



EROSION CONTROL NOTES:

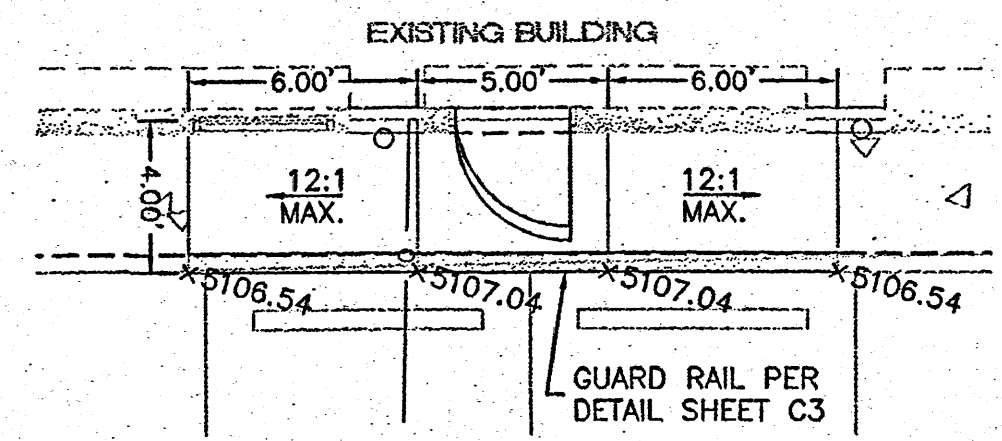
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

DPM Weighted E Method
Precipitation Zone 1 - Albuquerque Renal Construction, LLC

Basin Descriptions										100-Year, 6-Hr			10-Year, 6-Hr			2-Year, 6-Hr		
Basin	Area (sq. ft.)	Area (acres)	Treatment A (%)	Treatment B (%)	Treatment C (%)	Treatment D (%)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)	Weighted E (ac-ft)	Volume (ac-ft)	Flow (cfs)
Impervious	32,873.3	0.755	0.00118	0%	0%	0.000	0%	1.970	0.124	3.30	1.240	0.078	2.18	0.720	0.045	1.28		
Pervious	2,388.8	0.055	0.00009	0%	0%	0.000	100%	0.990	0.005	0.16	0.440	0.002	0.08	0.120	0.001	0.03		
Total	35,262.1	0.810	0.00128						0.128	3.46		0.080		0.046	1.30			

Notes:
Equations:
Weighted E = $E_p \cdot A_p + E_v \cdot A_v + E_s \cdot A_s + E_d \cdot A_d$ / (Total Area)
Volume = Weighted E * Total Area
Flow = $Q_p \cdot A_p + Q_v \cdot A_v + Q_s \cdot A_s + Q_d \cdot A_d$

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - 5010 CONTOUR MAJOR
 - 5011 CONTOUR MINOR
 - x 5048.25 SPOT ELEVATION
 - FLOW ARROW
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - 5010 EXISTING CONTOUR MAJOR
 - 5011 EXISTING CONTOUR MINOR
 - x 5048.25 EXISTING SPOT ELEVATION



