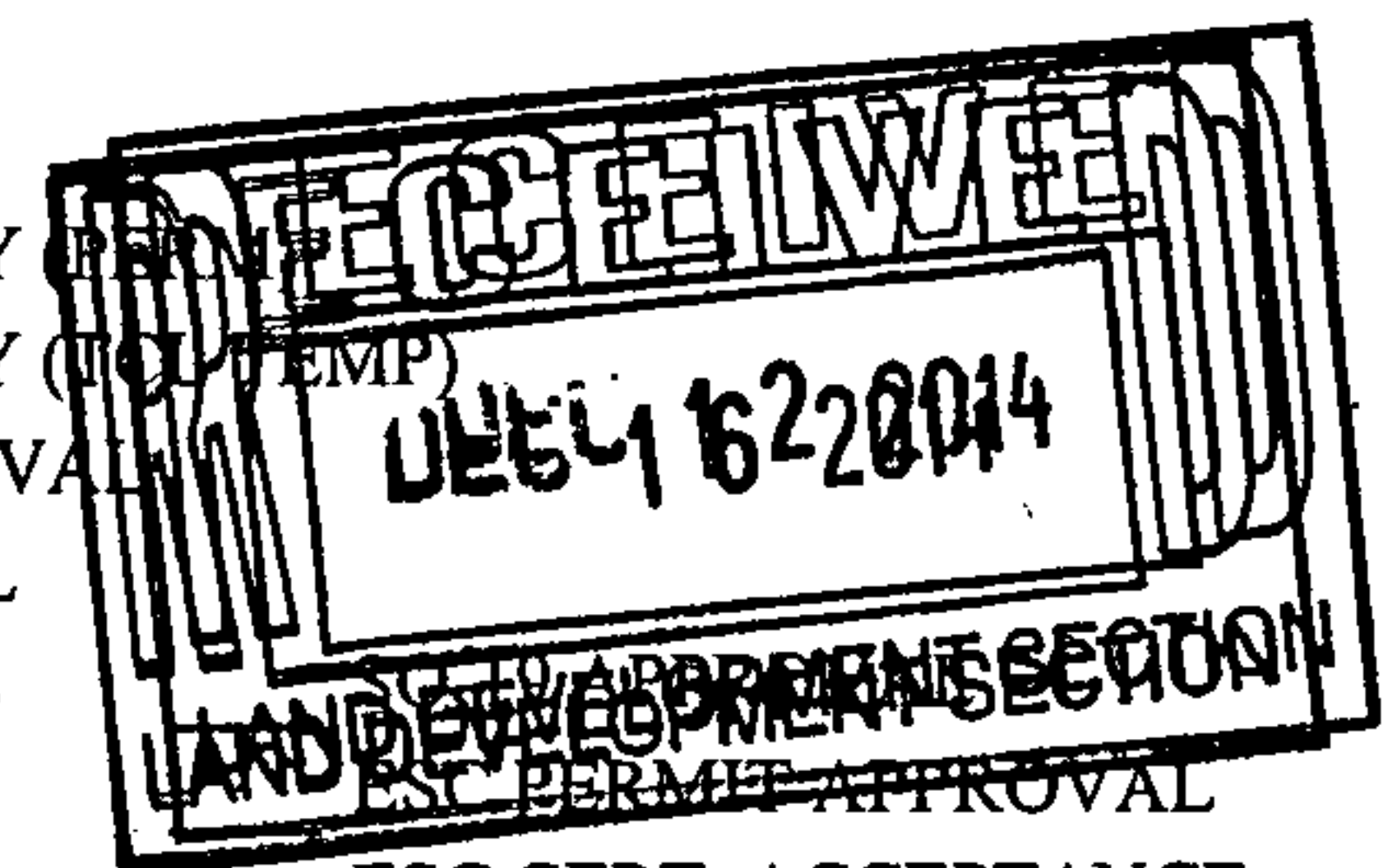
E-mail:

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
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- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION



WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ Yes

☐ No

☐ Copy Provided

DATE SUBMITTED: 12/16/14

By: Ronald R. Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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*12/29/14
Spoke to Ron
Verbal - No
Need correct SPBP w/ sig. block*

g n

TIERRA WEST, LLC

December 15, 2014

Ms. Kristal Metro, P.E.
Development and Building Services
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY
ALBUQUERQUE RENAL, 300 UNSER BLVD NW**

Dear Ms. Metro:

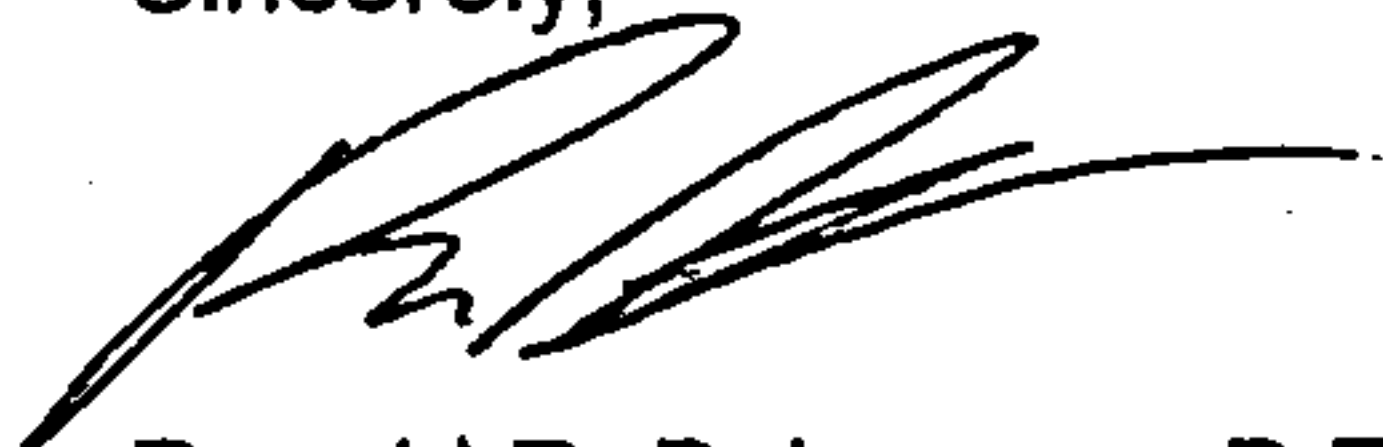
I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the Approved Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on December 15, 2014, and is in accordance with the design intent of the Approved Site Plan for Building Permit dated 2/18/14. This certification is submitted in support of the request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet, Approved Site Plan for Building Permit. Therefore, we request approval of the Site Plan for Building Permit for a Permanent Certificate of Occupancy for the building.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

