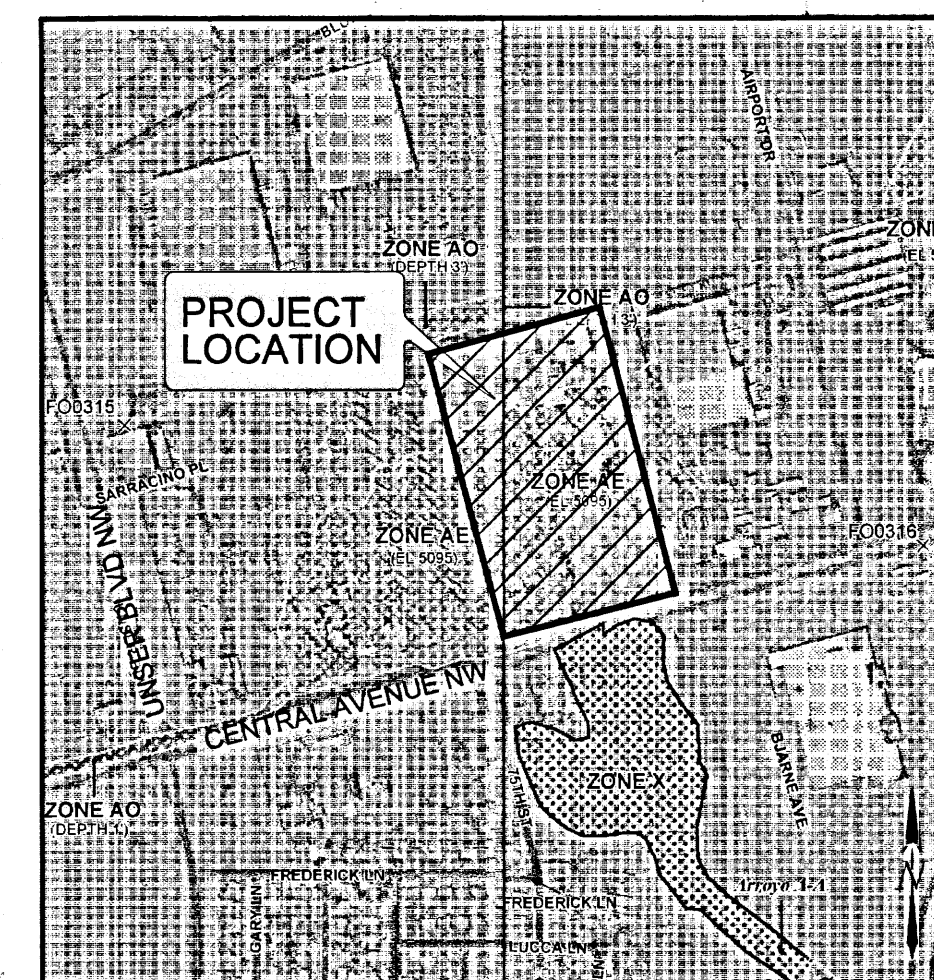
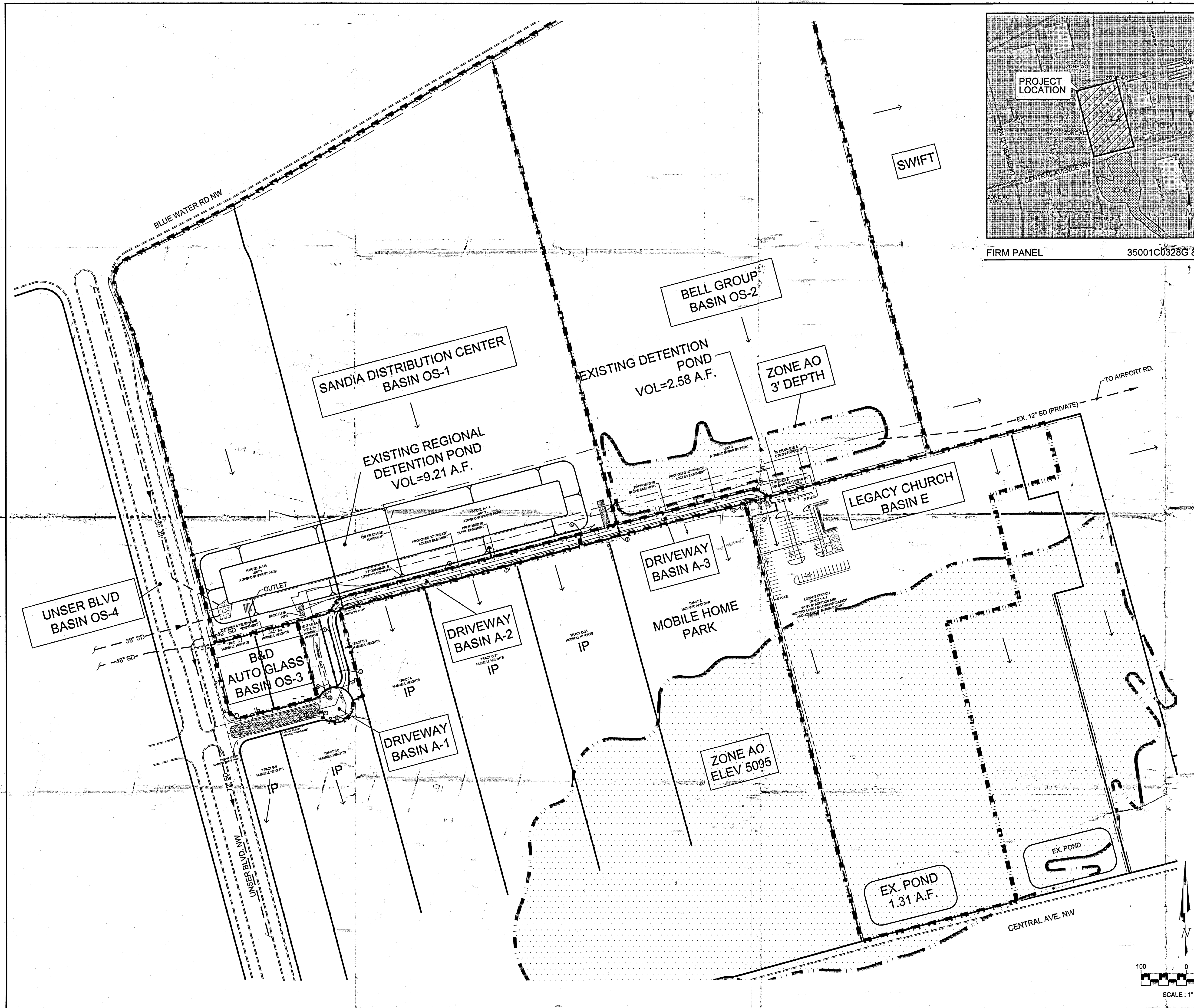
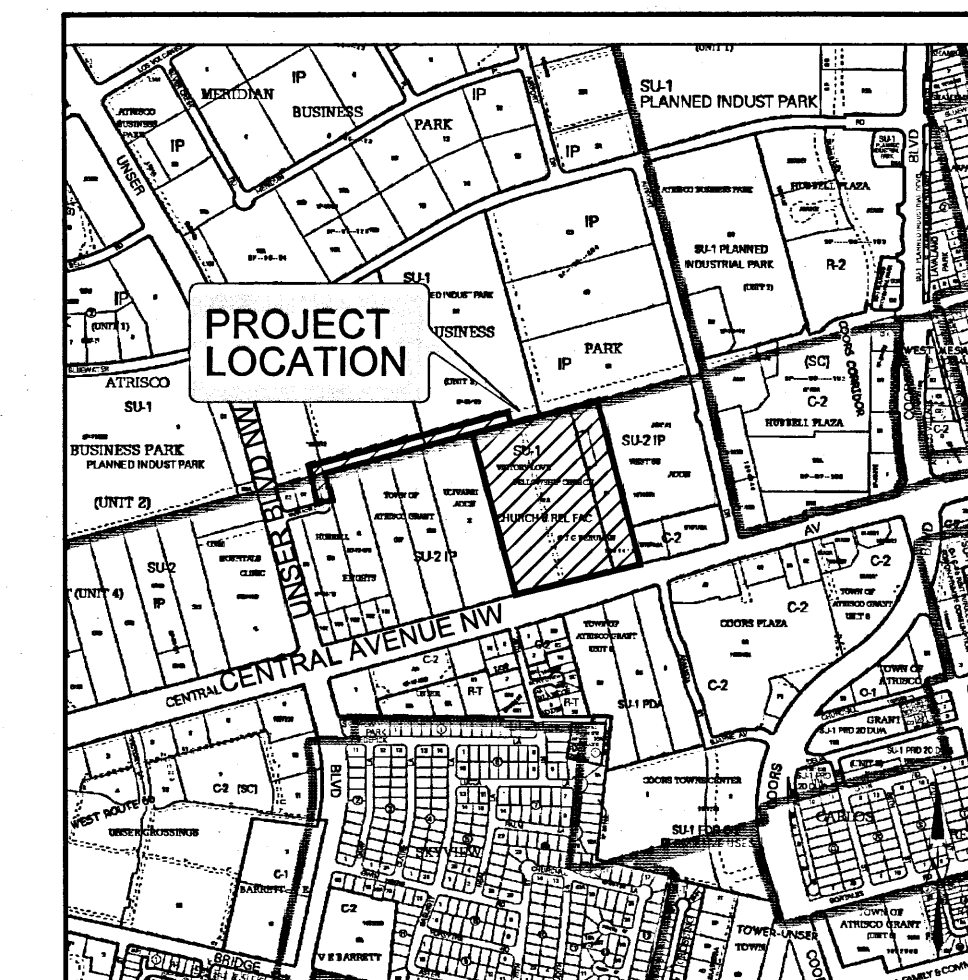




FIRM PANEL 35001C0328G & C0329G



VICINITY MAP ZONE ATLAS K-10-Z

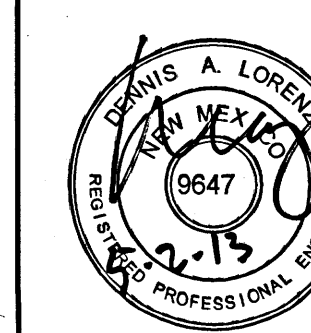
LEGEND

ITEM	EXISTING	PROPOSED
CENTERLINE	---	---
EX. EDGE OF PAVING	---	---
PROPERTY LINE	---	---
SPOT ELEVATION	× 75.5	01.5 ◆
RIP-RAP ROCK	▨	▨
CONTOUR W/ ELEVATION	--- 5800 ---	--- 5800 ---
ASPHALT PAVING	▨	▨
DIRECTION OF FLOW	→	→
DRAINAGE SWALE	---	---
FLOODPLAIN BOUNDARY	▨	▨
FLOODPLAIN BOUNDARY	▨	▨

DRAINAGE PLAN NOTES

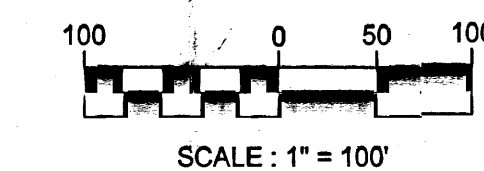
1. BLI recommends that the Owner obtain a Geotechnical Evaluation of the on-site soils prior to foundation/structural design.
2. This Plan recommends positive drainage away from all structures to prohibit ponding of runoff which may cause structural settlement. Future alteration of grades adjacent to the proposed structures is not recommended.
3. Irrigation within 10 feet of any proposed structure is not recommended. Introduction of irrigation water into subsurface soils adjacent to the structure could cause settlement.
4. This Plan is prepared to establish on-site drainage and grading criteria only. BLI assumes no responsibility for subsurface analysis, foundation/structural design, or utility design.
5. Local codes may require all footings to be placed in natural undisturbed soil. If the Contractor plans to place footings on engineered fill, a certification by a registered Professional Engineer will be required. If the contractor wishes BLI to prepare the Certification, we must be notified PRIOR to placement of the fill.
6. BLI recommends that the Owner obtain the services of a Geotechnical Engineer to test and inspect all earthwork aspects of the project.
7. The property boundary shown on this Plan is given for information only to describe the project limits. Property boundary information shown hereon does not constitute a boundary survey. A boundary survey performed by a licensed New Mexico Registered Professional Surveyor is recommended prior to construction.
8. All spot elevations are top of pavement unless noted otherwise.