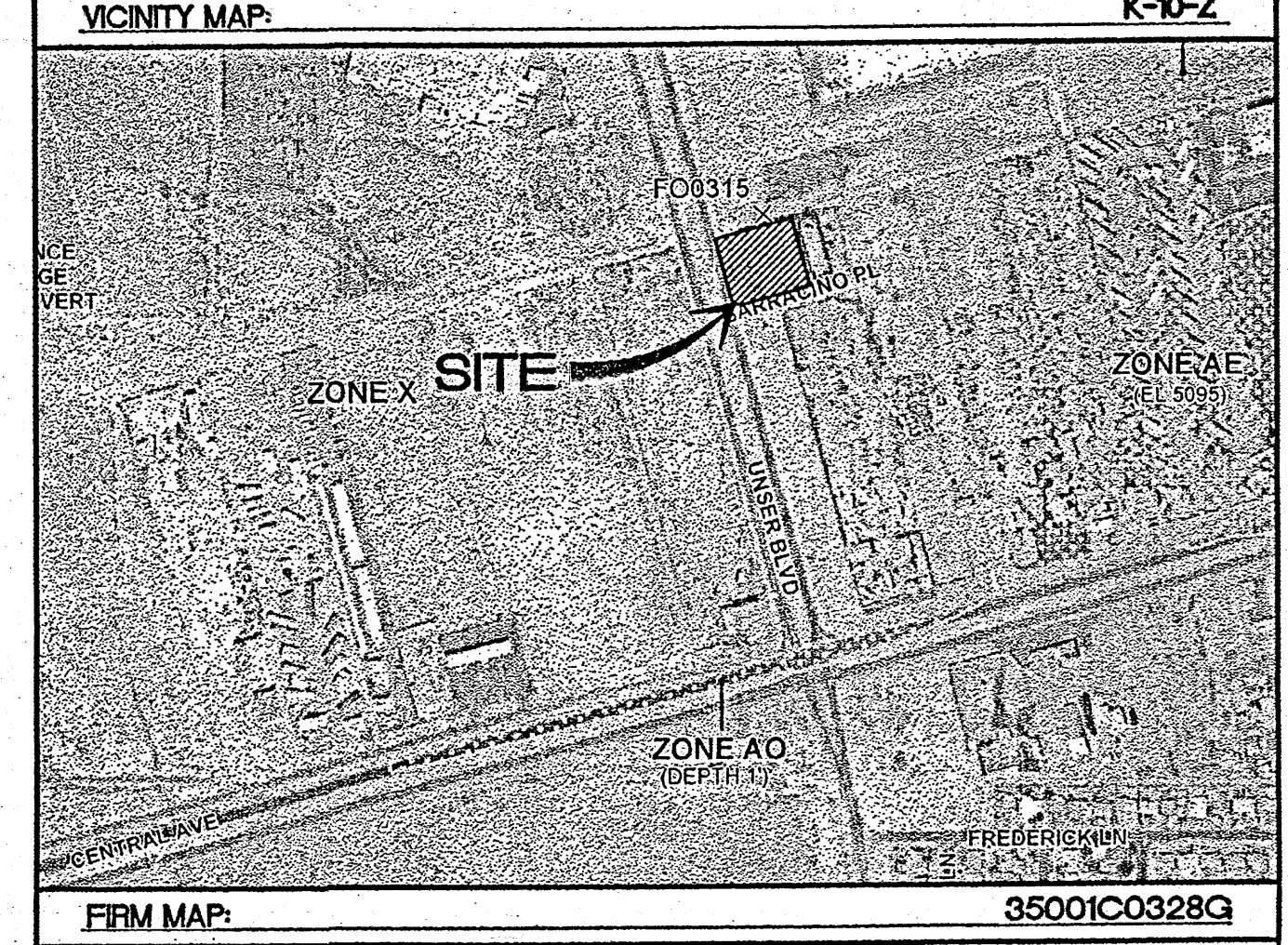
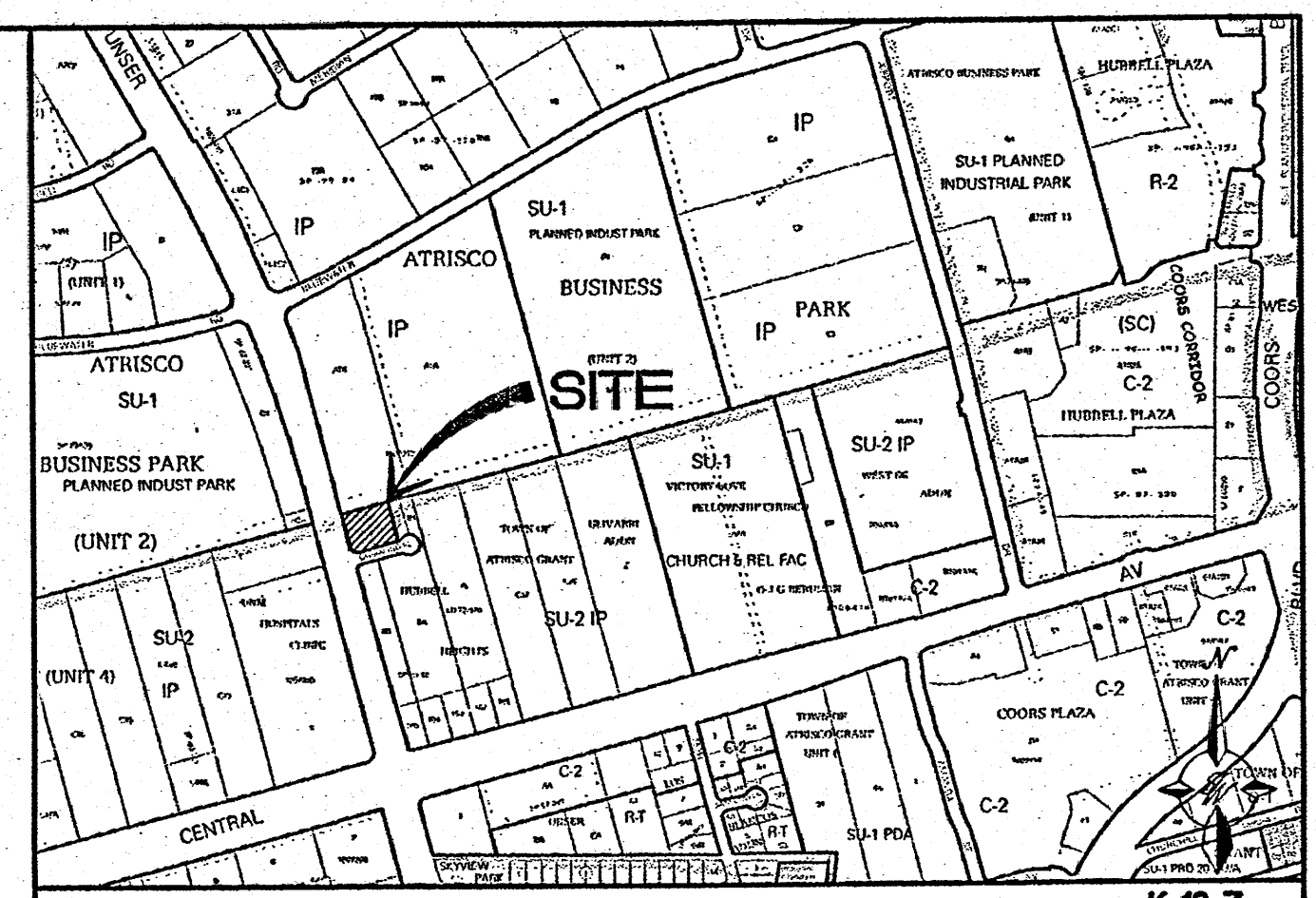
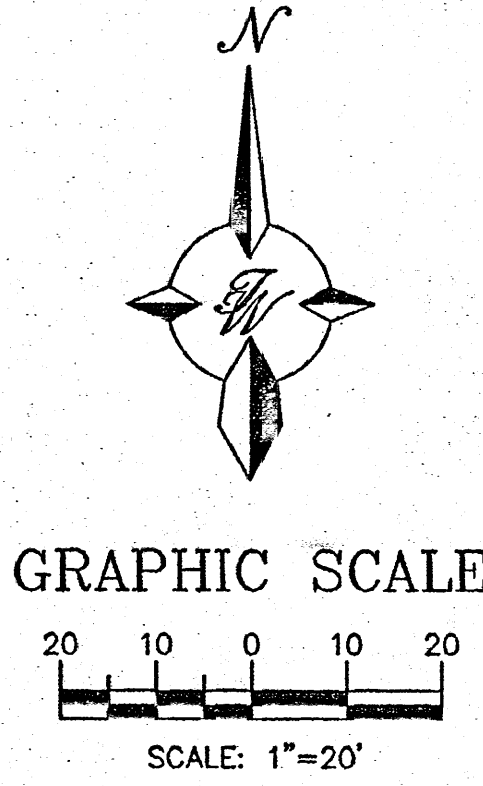
DETAIL 'A'
SC: 1"=5'

GRADING AND DRAINAGE MANAGEMENT PLAN

PURPOSE The purpose of this Grading and Drainage Plan is to update the drainage management plan for the above reference site for a Tenant Improvement for building permit approval.

EXISTING CONDITIONS The site is a fully developed 0.809 acre lot located in Albuquerque NM on the hard northeast corner of Unser Boulevard and Sarracino Place, NW, identified as Tracts B-2 and B-3 of Hubbell Heights. The site contains a single story 20,635 square foot building, parking lot, and landscaped areas. The existing site conveys runoff to several drop inlets in the parking field, which connect to an existing storm drain system in Unser Blvd. The remaining flows are conveyed to Sarracino Place, and continue to Unser Blvd. via sheet and shallow concentrated flow, which also enter the Unser Blvd. storm drain system. An approved Drainage Plan was not available from City Hydrology, so peak discharge for the 100 yr, 10 yr, and 2 yr (6 hours) storm events have been calculated according to Chapter 22 of the DPM and can be seen in the table on this sheet. The site lies outside the flood hazard zone as indicated in the above FEMA Flood Map, and no offsite flows enter the property.