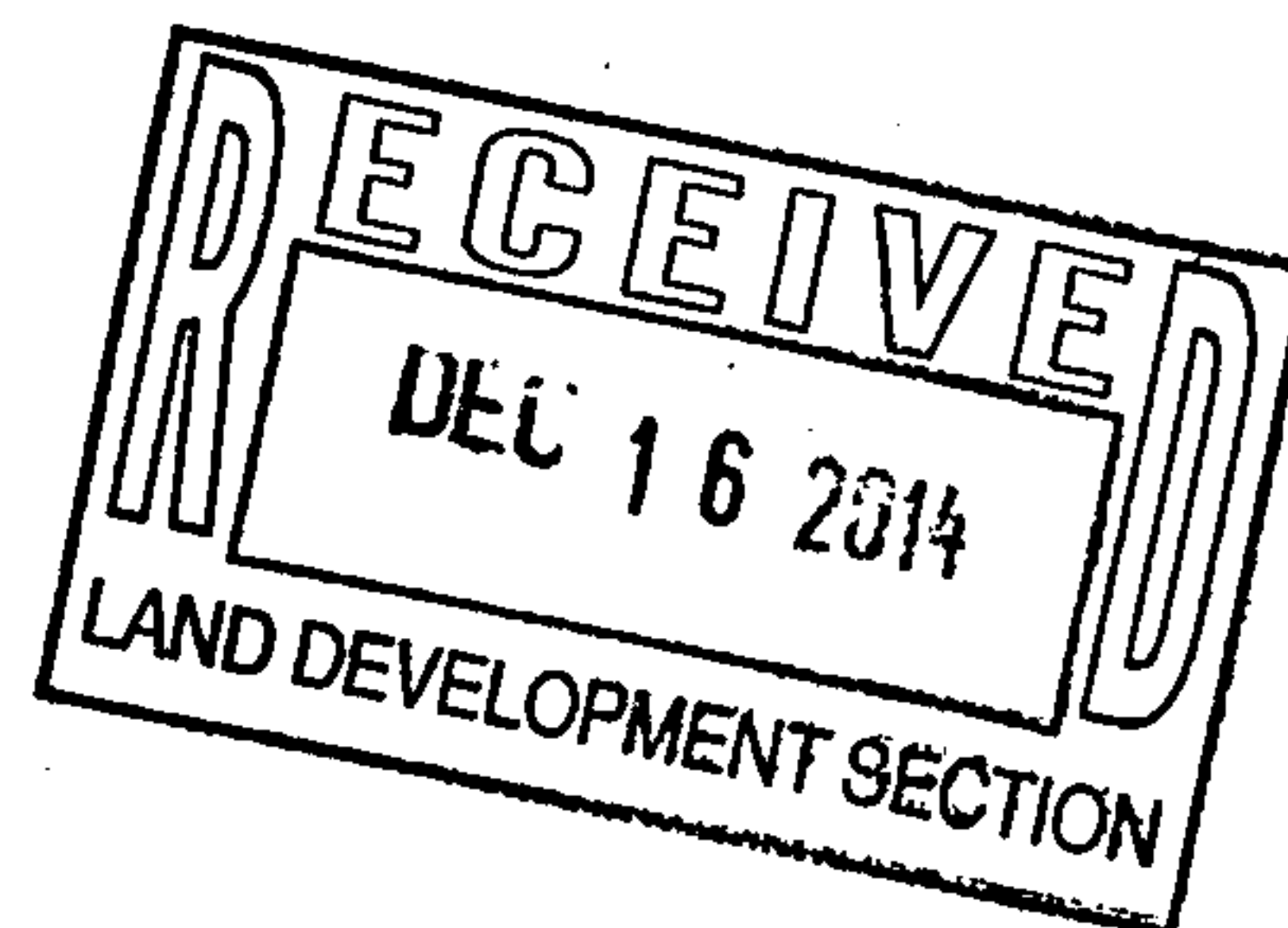
Sincerely,



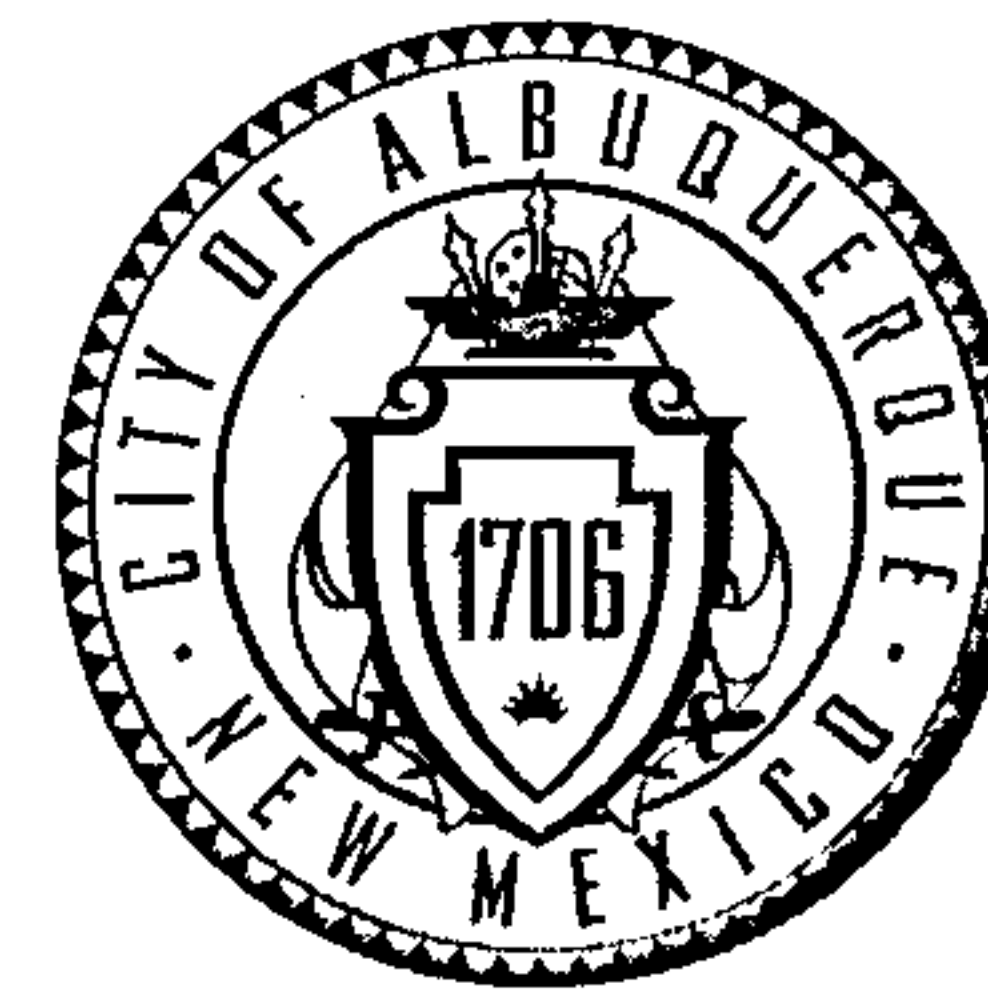
Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2012011
RRB/JG/bf



CITY OF ALBUQUERQUE



January 22, 2014

Ronald Bohannon, P.E.
Tierra West, LLC
5571 Midway Park PL NE
Albuquerque, NM 87109

**Re: Albuquerque Renal Construction, LLC Remodel
Grading and Drainage Plan
Engineer's Stamp Date 11-12-13 (K10D014)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 12-09-13, the above referenced plan is approved for Building Permit and Paving Permit. Hydrology is asking that all landscaped areas are depressed to retain the moisture which falls on them.

Due to the building already being in place and the scope of work, an Engineer's Certification is not required for release of Certificate of Occupancy. However, a Certification will be accepted by Hydrology for our records.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