LEGACY CHURCH WEST ACCESS ROADWAY DRAINAGE PLAN



BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: J.M.T.	DATE: 05/01/2013
CHECKED BY: D.A.L.	SHEET: AA G&D
FILE: 10530 AA	



RECEIVED
FEC 04 2013

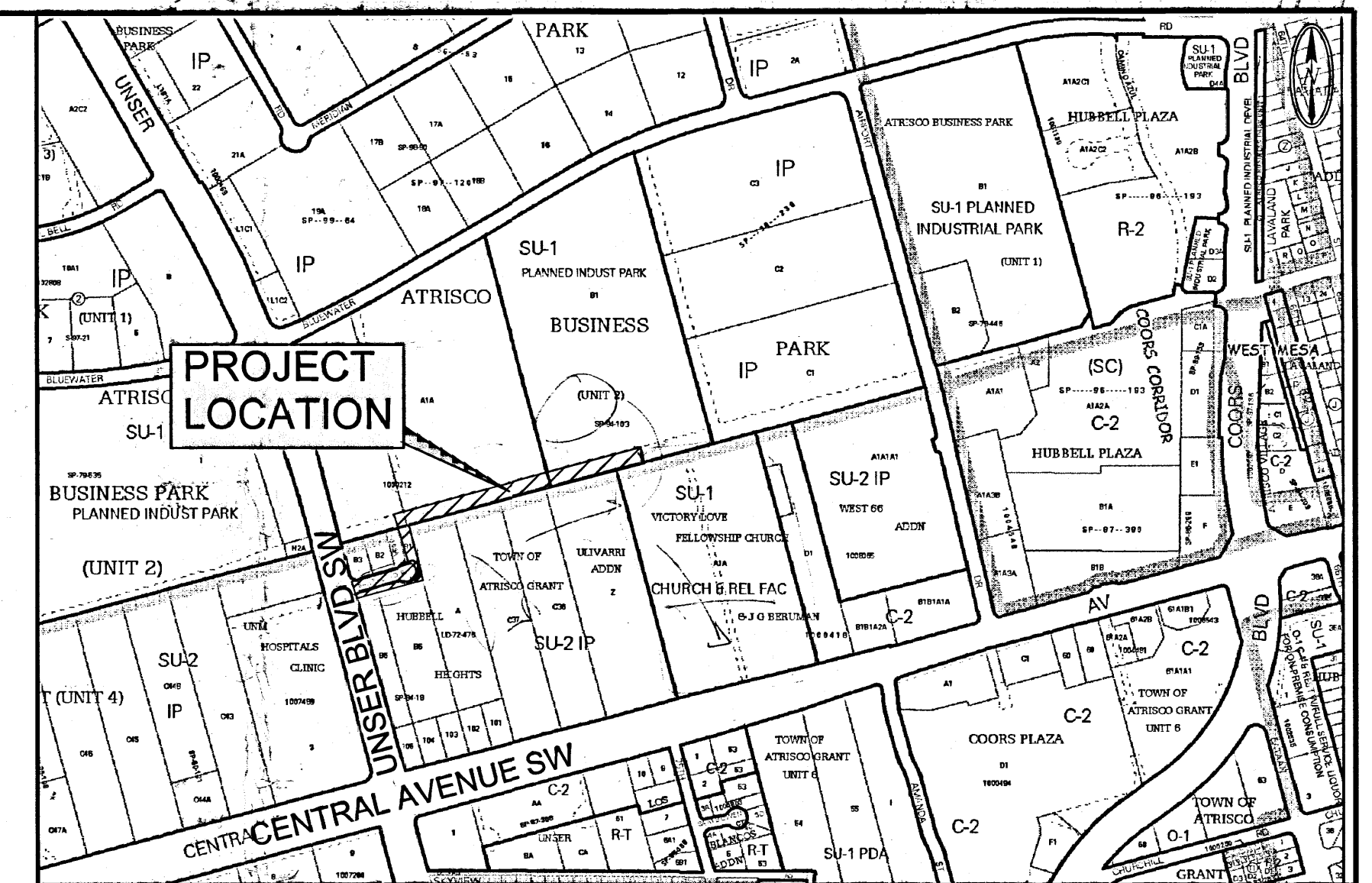
LEGACY CHURCH

CONSTRUCTION PLANS FOR WEST ACCESS ROADWAY IMPROVEMENTS ALBUQUERQUE, NEW MEXICO

MAY 2013

DRAWING INDEX

SHEET TITLE	SHEET
COVER	1
TOPOGRAPHIC SURVEY	2
ROADWAY SITE PLAN	3
ROADWAY PLAN AND PROFILE	4
ROADWAY PLAN AND PROFILE	5
DETAILS	6
DETAILS	7
SIGNAGE & STRIPING PLAN	8



VICINITY MAP: K-10-Z

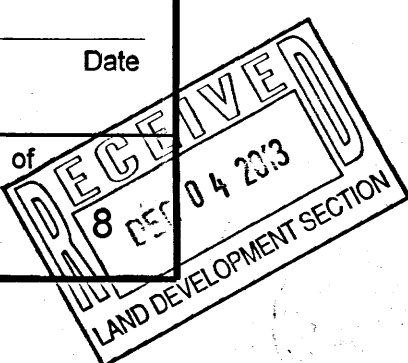
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GENERAL NOTES:

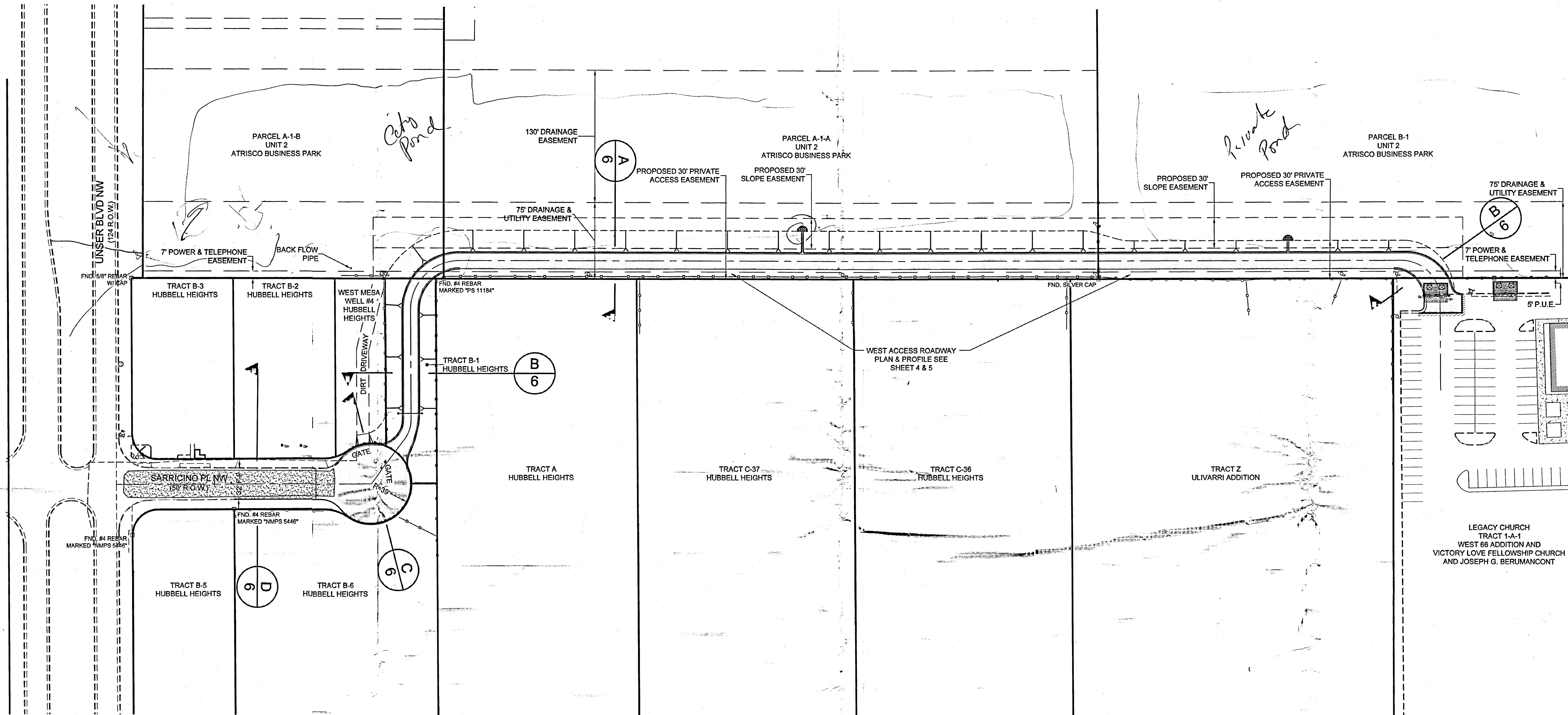
1. CITY OF ALBUQUERQUE SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS AMENDED THROUGH UPDATE 8, WILL BE REFERRED TO HEREIN AS THE "STANDARD SPECIFICATIONS." ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
2. THREE WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (280-1990) AND DETERMINE LOCATION OF EXISTING UTILITIES.
3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR THE SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITHOUT DELAY.
4. ALL EXISTING SIGNS, MARKERS, DELINEATORS, ETC., WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, STORED AND RE-SET BY THE CONTRACTOR.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER NOT LESS THAN SEVEN (7) WORKING DAYS PRIOR TO STARTING WORK IN ORDER THAT THE ENGINEER MAY TAKE NECESSARY MEASURES TO INSURE THE PRESERVATION OF SURVEY MONUMENTS. THE CONTRACTOR SHALL NOT DISTURB PERMANENT SURVEY MONUMENTS WITHOUT THE CONSENT OF THE ENGINEER AND BEAR THE EXPENSE OF REPLACING ANY THAT MAY BE DISTURBED WITHOUT PERMISSION. REPLACEMENT SHALL BE DONE ONLY BY THE CITY SURVEYOR. WHEN A CHANGE IS MADE IN THE FINISHED ELEVATIONS OF THE PAVEMENT OF ANY ROADWAY IN WHICH A PERMANENT SURVEY MARKER IS LOCATED, CONTRACTOR SHALL, AT HIS OWN EXPENSE, ADJUST THE MONUMENT COVER TO THE NEW GRADE UNLESS OTHERWISE SPECIFIED. REFER TO SECTION 4.4 OF THE GENERAL CONDITIONS OF THE STANDARD SPECIFICATIONS.
6. FIVE (5) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO (2) WORKING DAYS PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (924-3400) PRIOR TO OCCUPYING AN INTERSECTION. REFER TO SECTION 19 OF THE STANDARD SPECIFICATIONS.
7. ANY WORK OCCURRING WITHIN AN ARTERIAL ROADWAY REQUIRES 24 HOUR CONSTRUCTION.
8. ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
9. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED BY THE CONTRACTOR WITH HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING. ALL NEW STRIPING SHALL BE HOT THERMOPLASTIC REFLECTORIZED PAVEMENT MARKING.
10. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO EXISTING PAVEMENTS, PAVEMENT MARKINGS, CURB AND GUTTER, DRIVEPADS, WHEELCHAIR RAMPS AND SIDEWALKS DURING CONSTRUCTION, APART FROM THOSE SECTIONS INDICATED FOR REMOVAL ON THE PLANS AND SHALL REPAIR OR REPLACE PER THE STANDARD SPECIFICATIONS AT HIS OWN EXPENSE.
11. EXISTING UTILITY LINES AND PIPELINES SHOWN ON THESE DRAWINGS ARE SHOWN IN APPROXIMATE LOCATIONS ONLY. UTILITIES MAY EXIST WHERE NONE ARE SHOWN. THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE OR TYPE OF EXISTING UTILITY LINES AND PIPELINES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR DAMAGE CAUSED BY FAILURE TO LOCATE AND PRESERVE EXISTING UTILITY LINES AND PIPELINES.
12. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
13. THE CONTRACTOR SHALL ASSIST THE ENGINEER/INSPECTOR IN THE RECORDING OF DATA ON ALL UTILITY LINES AND ACCESSORIES AS REQUIRED BY THE OWNERS FOR THE PREPARATION OF "RECORD DRAWINGS." THE CONTRACTOR SHALL NOT COVER UTILITY LINES AND ACCESSORIES UNTIL ALL DATA HAS BEEN RECORDED.
14. ALL CONSTRUCTION WITHIN CITY RIGHT-OF-WAY OR EASEMENTS MUST BE DONE FROM APPROVED WORK ORDER DOCUMENTS FROM THE CITY AND PREPARED BY BRASHER AND LORENZ, INC.
15. THE CONTRACTOR SHALL DETERMINE IN ADVANCE OF HIS CONSTRUCTION IF OVERHEAD UTILITY LINES, SUPPORT STRUCTURES, POLES, GUYS, ETC. ARE AN OBSTRUCTION TO CONSTRUCTION OPERATIONS. IF ANY OBSTRUCTION TO CONSTRUCTION OPERATIONS IS EVIDENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE UTILITY OWNER TO REMOVE OR SUPPORT THE UTILITY OBSTRUCTION. ANY COST ASSOCIATED WITH THIS EFFORT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. THE CONTRACTOR IS TO SUPPORT AND MAINTAIN THE INTEGRITY OF ALL UNDERGROUND TELEPHONE, ELECTRIC CABLES AND CABLE TELEVISION UTILITIES AT NO ADDITIONAL COST THE OWNER. CABLE IS TO BE SUPPORTED EVERY 15 FEET (MINIMUM). CONTRACTOR SHALL COORDINATE WITH AND MAKE NECESSARY PAYMENT (IF ANY) TO UTILITY OWNER FOR DE-ENERGIZATION OF CABLES OR SUPPORT OF CABLES BY THE UTILITY OWNER.
17. FOR STORM DRAIN CONSTRUCTION, RCP PIPE JOINTS SHALL NOT BE GROUTED PRIOR TO FINAL INSPECTION. FINAL INSPECTION WILL DETERMINE JOINTS TO BE GROUTED FOR FINAL ACCEPTANCE OF THE CONSTRUCTION.
18. ALL EXCAVATION, TRENCHING, AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.