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LEGAL DESCRIPTION

TRACTS B-2 AND B-3 HUBBELL HEIGHTS

NOTES:

1. GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.

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5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
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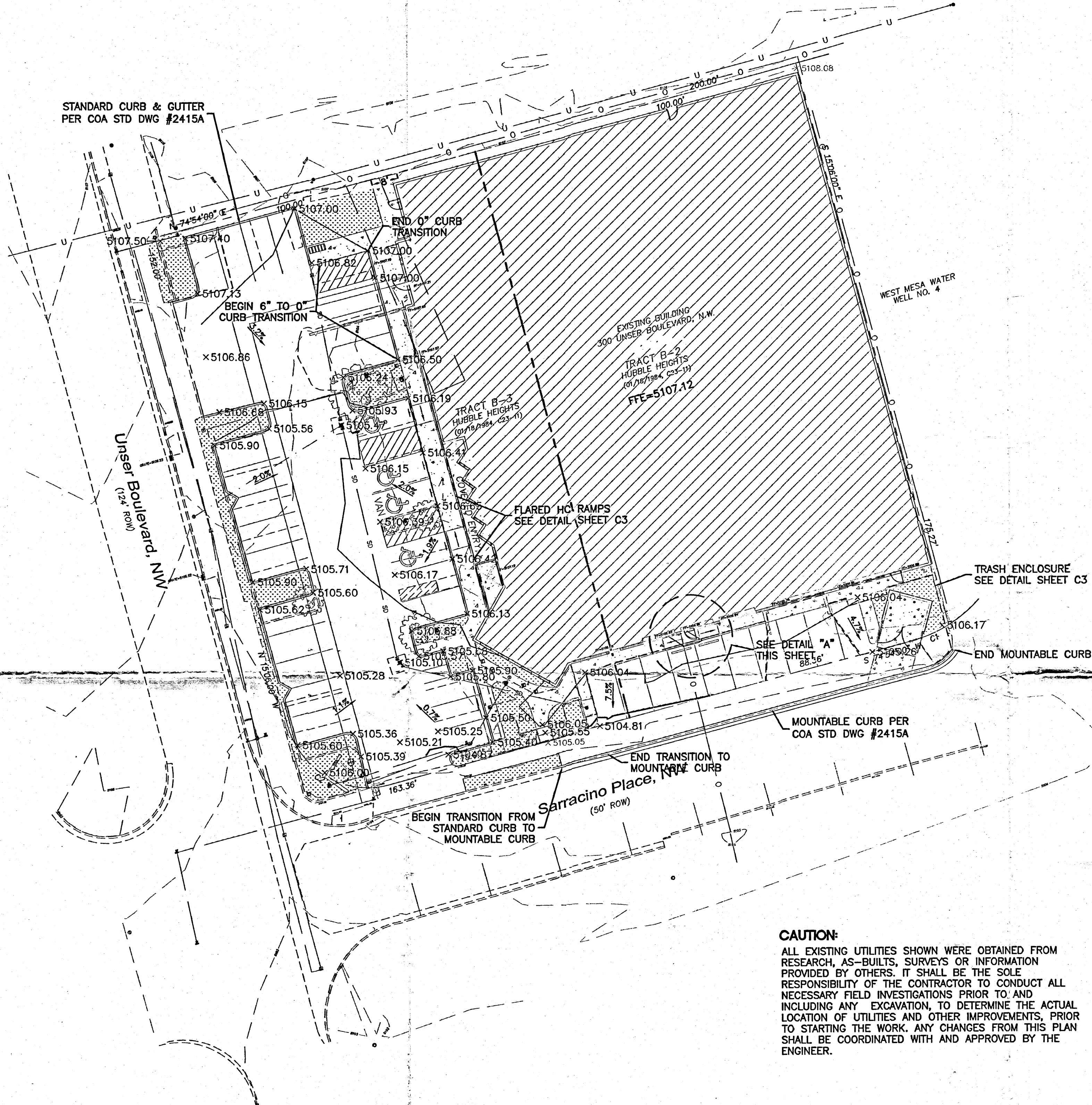
APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL

DATE

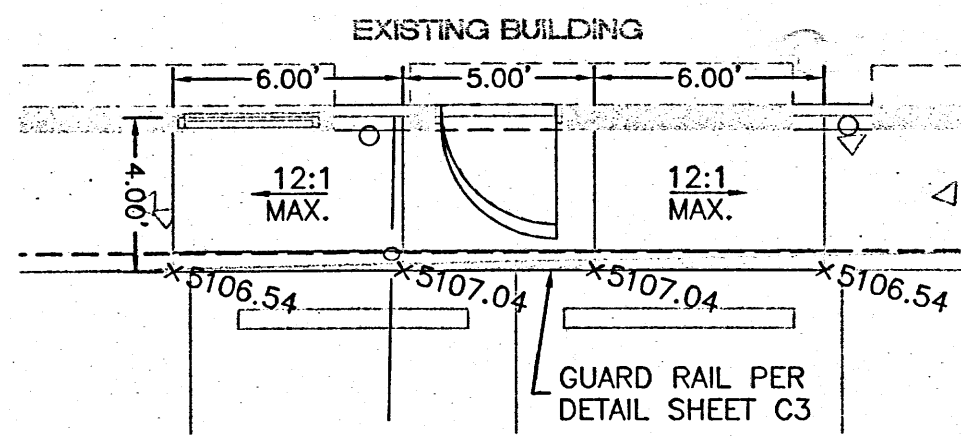
	ALBUQUERQUE RENAL CONSTRUCTION, LLC	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 7/11/12
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierwestllc.com	2012011-GRE
		SHEET # C2
		JOB # 2012011

RECEIVED
JAN 14 2015
LAND DEVELOPMENT SECTION



LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION
	FLOW ARROW
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DPM Weighted E Method Precipitation Zone 1 - Albuquerque Renal Construction, LLC

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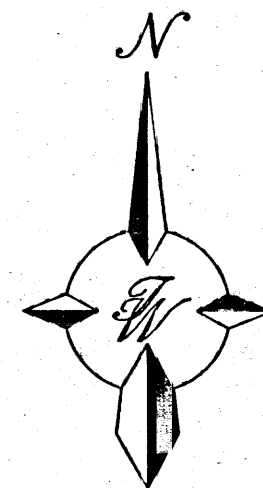
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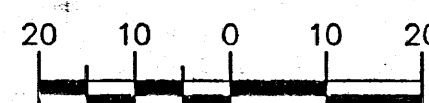
Weighted E = $E_p \cdot A_p + E_c \cdot A_c + E_s \cdot A_s + E_o \cdot A_o$ / (Total Area)