Albuquerque

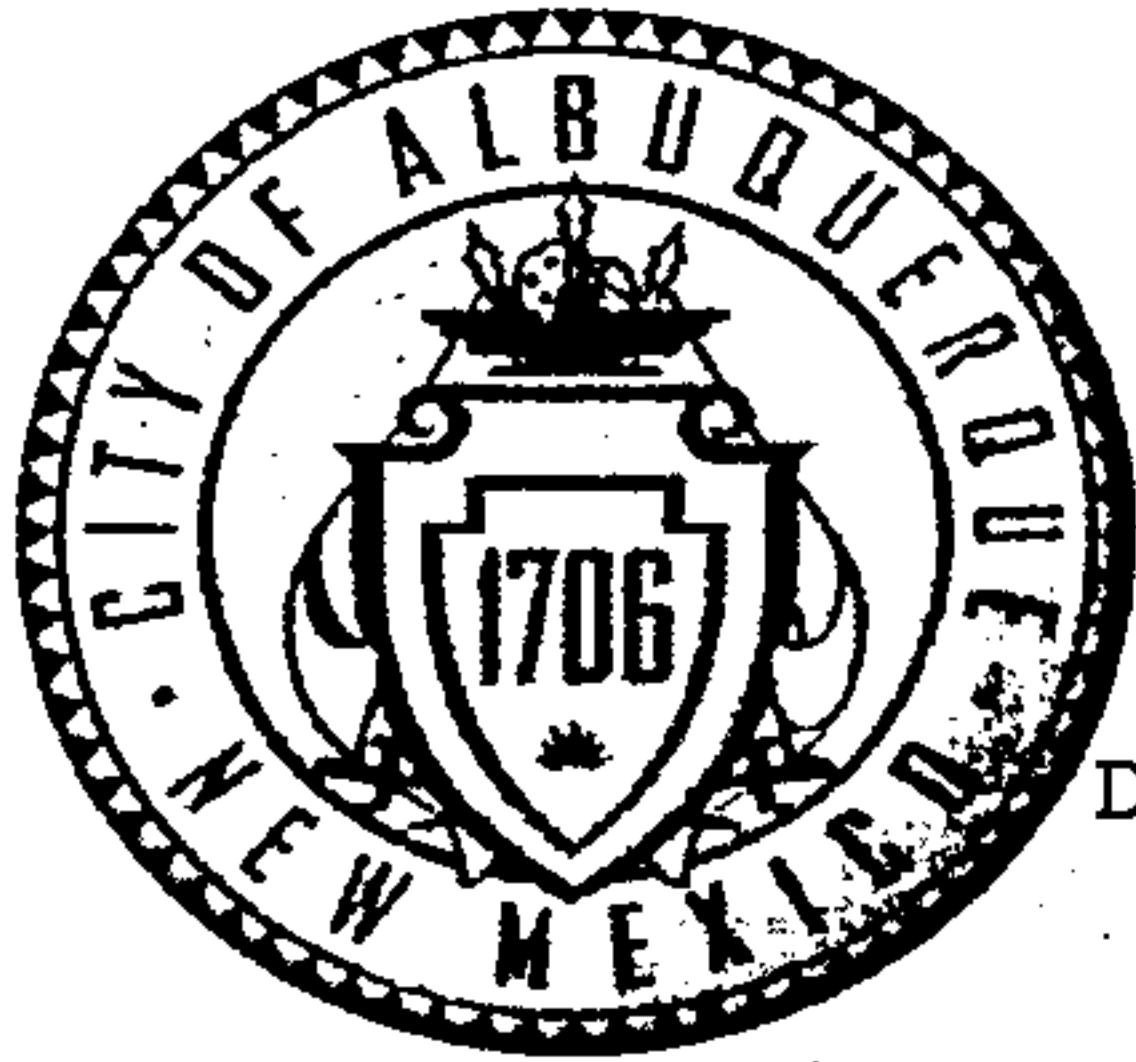
New Mexico 87103

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: RR/CC
e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: ABQ Renal Construction, LLC

City Drainage #: K10/D014

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tract B-2 and B-3 of Hubble Heights

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Engineering Firm: Tierra West, LLC