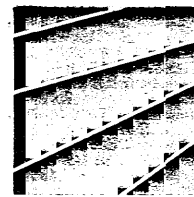
BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro Blvd. NE Bldg. 1, Suite 1200
Albuquerque, New Mexico 87110
Phone: (505) 898-6088 Fax: (505) 898-6188

REV.	SHEETS	CITY ENGINEER	DATE	USER DEPARTMENT	DATE	USER DEPARTMENT	DATE
ENGINEER'S STAMP & SIGNATURE		APPROVALS		ENGINEER	DATE	APPROVED FOR CONSTRUCTION	
		DRC Chair				City Engineer _____ Date _____	
		Transportation					
		Water/Wastewater					
		Hydrology					
		CIP					
		Constr. Mgmt.					
		Constr. Coord.					
		City Project No.				Zone Map No. _____ Sheet _____	
						K-10-Z	



LEGACY CHURCH





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CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

JOB NO.: 10530 CONSTRUCTION

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE:
LEGACY CHURCH
WEST ACCESS ROADWAY SITE PLAN

Design Review Committee

City Engineer Approval

Mo./Day/Yr

Mo./Day/Yr

City Project No.

Zone Map No.
K-10-Z

Sheet
3

REVISIONS

DESIGN

DATE 4/19/2013

DATE 4/19/2013

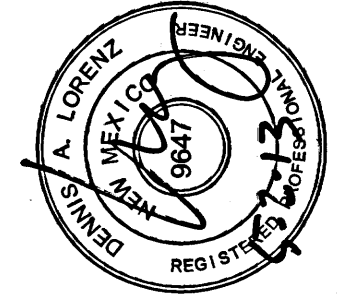
DATE 5/2/2013

DESIGNED BY DAL

DRAWN BY JMT

CHECKED BY DAL

ENGINEER'S SEAL



AS BUILT INFORMATION

CONTRACTOR

WORK

DESIGNED BY

DATE

FIELD

DATE

REVISIONS

DATE

CORRECTED BY

DATE

RECORDED BY

DATE

SURVEY INFORMATION

FIELD NOTES

NO.

BY

DATE

BENCH MARKS

ACS STATION "9-K10"

NAD 1983 NM CENTRAL ZONE

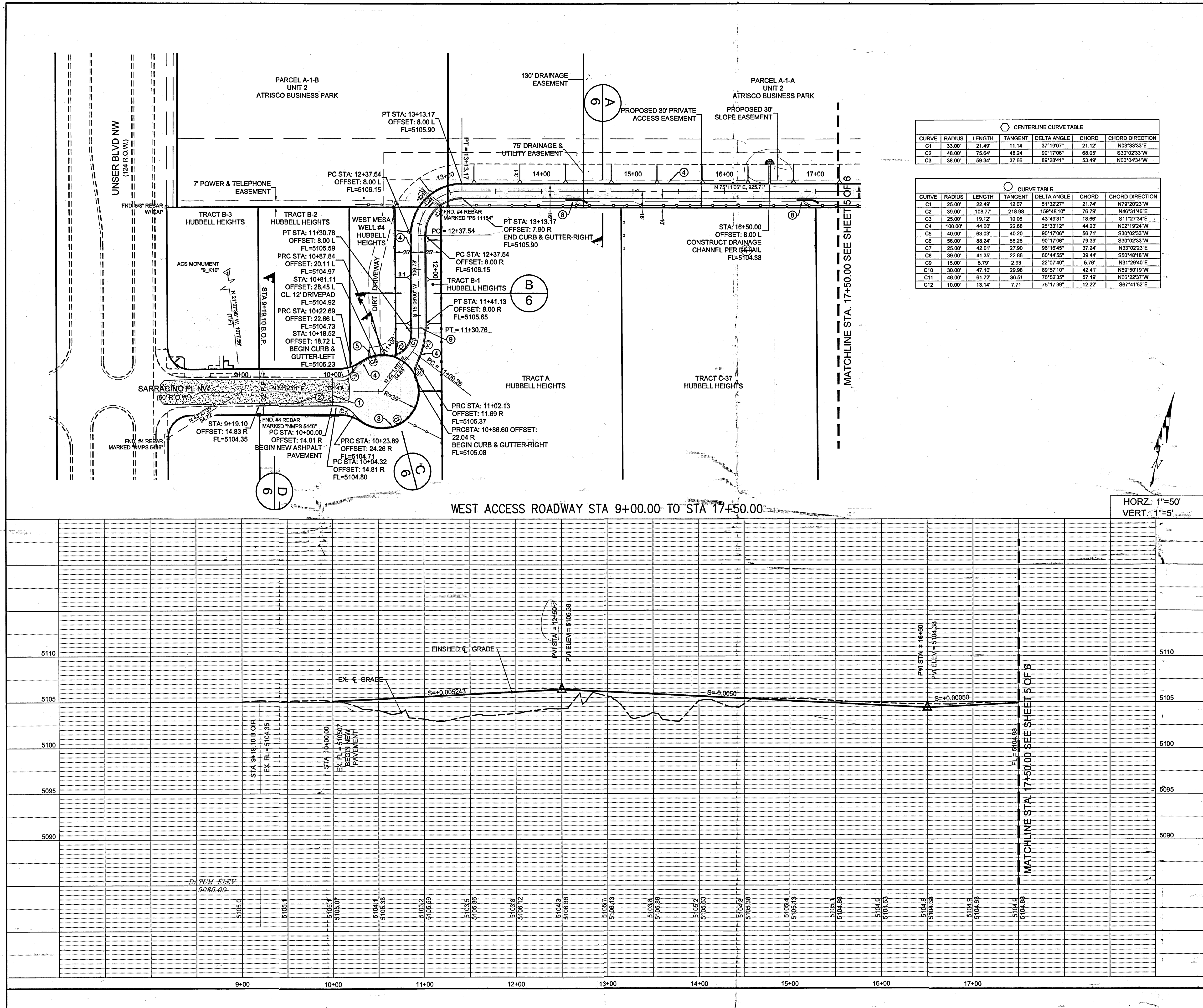
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ELEV. (NGVD 1988) 5117.720



CENTERLINE CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA ANGLE	CHORD	CHORD DIRECTION
C1	33.00'	21.49'	11.14	37°19'07"	21.12	N03°33'33"E
C2	48.00'	75.84'	48.24	90°17'06"	68.05	S30°02'33"W
C3	38.00'	59.34'	37.66	89°28'41"	53.49	N60°04'34"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA ANGLE	CHORD	CHORD DIRECTION
C1	25.00'	22.49'	12.07	51°32'27"	21.74	N79°20'23"W
C2	39.00'	108.77'	218.98	159°48'10"	76.79	N46°31'46"E
C3	25.00'	19.12'	10.06	43°49'31"	18.86	S11°27'34"E
C4	100.00'	44.60'	22.86	25°33'12"	44.23	N02°19'24"W
C5	40.00'	63.03'	40.20	90°17'06"	56.71	S30°02'33"W
C6	56.00'	88.24'	56.28	90°17'06"	79.39	S30°02'33"W
C7	25.00'	42.01'	27.90	96°16'45"	37.24	N33°02'23"E
C8	39.00'	41.35'	22.86	60°44'55"	39.44	S60°48'18"W
C9	15.00'	5.79'	2.93	22°07'40"	5.76	N31°29'40"E
C10	30.00'	47.10'	29.98	89°57'10"	42.41	N89°50'15"W
C11	46.00'	61.72'	36.51	76°52'35"	57.19	N65°22'33"W
C12	10.00'	13.14'	7.71	75°17'39"	12.22	S67°41'52"E

LEGEND:

ROW LINE
LOT LINE
PUBLIC UTILITY EASEMENT

PROPOSED **EXISTING**

ROW CENTER LINE
EDGE OF PAVEMENT
SUBDIVISION BOUNDARY
STANDARD CURB & GUTTER

TEMPORARY ASPHALT
ASPHALT TRANSITION
RIP RAP RUNDOFFS
SIDEWALK & HANDICAP RAMPS
FL SPOT ELEVATIONS

PAVING NOTES

1. ALL STATIONING IS BASED ON CENTERLINE OF ROADWAY UNLESS NOTED OTHERWISE.

2. SEE SHEET 7 FOR STRIPING AND SIGNAGE PLAN.

KEYED NOTES

1. SAW CUT EXISTING ASPHALT TO PROVIDE A STRAIGHT NEAT EDGE. APPLY TACK COAT AS NECESSARY.

2. INSTALL 8" AC CURB AT EDGE OF EXISTING PAVEMENT PER COA STD. DWG 2415 B.

3. INSTALL 8" AC CURB PER COA STD. DWG 2415 B.

4. CONSTRUCT 6 INCH CURB & GUTTER PER (E6).

5. STA 10+81.11 CONSTRUCT 12" CONCRETE DRIVEPAD PER COA STD. DWG 2425.

6. MODIFY EXISTING SPILLWAY SEE DETAIL (E7).

7. REMOVE & DISPOSE EXISTING REFUSE ENCLOSURE. SALVAGE GATES FOR NEW ENCLOSURE.

8. INSTALL GUARDRAIL AT EXISTING UTILITY POLE. SEE DETAIL (E7).

9. INSTALL 20' SWING GATE SEE DETAIL (E7).

AS BUILT INFORMATION

CONTRACTOR	DATE	BY	DATE	BY	DATE	BY	DATE	BY
WORK								
STAKED BY								
ACCEPTANCE BY								
FIELD NOTES BY								
DRAWINGS								
CORRECTED BY								
MICRO-FILM INFORMATION								
RECORDED BY								
DATE								