Volume = Weighted E * Total Area

Flow = $Q_p \cdot A_p + Q_c \cdot A_c + Q_s \cdot A_s + Q_o \cdot A_o$



GRAPHIC SCALE



LEGAL DESCRIPTION:

TRACTS B-2 AND B-3 HUBBELL HEIGHTS

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APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL

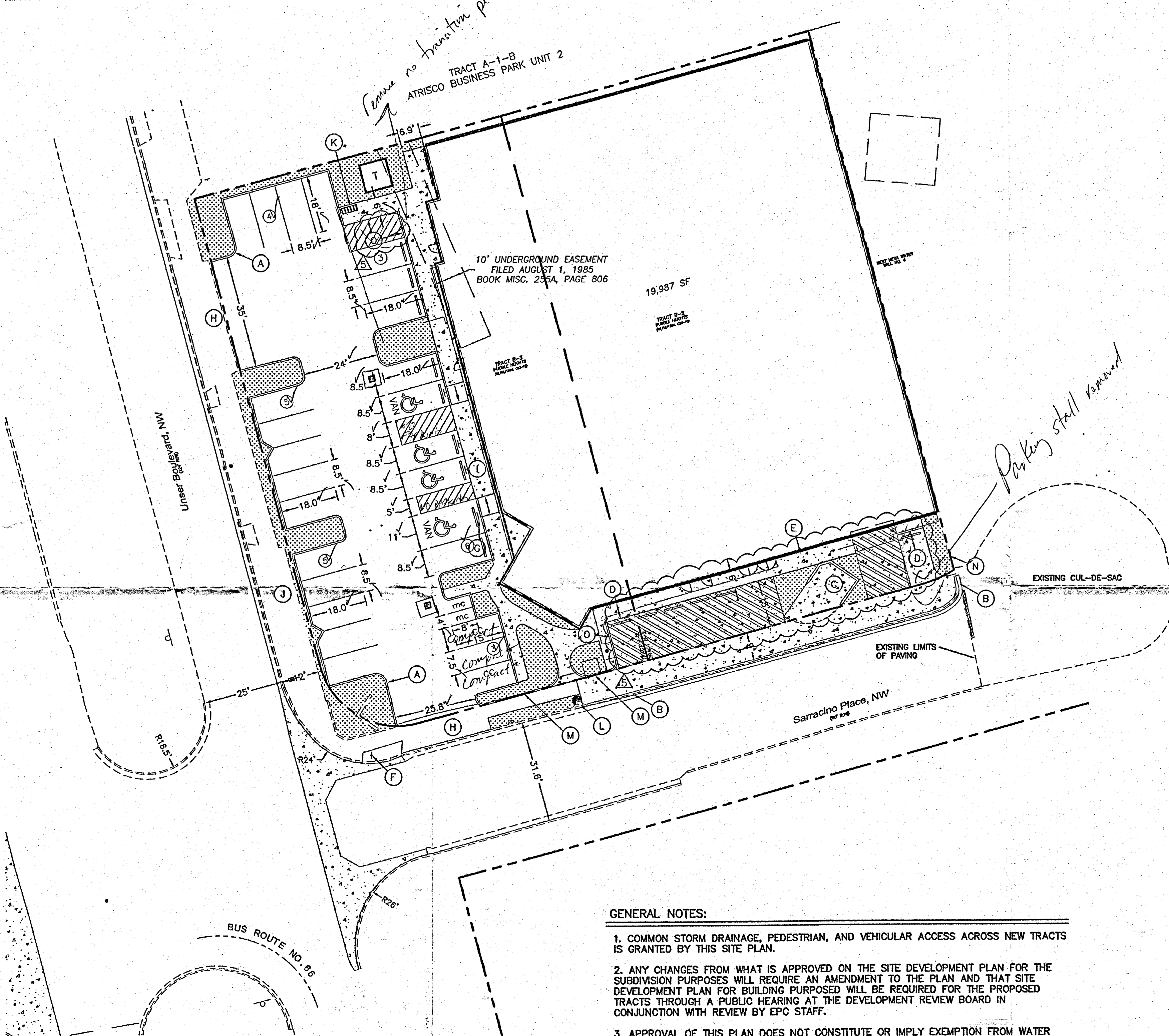
DATE

	ALBUQUERQUE RENAL CONSTRUCTION, LLC	DRAWN BY DY
	GRADING AND DRAINAGE PLAN	DATE 7/11/12
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.terrawestllc.com	20120111-GRE
		SHEET # C2
RONALD R. BOHANNAN P.E. #7868		JOB # 1101

JUL 11 2012

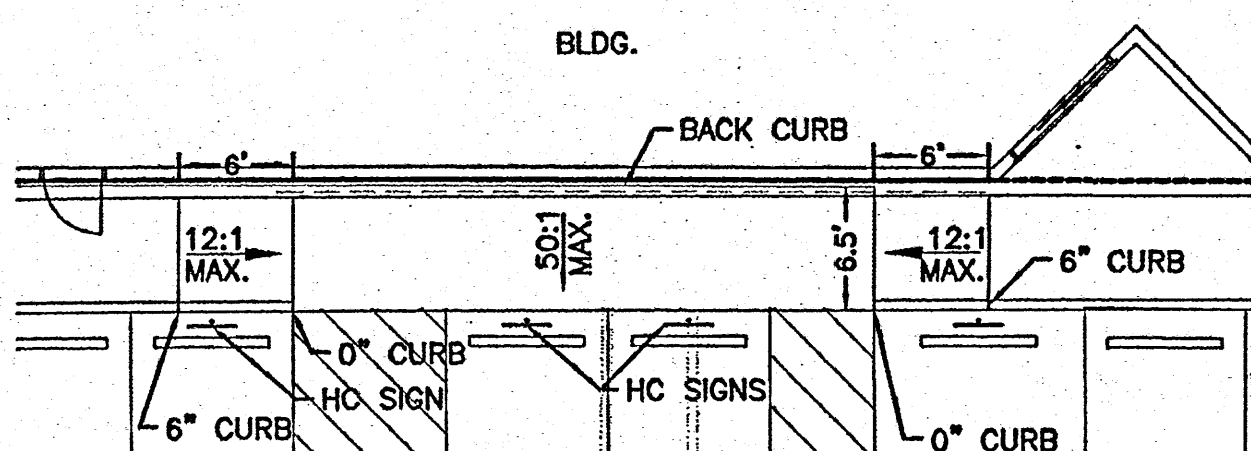
Curve Table

CURVE	RADIUS	ARC LENGTH	TANGENT	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	40.00'	11.81'	5.35'	16°35'15"	N 66°26'47" E	11.77'
C2	25.00'	39.27'	25.00'	90°00'10"	S 60°05'36" E	35.36'



GENERAL NOTES:

- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN.
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE. WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- THERE SHALL BE NO BACKLIT, PLASTIC, OR VINYL AWNINGS OR ILLUMINATED PLASTIC BANDING ON SIGNAGE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- THERE ARE NO TRANSIT FACILITIES ADJACENT TO OR WITHIN CLOSE PROXIMITY TO THE SITE.