Contact: Ronald R. Bohannon

Address: 5571 Midway Park Place NE Albuquerque, NM 87109

Phone#: 505-858-3100

Fax#: 505-858-1118

E-mail: rrb@tierrawestll.com

Owner: Fazlollah, Calderon, Miramontez, and Carol

Contact: Gray Harrison

Address: 2207 E Elvira

Phone#: 1-469-828-3374

Fax#: _____

E-mail: _____

Architect: Callaway Architecture

Contact: Scott Stone

Address: 8340 Meadow Road, Suite 240 Dallas TX,

Phone#: 214-368-2525

Fax#: _____

E-mail: _____

Surveyor: TBD

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

E-mail: _____

Contractor: TBD

Contact: _____

Address: _____

Phone#: _____

Fax#: _____

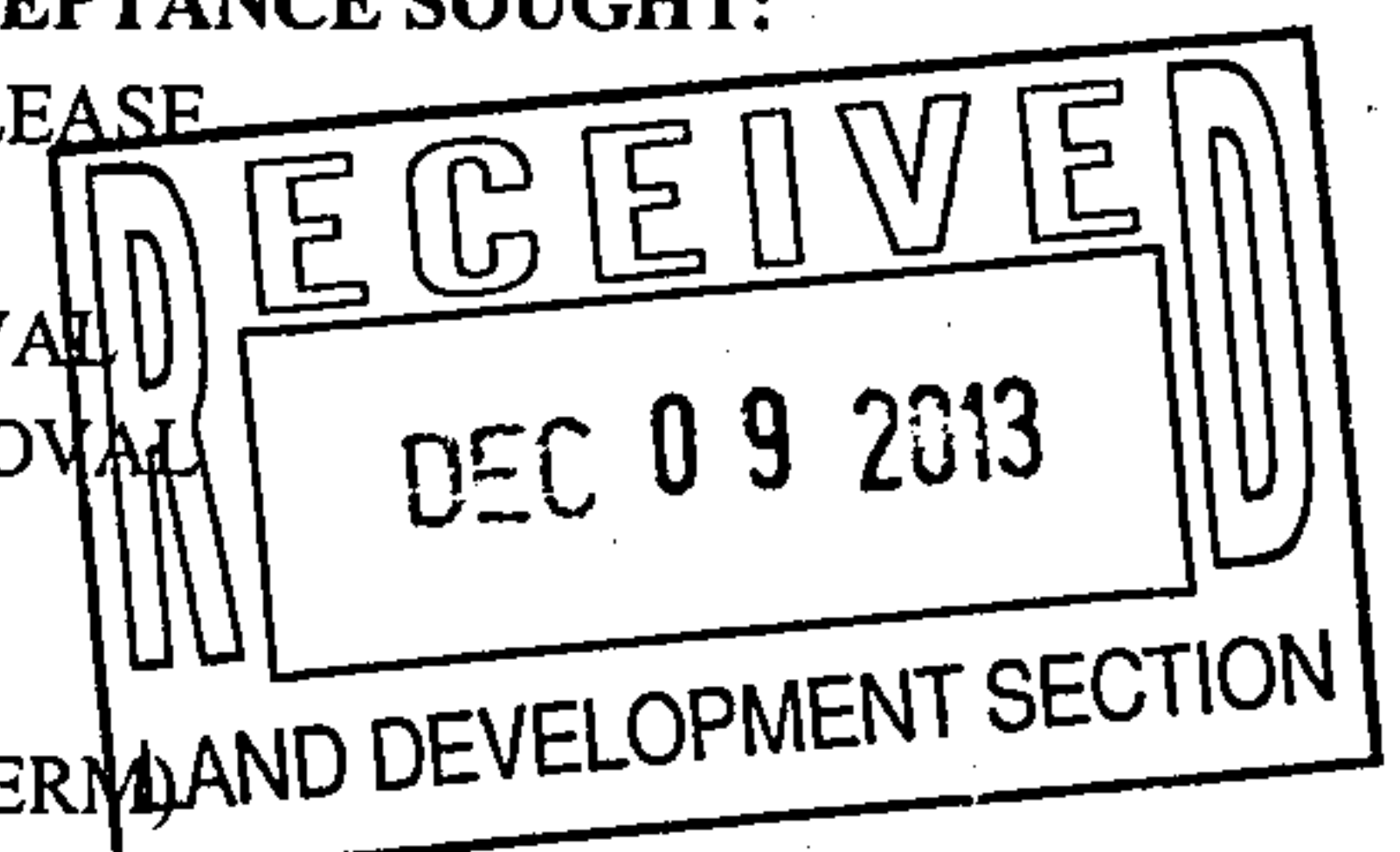
E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
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- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 12/09/2013

By: Ronald R. Bohannon

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development