ENGINEER'S SEAL

NO. DATE REMARKS BY

DESIGNED BY DATE 3/7/2013

DRAWN BY DATE 3/7/2013

CHECKED BY DATE 3/7/2013

BRASHER & LORENZ
CONSULTING ENGINEERS

2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

JOB NO: 10530 CONSTRUCTION

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: LEGACY CHURCH
WEST ACCESS ROADWAY STA 9+00 TO STA 17+50

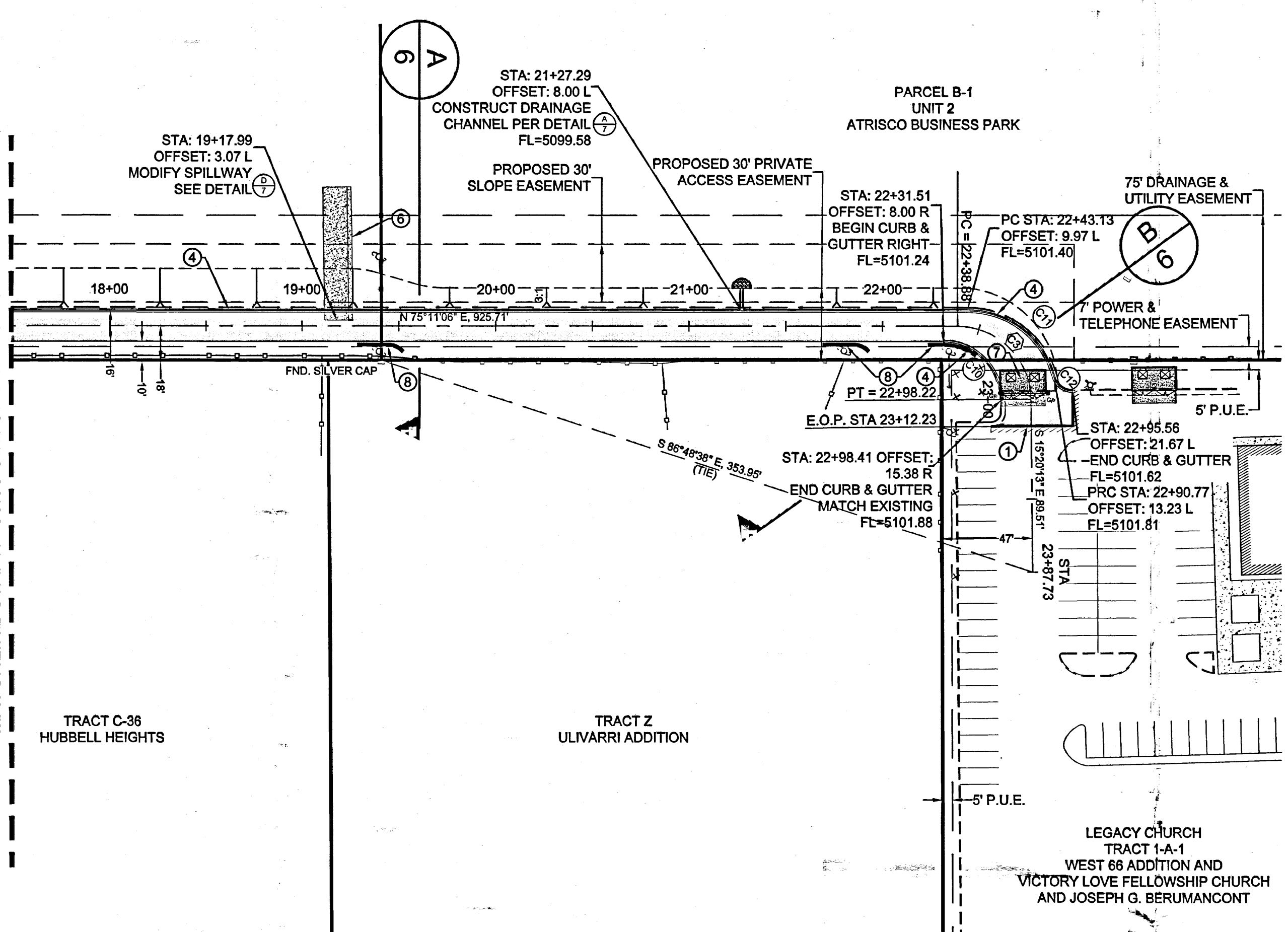
Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr

City Project No. Zone Map No. Sheet 4 of 8

K-10-Z



MATCHLINE STA. 17+50.00 SEE SHEET 4 OF 6



CENTERLINE CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA ANGLE	CHORD	CHORD DIRECTION
C1	33.00'	21.49'	11.14'	37°19'07"	21.12'	N03°33'33"E
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LEGEND:

ROW LINE
LOT LINE
PUBLIC UTILITY EASEMENT

PROPOSED **EXISTING**

ROW CENTER LINE
EDGE OF PAVEMENT
SUBDIVISION BOUNDARY
STANDARD CURB & GUTTER

TEMPORARY ASPHALT
ASPHALT TRANSITION
RIP RAP RUNDOWNS
SIDEWALK & HANDICAP RAMPS
FL SPOT ELEVATIONS

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2. SEE SHEET 7 FOR STRIPING AND SIGNAGE PLAN.

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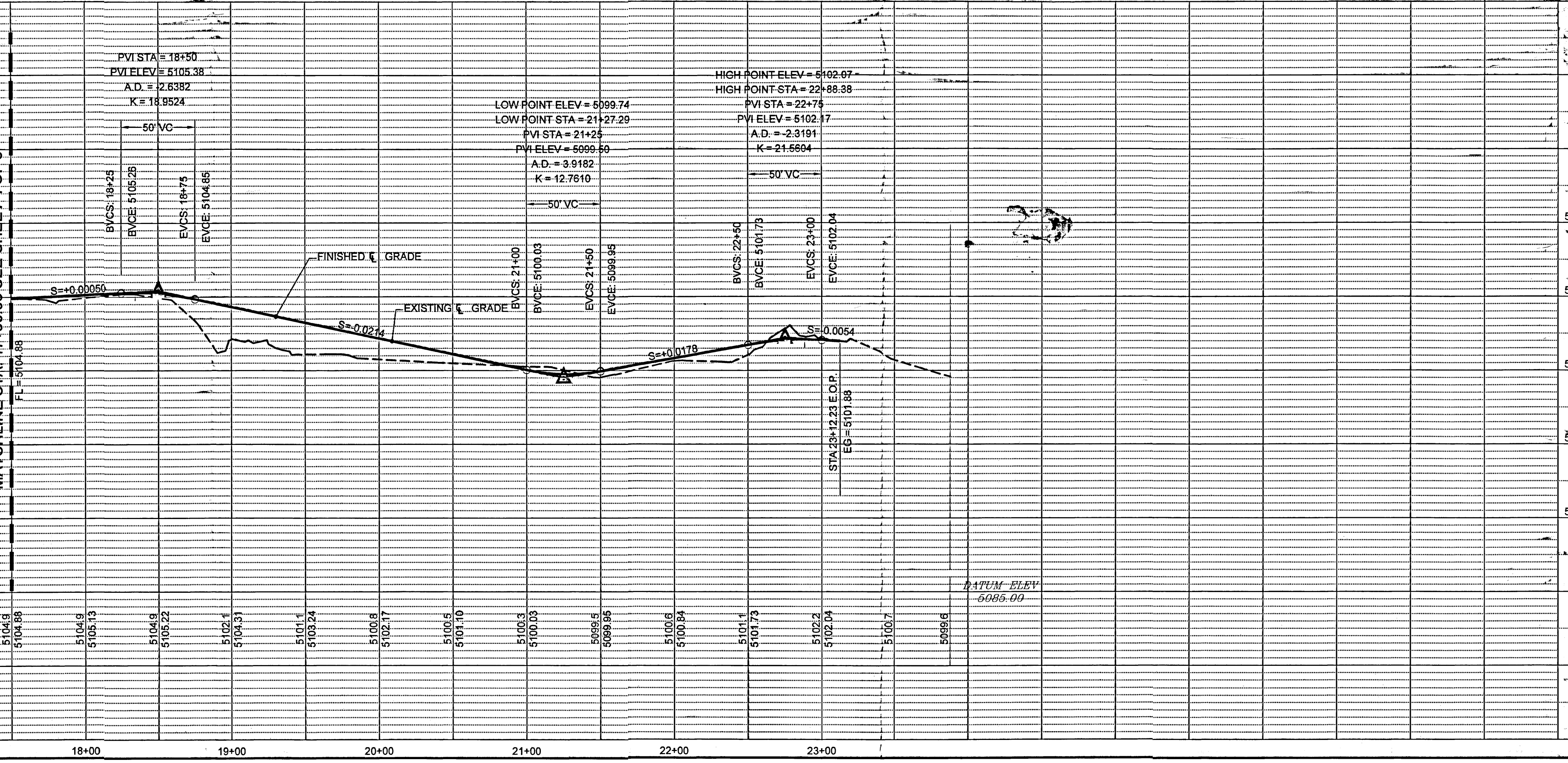
8. INSTALL GUARDRAIL AT EXISTING UTILITY POLE. SEE DETAIL (E7).

9. INSTALL 20' SWING GATE SEE DETAIL (E7).

WEST ACCESS ROADWAY STA 17+50.00 TO STA 23+12.23

HORZ. 1"=50'
VERT. 1"=5'

MATCHLINE STA. 17+50.00 SEE SHEET 4 OF 6



BRASHER & LORENZ
CONSULTING ENGINEERS
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Ph: 505-888-6088 Fax: 505-888-6188

JOB NO.: 10530 CONSTRUCTION

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: LEGACY CHURCH
WEST ACCESS ROADWAY STA 17+50.00 TO STA 23+12.23

Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr

City Project No. _____ Zone Map No. K-10-Z Sheet 5 of 5

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK	DATE
INSPECTION	DATE
ACCEPTANCE	DATE
REVISION	DATE
BY	DATE
BY	DATE
BY	DATE
BY	DATE

BENCH MARKS

ACS STATION "9_K10"	
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E=1,498,430.817	
GND TO GRID S F = 0.999682230	
DELTA ALPHA = -0.16_22.01	
ELEV. (NGVD 1988) 5117.720	