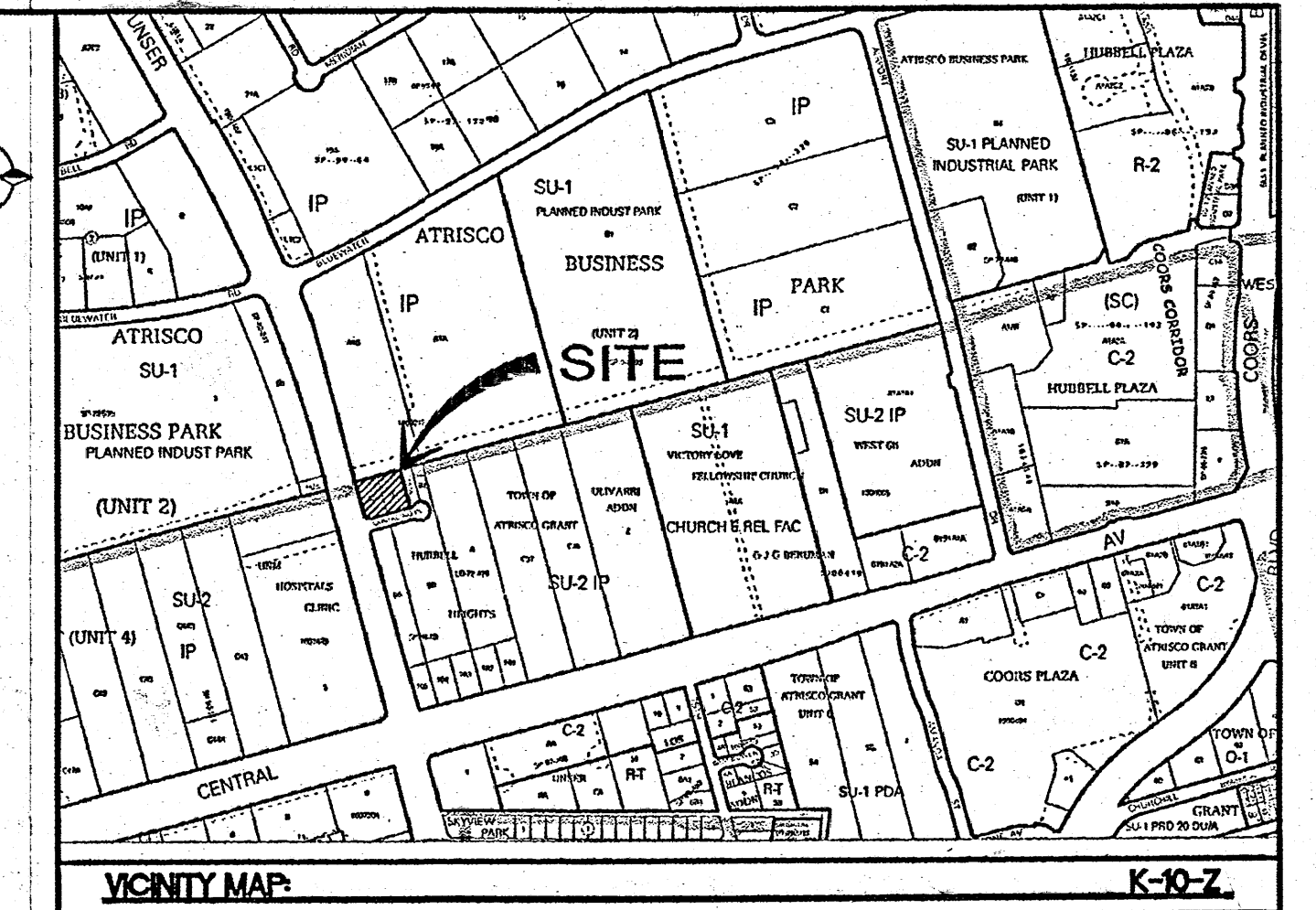
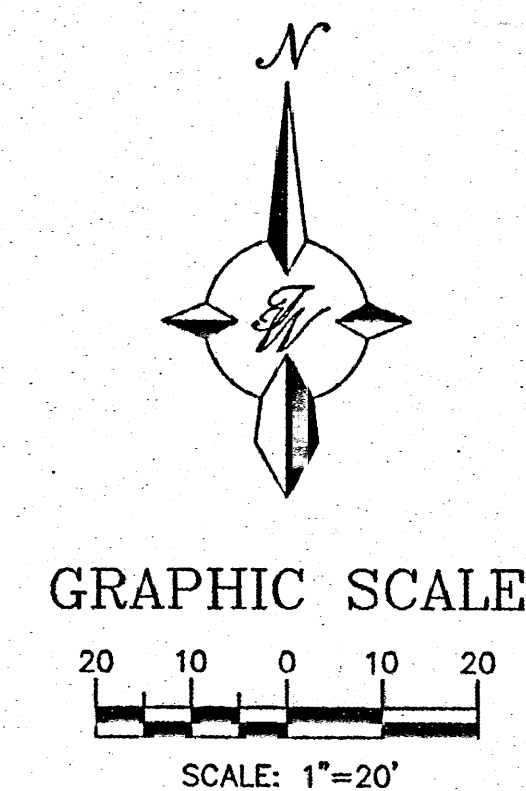
DETAIL "C"
SC: 1"=10'

LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	SCREEN WALL
	RETAINING WALL
	STREET LIGHTS
	LANE
	STRIPING
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING SIDEWALK
	EXISTING LANE
	EXISTING STRIPING
	LANDSCAPING

KEYED NOTE:

- STANDARD CURB PER COA STD DWG #2415A
- MOUNTABLE CURB ROLL TYPE PER COA STD DWG #2415A
- TRASH ENCLOSURE PER DETAIL SHEET C4
- ZERO CURB
- 6' CONCRETE SIDEWALK
- EXISTING STOP SIGN
- HANDICAP PARKING SIGN PER DETAIL SHEET C4
- EXISTING INGRESS/EGRESS TO REMAIN
- ADA RAMP SEE DETAIL "C" THIS SHEET & SHEET C4
- CLOSE EXISTING CURB-CUT
- NEW BIKE RACK
- NEW FIRE HYDRANT
- 6" HEADER CURB
- EXISTING RETAINING WALL TO REMAIN
- ZERO TO 6" CURB TRANSITION, PAINTED YELLOW



VICINITY MAP

LEGAL DESCRIPTION:

TRACTS B-2 AND B-3 HUBBELL HEIGHTS
300 UNSER BOULEVARD NW, ALBUQUERQUE NM, 87121

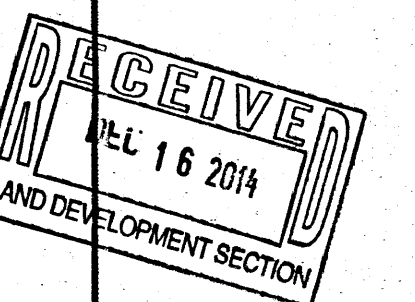
SITE DATA

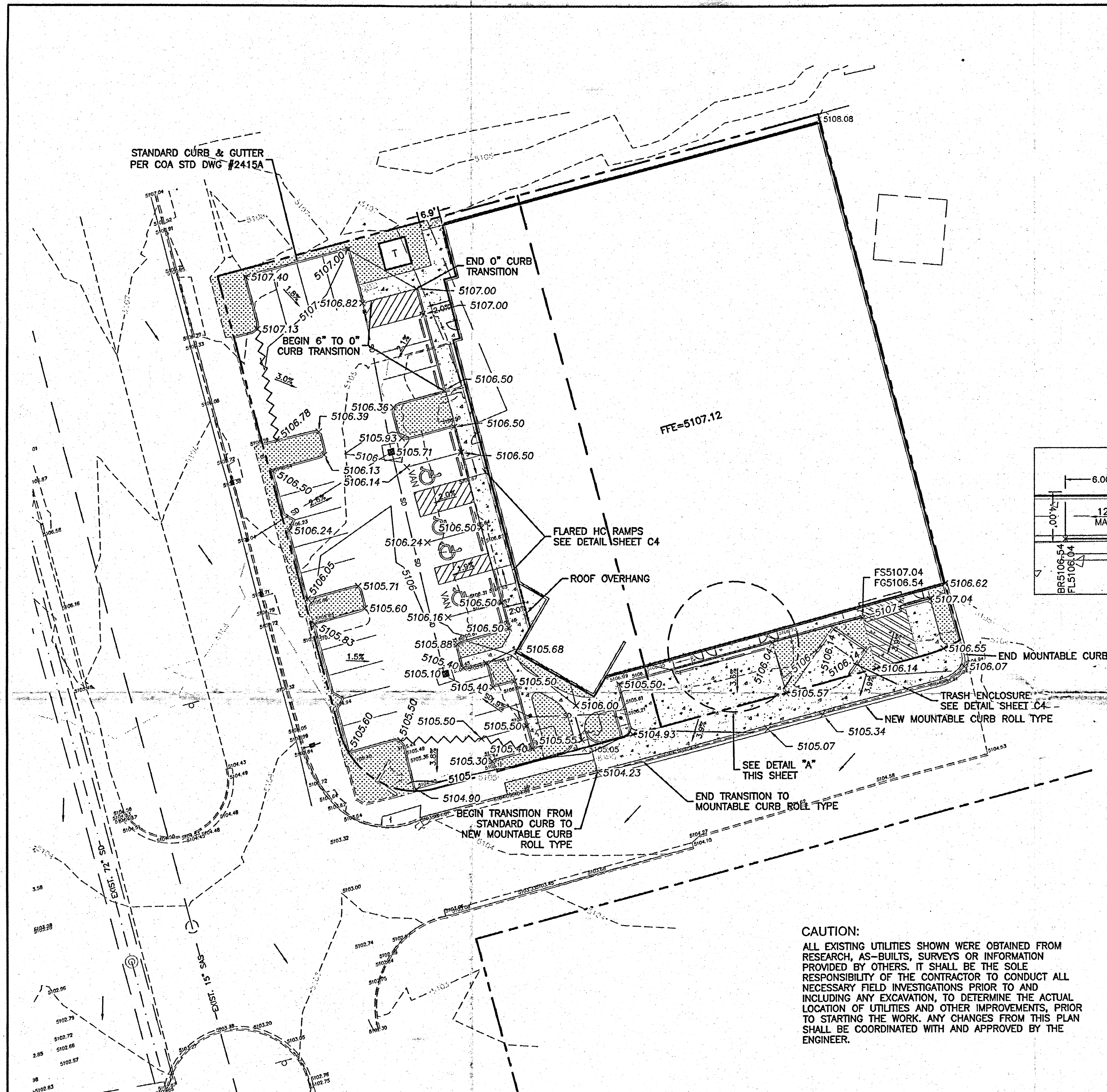
PROPOSED USAGE:	MEDICAL OFFICE
LOT AREA:	35,259 SF (0.81 ACRE)
BUILDING AREA:	19,987 SF
MEDICAL OFFICE:	5 SPACES (5 SPACES PER DOCTOR @ 1 DOCTORS)
PARKING REQUIRED:	5 SPACES (1 SPACE PER 2,000 SF @ 11,447 SF)
TOTAL PARKING REQUIRED:	10 SPACES
PARKING PROVIDED:	26 SPACES
HC PARKING REQUIRED:	1 SPACES
HC PARKING PROVIDED:	4 SPACES
MC PARKING REQUIRED:	1 SPACES
MC PARKING PROVIDED:	2 SPACES
BICYCLE PARKING REQUIRED:	2 SPACES
BICYCLE PARKING PROVIDED:	5 SPACES
LANDSCAPE AREA REQUIRED:	2,315 SF
LANDSCAPE AREA PROVIDED:	2,414 SF