ENGINEER'S SEAL

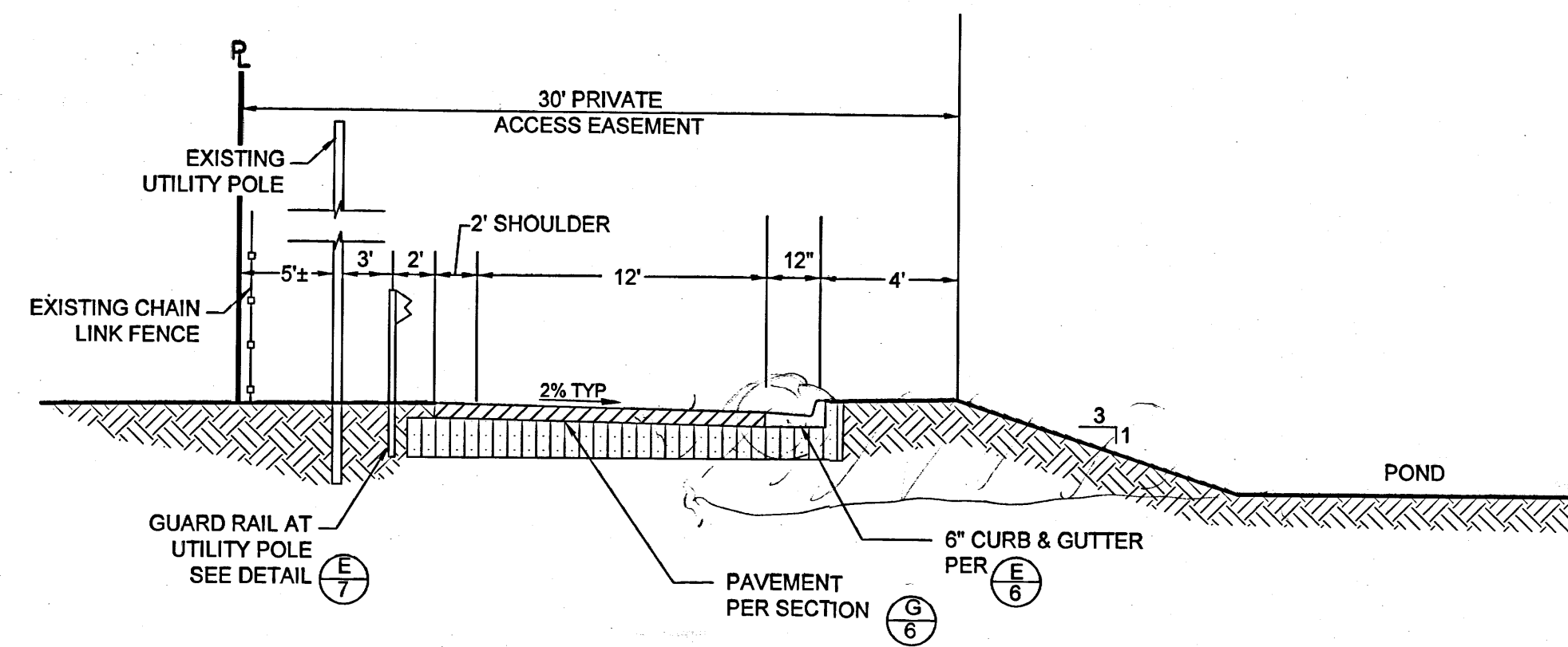
A. LORENZ
REGISTERED PROFESSIONAL ENGINEER
NO. 10530

REVISIONS

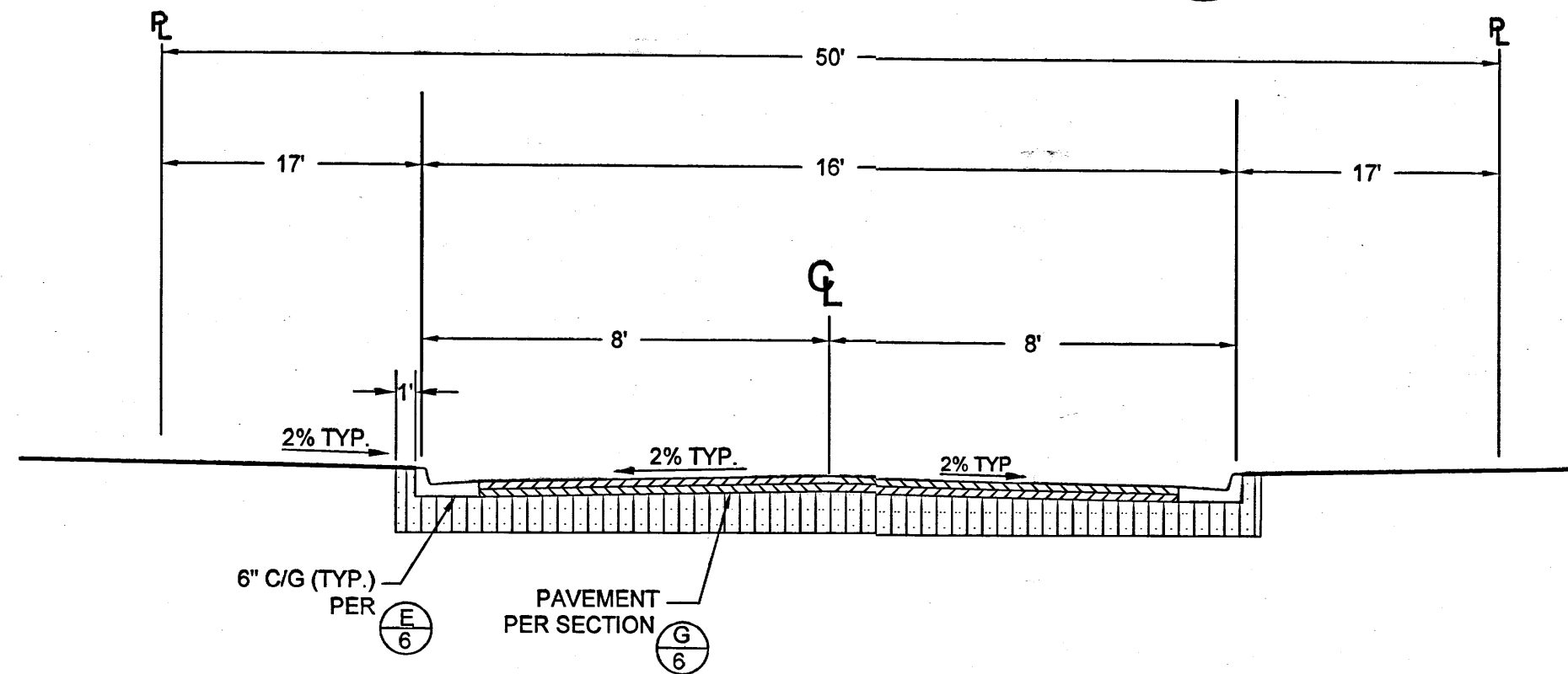
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		DESIGN	

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DRAWN BY: JMT DATE 5/2/2013
CHECKED BY: DAL DATE 5/6/2013

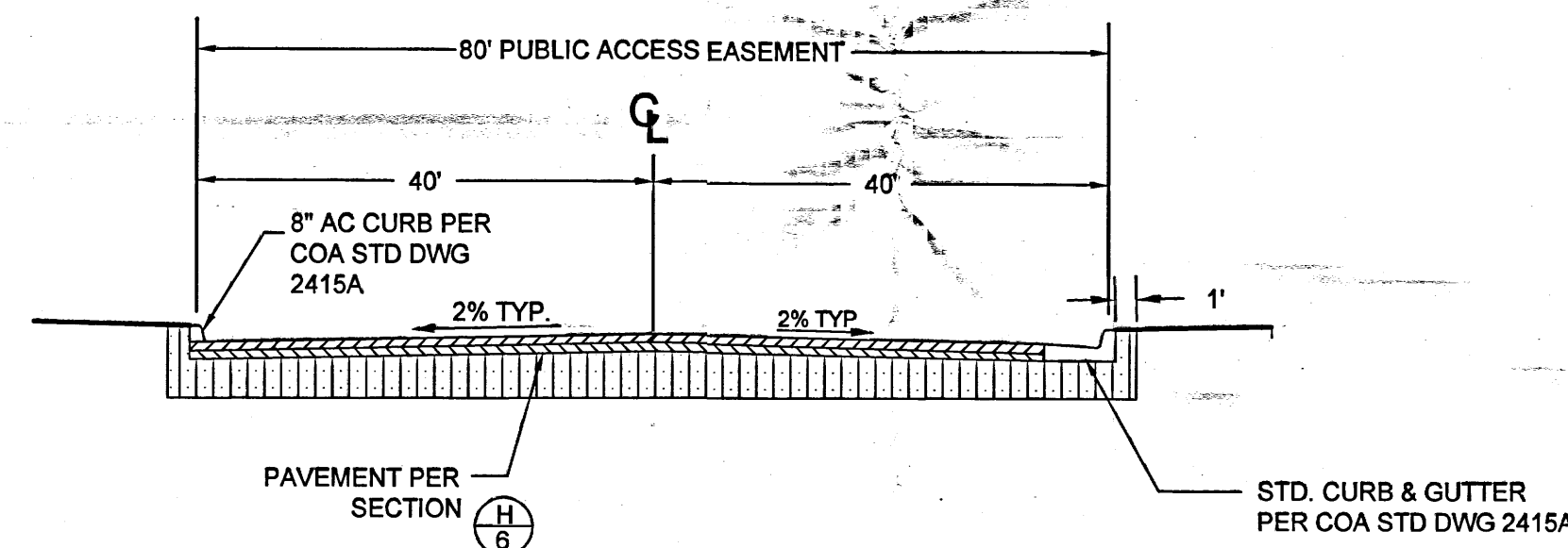
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LAND DEVELOPMENT SECTION