INDEX TO DRAWINGS

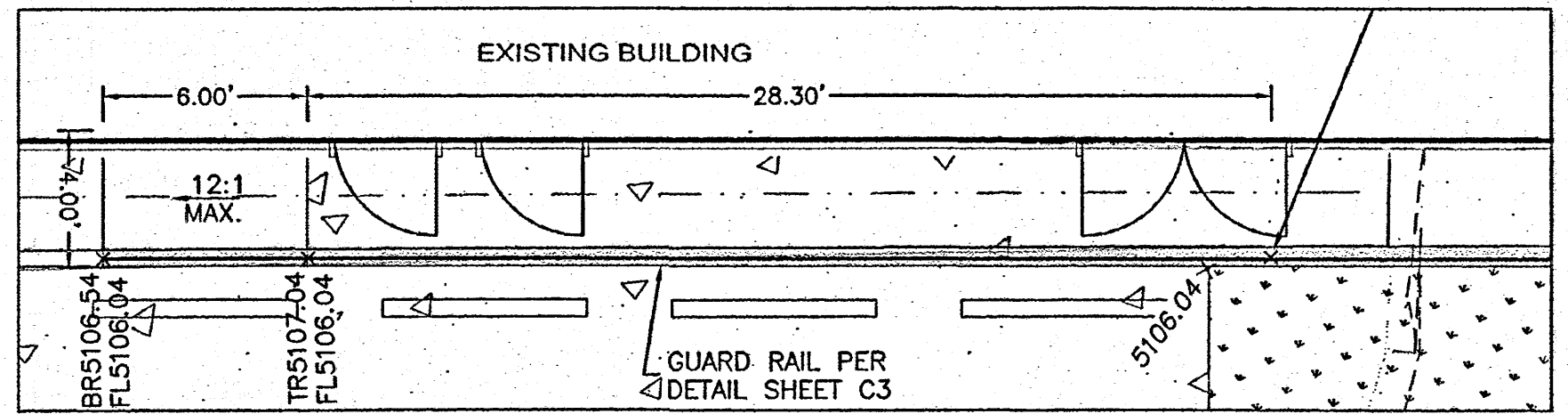
- SITE PLAN FOR BUILDING PERMIT
- GRADING AND DRAINAGE PLAN
- MASTER UTILITY PLAN
- DETAIL SHEET
- DEMOLITION PLAN
- LANDSCAPING PLAN

2/12/14	CHANGE TO 6" SW, DELETE RAMP & RAILING	PE
1/06/14	RTUS & ROOF ACCESS LADDER	PE
11/05/13	DUMPSTER ENCLOSURE GATE	PE
11/01/13	WEST WALL REPAIR	PE
10/10/13	CONSTRUCTION ISSUE SET	PE
NO.	DATE	REMARKS
REVISIONS		
ENGINEER'S SEAL		DRAWN BY
ABQ RENAL CONSTRUCTION, LLC		DATE
SITE PLAN FOR BUILDING PERMIT		2012011-SPE
TERRA WEST, LLC		SHEET #
5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com		C1
RONALD R. BOHANNAN P.E. #7868		JOB #
		2012011





- LEGEND**
- | | | | |
|--|-------------------------|----|------------------|
| | CURB & GUTTER | FL | FLOW LINE |
| | BOUNDARY LINE | TR | TOP OF RAMP |
| | EASEMENT | BR | BOTTOM OF RAMP |
| | CENTERLINE | TL | TOP OF LANDING |
| | RIGHT-OF-WAY | FS | FINISHED SURFACE |
| | BUILDING | FG | FINISHED GRADE |
| | SIDEWALK | | |
| | SCREEN WALL | | |
| | RETAINING WALL | | |
| | CONTOUR MAJOR | | |
| | CONTOUR MINOR | | |
| | SPOT ELEVATION | | |
| | FLOW ARROW | | |
| | EXISTING CURB & GUTTER | | |
| | EXISTING BOUNDARY LINE | | |
| | EXISTING CONTOUR MAJOR | | |
| | EXISTING CONTOUR MINOR | | |
| | EXISTING SPOT ELEVATION | | |
| | WATER BLOCK | | |