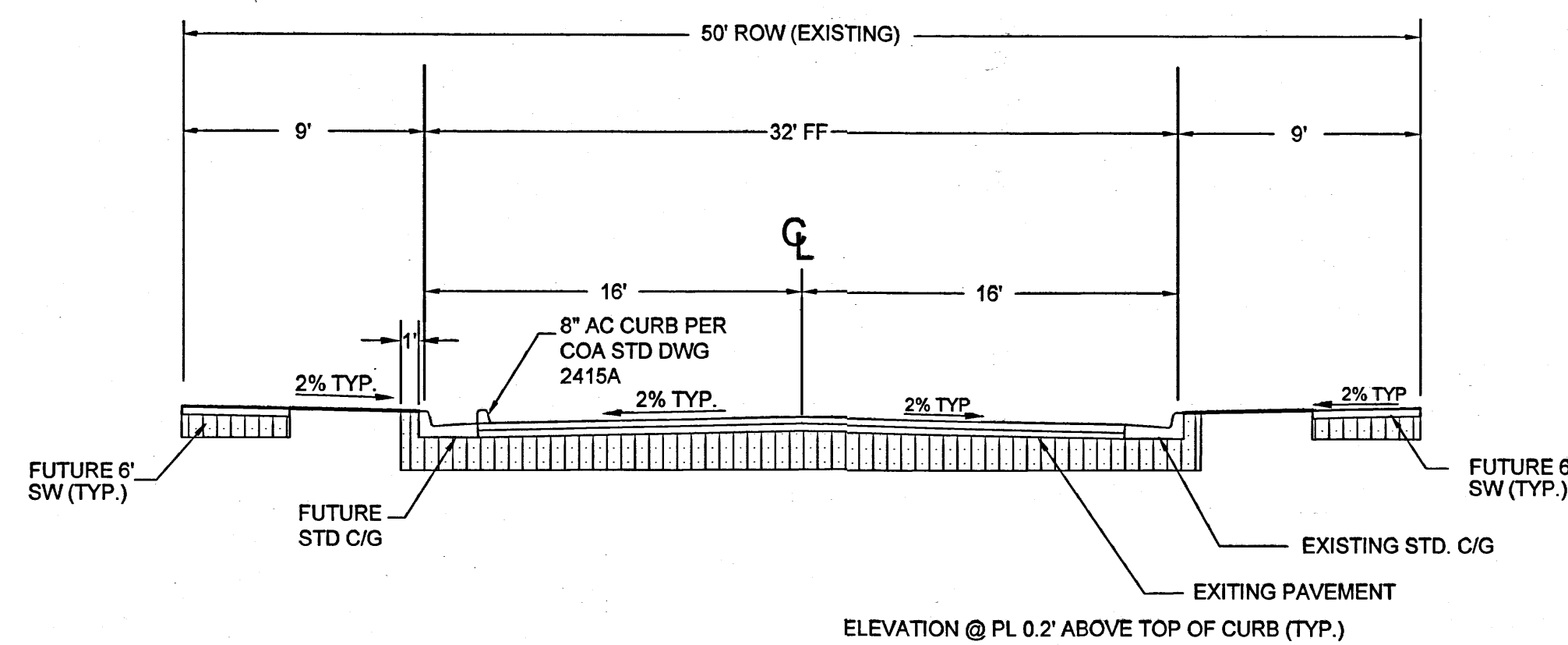
ROADWAY SECTION
WEST ACCESS ROAD
NTS **A/6**



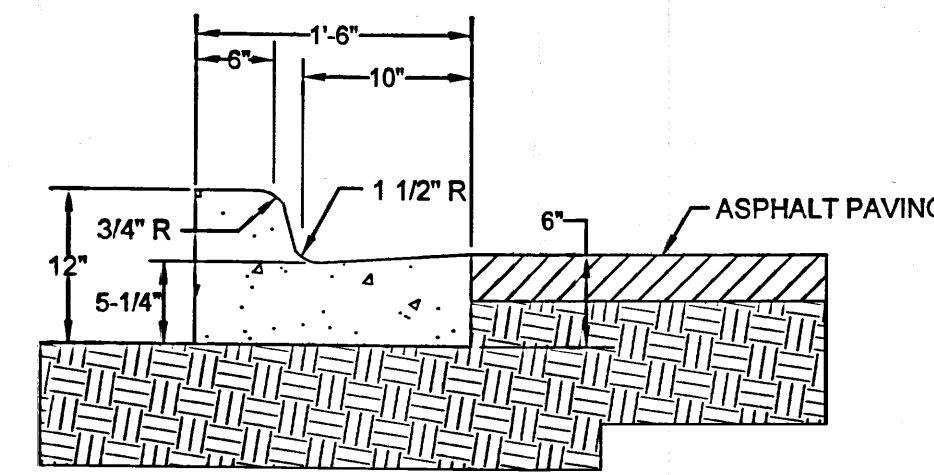
ROADWAY SECTION
WEST ACCESS ROAD
NTS **B/6**



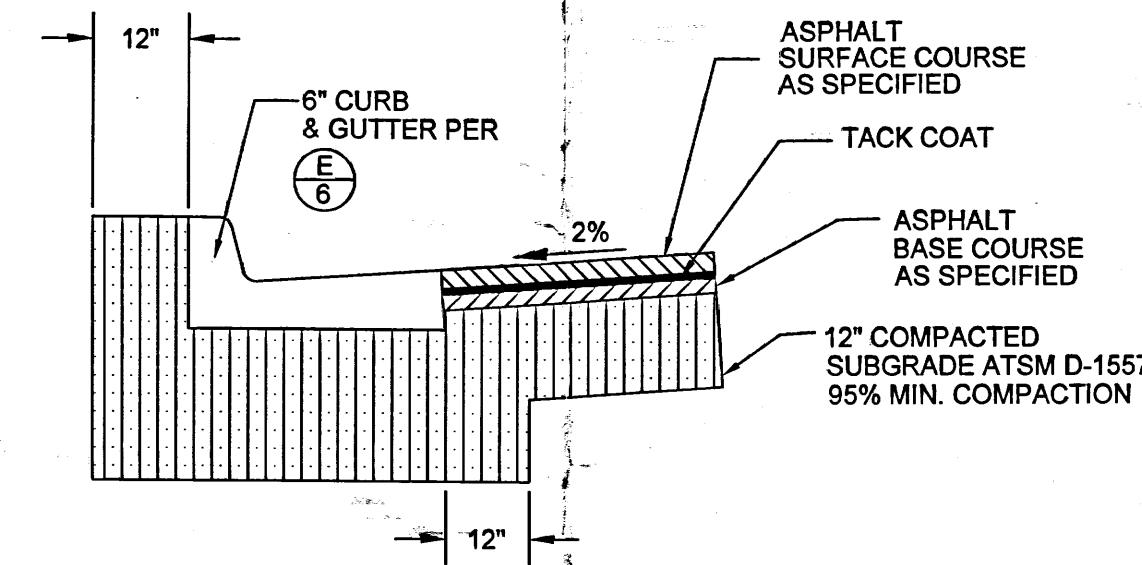
CUL DE SAC SECTION
SARRACINO PL NW
NTS **C/6**



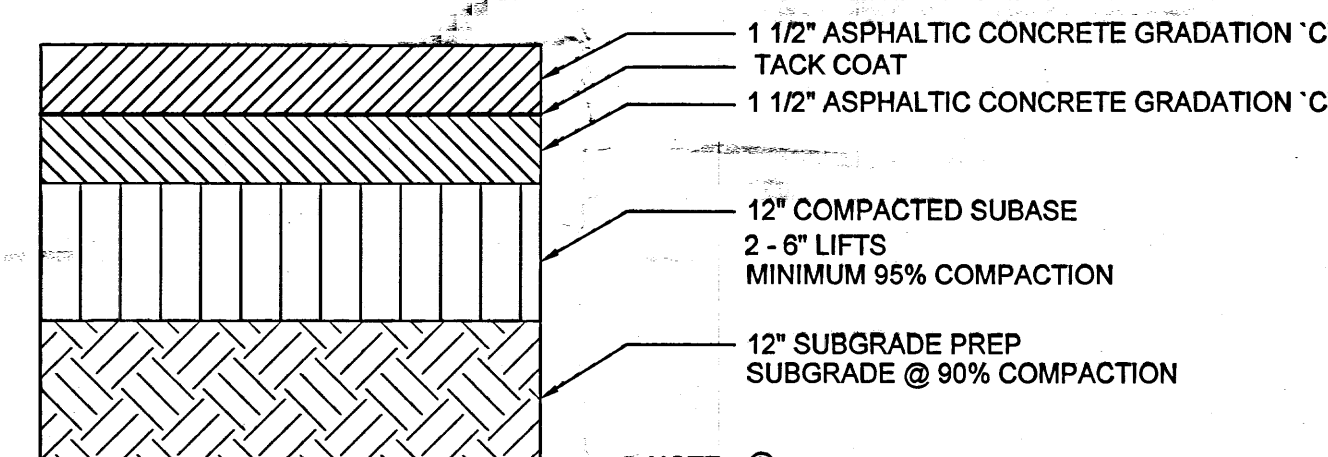
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SARRACINO PL NW
NTS **D/6**



6" CONCRETE CURB AND GUTTER
NTS **E/6**

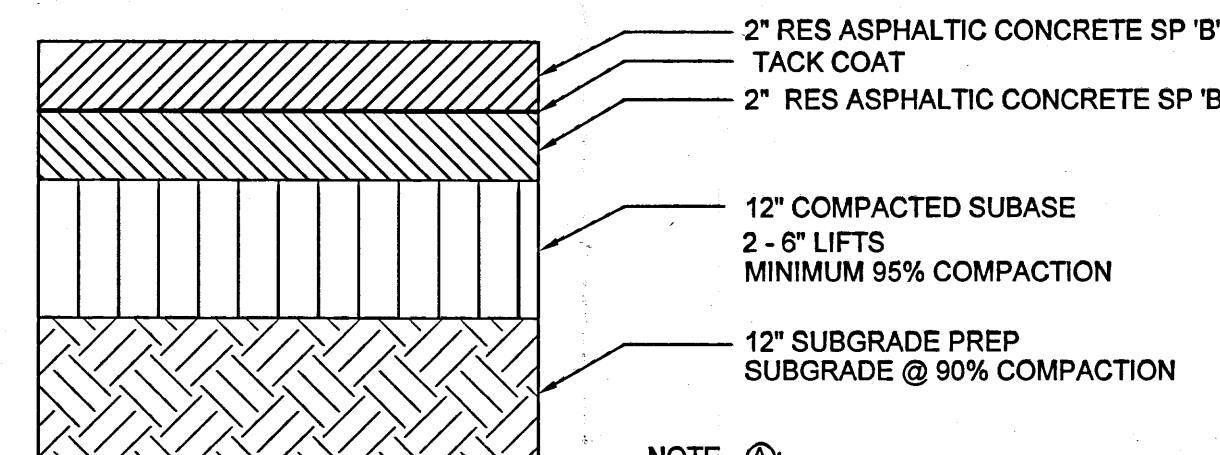


SUBGRADE JOINT AT CURB DETAIL
NTS **F/6**



NOTE @:
IF 'R' VALUE IS LESS THAN 50 CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL (R<50) TO A MINIMUM DEPTH OF 24"

RESIDENTIAL PAVEMENT SECTION
WEST ACCESS ROADWAY
NTS **G/6**



NOTE @:
IF 'R' VALUE IS LESS THAN 50 CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL (R<50) TO A MINIMUM DEPTH OF 24"

RESIDENTIAL PAVEMENT SECTION
SERRACINO PL NW
NTS **H/6**

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CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 1200
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188

JOB NO.: 10530 CONSTRUCTION

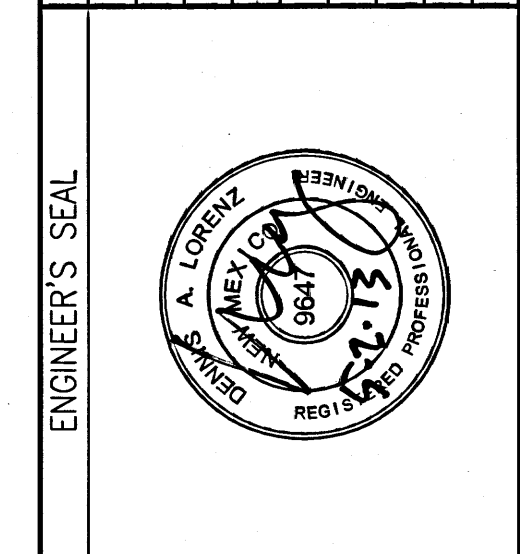
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

TITLE: LEGACY CHURCH
ROADWAY DETAILS

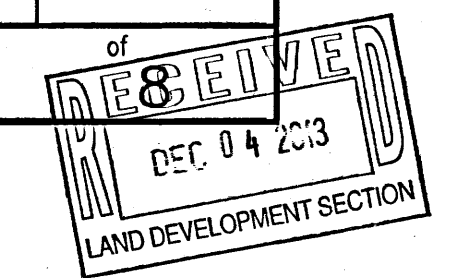
Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr

City Project No. Zone Map No. Sheet 6 of 6

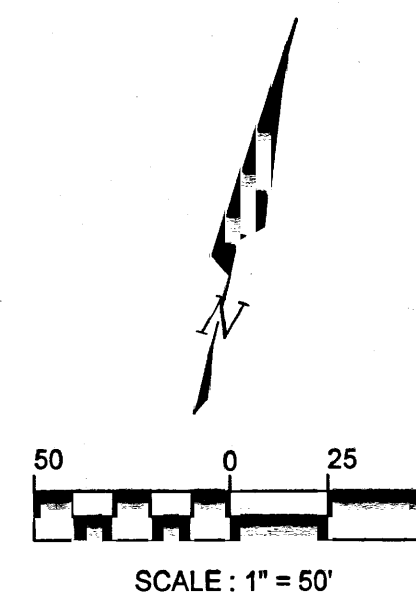
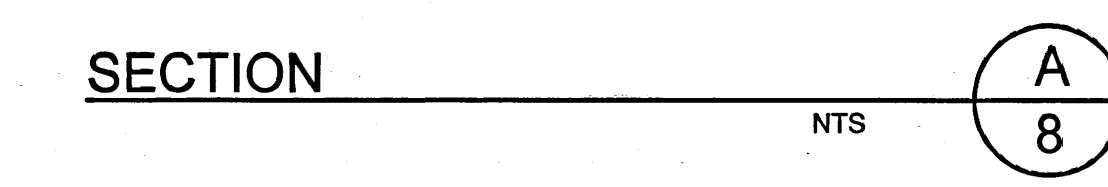
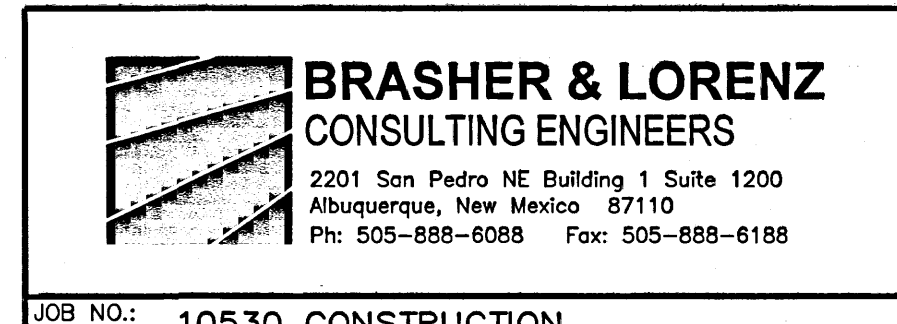
SURVEY INFORMATION				BENCH MARKS				AS BUILT INFORMATION			
NO.	BY	DATE		NO.	BY	DATE		NO.	BY	DATE	



NO.	DATE	REMARKS	BY

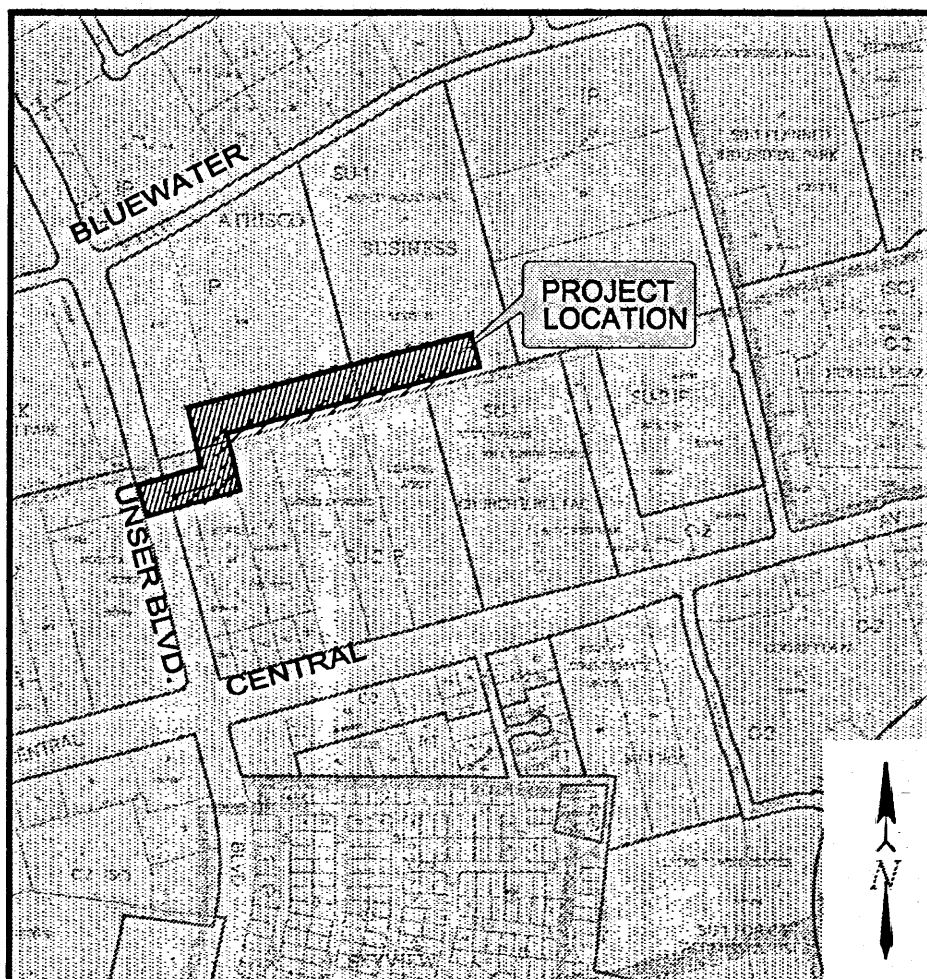


8
RECEIVED
DEC 04 2013
LAND DEVELOPMENT SECTION



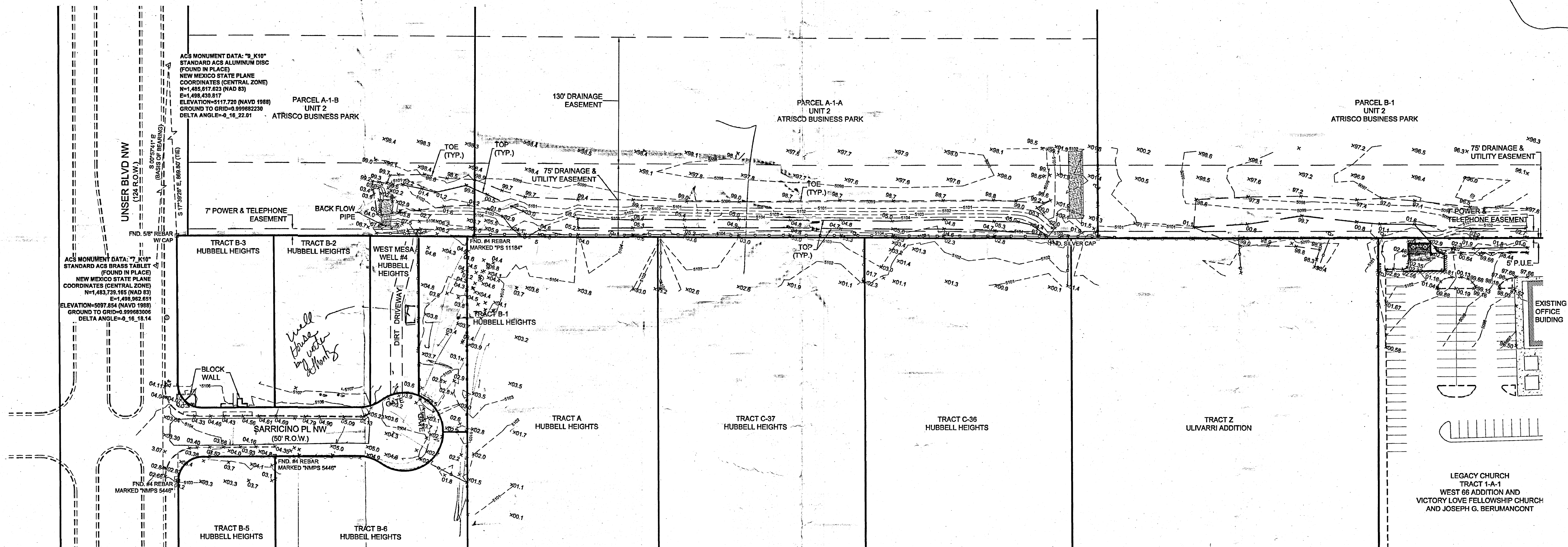
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE: LEGACY CHURCH SIGNAGE & STRIPING PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr	Mo./Day/Yr
City Project No.	Zone Map No.	Sheet	of
	K-10-7	8	108

RECEIVED
DEC 04 2013
LAND DEVELOPMENT SECTION



ZONE ATLAS MAP
(NOT TO SCALE)

K-10-Z



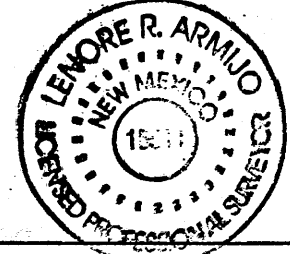
NOTES:

1. THIS NOT A BOUNDARY SURVEY.
2. ELEVATIONS ARE BASED ON STATIC SURVEY.
3. FIELD SURVEY WAS PERFORMED MARCH 28, 2012.
4. EXISTING UTILITY LINES WERE DERIVED FROM INTERPRETING PAINT MARKINGS ON SURFACE AND ARE SHOWN IN APPROXIMATE LOCATION ONLY. UNDERGROUND UTILITY SIZE, DEPTH AND TYPE SHALL NOT BE RELIED UPON WITHOUT VERIFICATION.

SURVEYOR'S CERTIFICATION:

I, LENORE ARMUJO, A PROFESSIONAL SURVEYOR LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY WAS PREPARED BY ME, OR UNDER MY DIRECT SUPERVISION, THAT IT IS TRUE AND CORRECT TO MY BEST KNOWLEDGE AND BELIEF, THAT IT SATISFIES THE MINIMUM STANDARDS FOR LAND SURVEYING AS DETERMINED BY THE STATE OF NEW MEXICO, BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS.

LENORE ARMUJO, N.M.P.S. No. 15511
3/19/13



SYMBOLS LEGEND

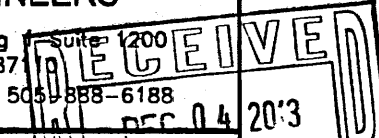
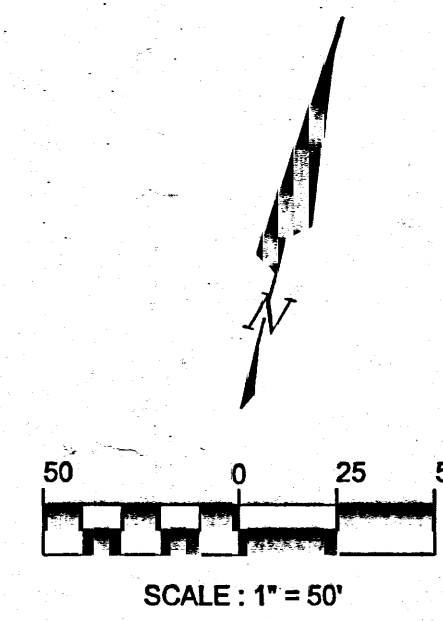
- - - = ANCHOR
- = SEWER MANHOLE
- ⊗ = WATER VALVE
- = ELECTRIC RISER
- = ELECTRIC SERVICE BOX
- ⊕ = FIRE HYDRANT
- ⊞ = DROP INLET
- - - = FENCE
- = GUARD POST
- = FOUND REBAR W/ MARKER AS NOTED