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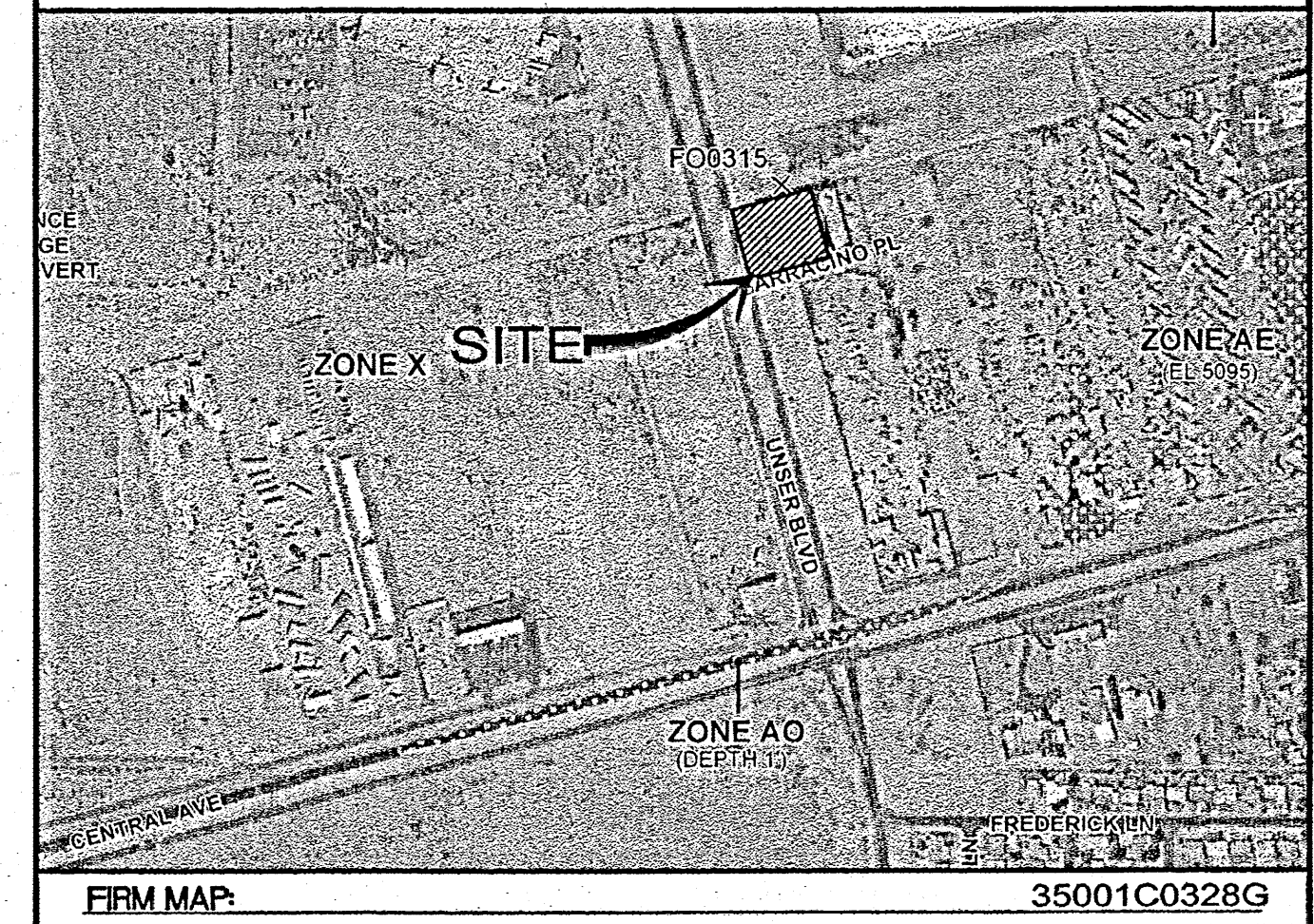
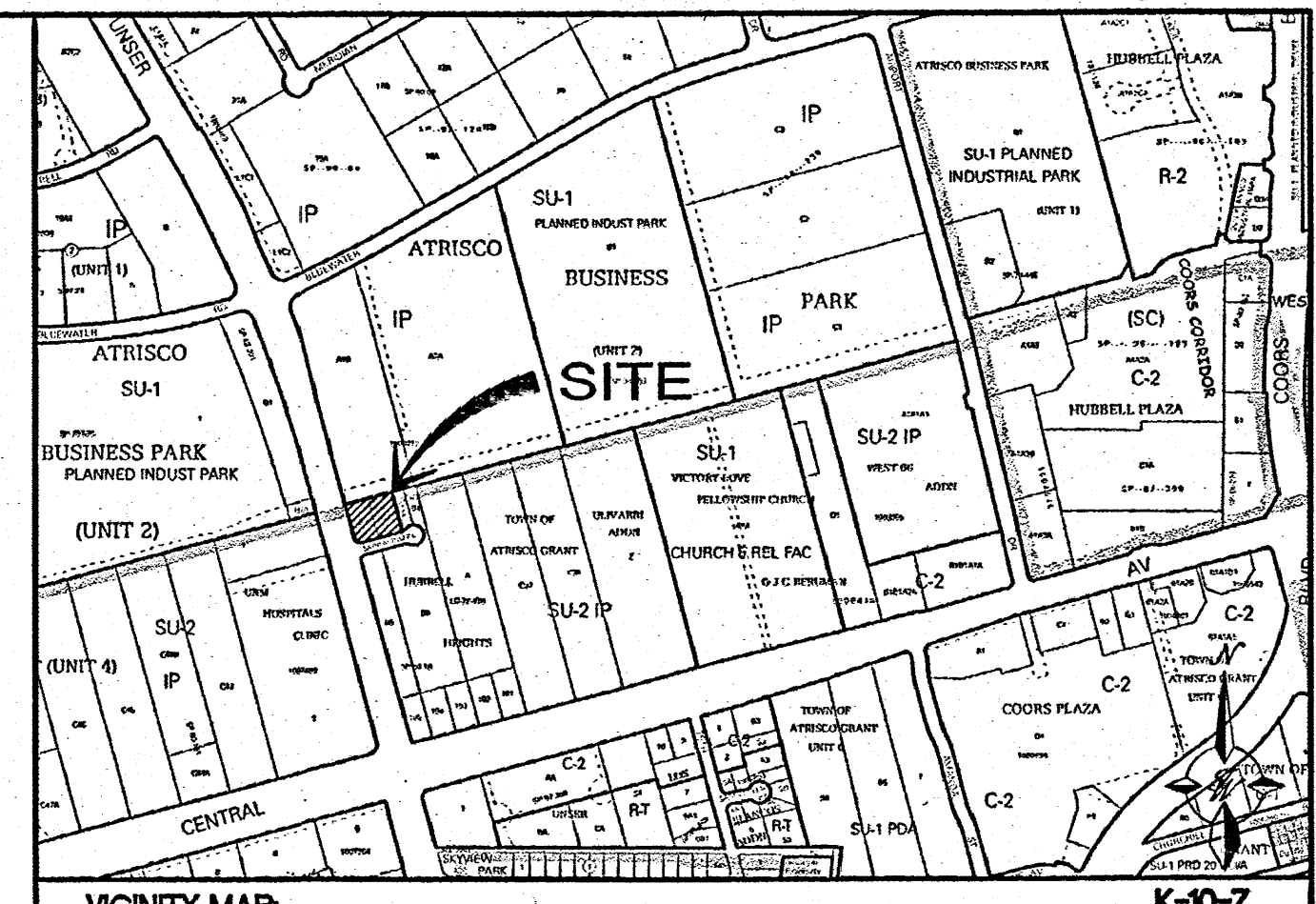
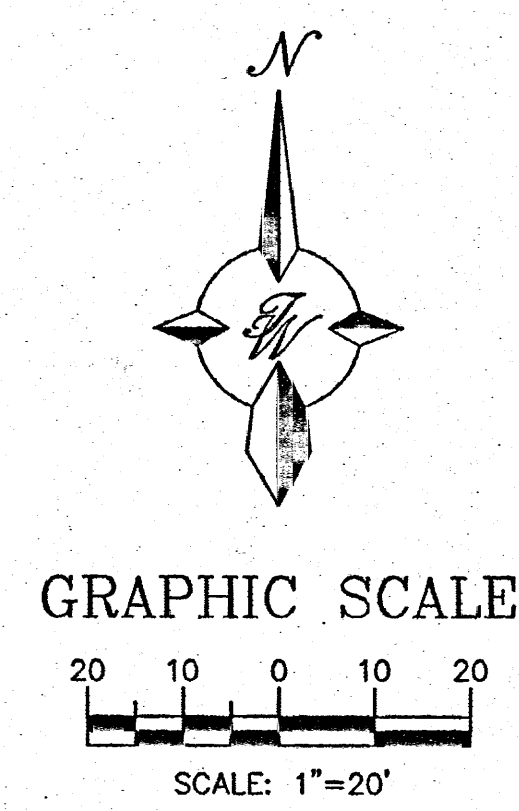
CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

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Pervious	2,388.8	0.055	0.00009	0%	0%	100%	0%	0.054839	0.005	0.16	0.440	0.002	0.08	0.120
Total	35,262.1	0.810	0.00126					0.990	0.128	3.46	0.080	2.26	0.048	1.30

Notes:
Equations:
Weighted E = E₁*A₁ + E₂*A₂ + E₃*A₃ + E₄*A₄ / (Total Area)
Volume = Weighted E * Total Area
Flow = Q₁*A₁ + Q₂*A₂ + Q₃*A₃ + Q₄*A₄



LEGAL DESCRIPTION:

TRACTS B-2 AND B-3 HUBBELL HEIGHTS

NOTES:

- GRADES ON CURB LINE ARE TO FLOWLINE UNLESS OTHERWISE SPECIFIED.
- ADJUST DROP INLET GRATE ELEVATIONS PER PLAN.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

ROUGH GRADING APPROVAL _____ DATE _____

	ABQ RENAL CONSTRUCTION, LLC GRADING AND DRAINAGE PLAN	DRAWN BY DY	
		DATE 11/08/13	
		2012011-GRE	
		SHEET # C2	
		JOB # 2012011	