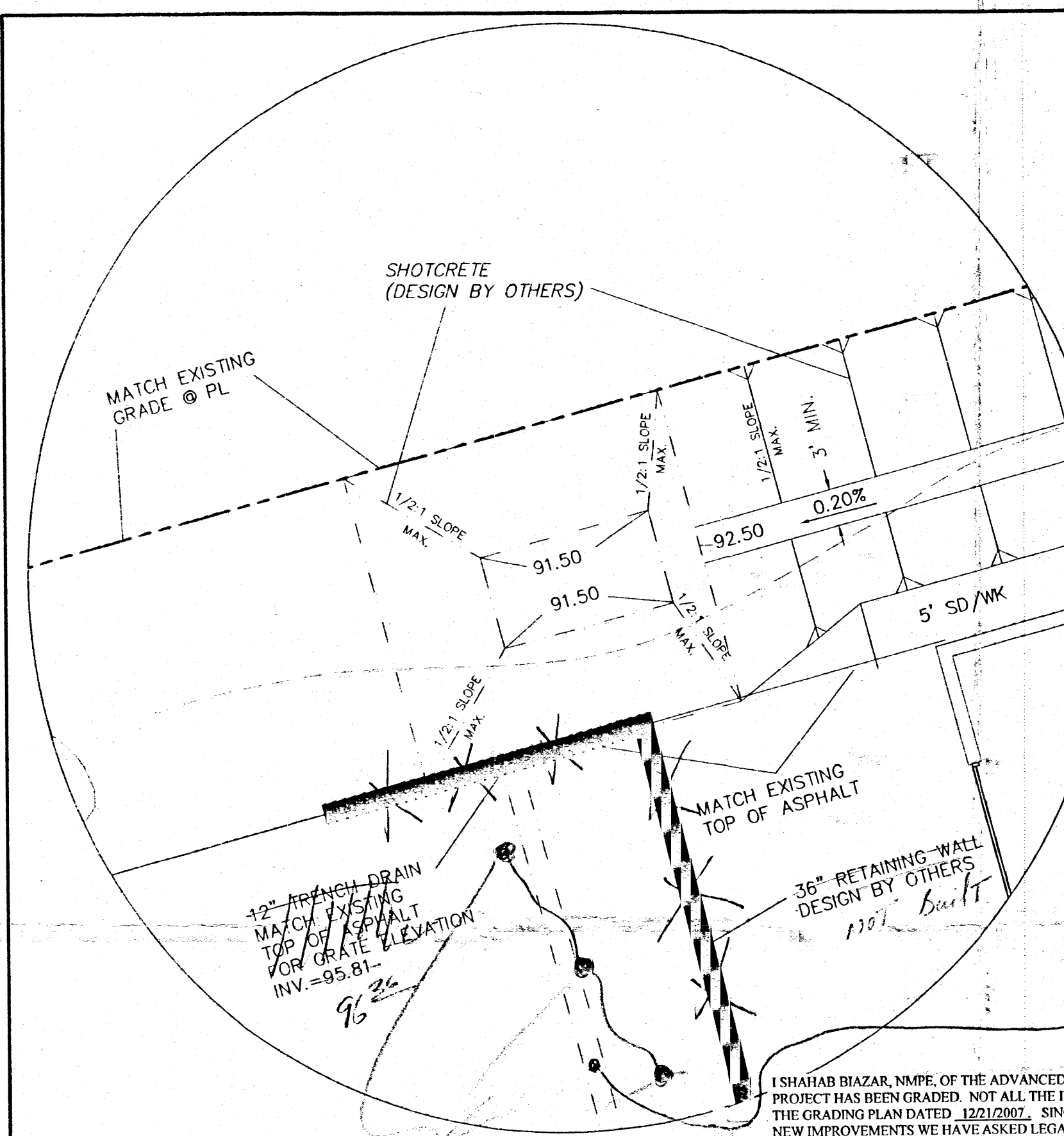
LEGACY CHURCH
TOPOGRAPHIC SURVEY

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1200
Albuquerque, New Mexico 87106
Ph: 505-888-6088 Fax: 505-888-6188

DRAWN BY: J.M.T.
CHECKED BY: D.A.L.
FILE: 10530 CONSTRUCTION

DATE: 03/19/13
SHEET: 2 OF 8





I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED. NOT ALL THE IMPROVEMENTS WERE BUILT ACCORDING TO THE GRADING PLAN DATED 12/21/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Temporary Certificate of Occupancy.
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE #13479
DATE 10/10/08
REGISTERED PROFESSIONAL ENGINEER

DETENTION POND
BOTTOM=91.50
INSTALL SUMP PUMP
WITH INV. AT 92.50
DISCHARGE PIPE @ THE
DAYLIGHT DISCHARGE DRAIN
SUMP PUMP TO BE DESIGNED TO
DISCHARGE AT A FLOW RATE OF
93 GPM MIN. (DESIGN BY OTHERS)

36" RETAINING WALL
DESIGN BY OTHERS

12" TRENCH DRAIN
MAXIMUM SPACING
TOP OF ASPHALT
FOR GRADE ELEVATION
INV.=95.81
96.36

I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED. NOT ALL THE IMPROVEMENTS WERE BUILT ACCORDING TO THE GRADING PLAN DATED 12/21/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Final Certificate of Occupancy.
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE #13479
DATE 10/31/08
REGISTERED PROFESSIONAL ENGINEER

SCALE 3X

This Area was
Regraded &
Retaining Wall
Was Not Required

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

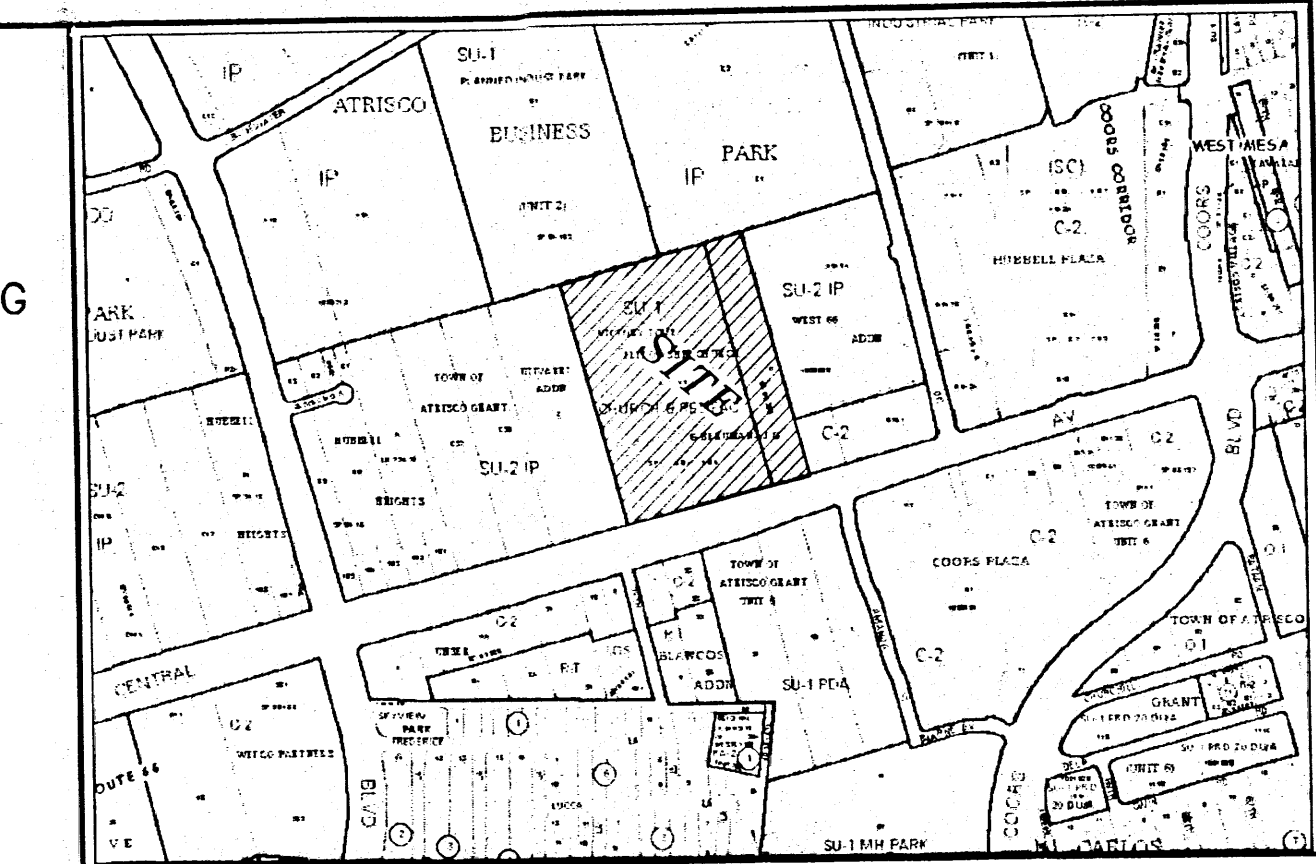
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- ALL THE DISTURBED AREAS MUST BE REVEGETATED.

- GENERAL NOTES:
- ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 - CONTOUR INTERVAL IS ONE (1) FOOT.
 - ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 5-K10 HAVING AN ELEVATION OF (NAVD 88) 5096.43 FEET ABOVE SEA LEVEL.
 - UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - SLOPES ARE AT 3:1 MAXIMUM.

NOTICE TO CONTRACTORS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

OWNERS ARE AWARE THAT ALL THE NEW STORM DRAIN SYSTEM HAS TO BE MAINTAINED CLEANED IN ORDER TO HAVE POSITIVE DRAINAGE THROUGH THE SYSTEM. IF THE SYSTEM IS NOT MAINTAINED CLEAN AND OPERATIONAL THE BUILDING WILL GET FLOODED DURING A LARGE STORM

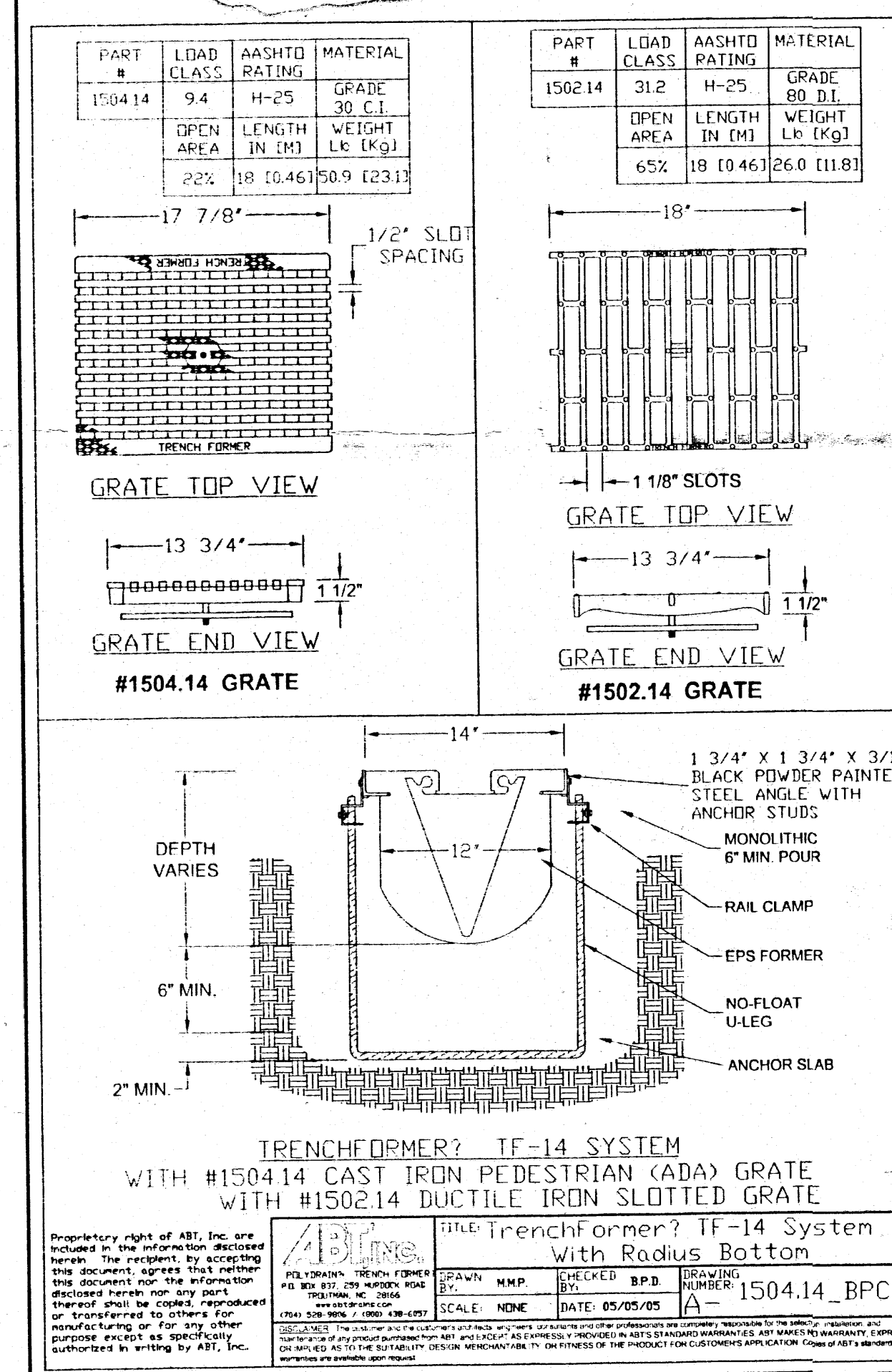


LEGAL DESCRIPTION:
Tract A-1 and D, Lands of Victory Love Fellowship Church and Joseph Beruman

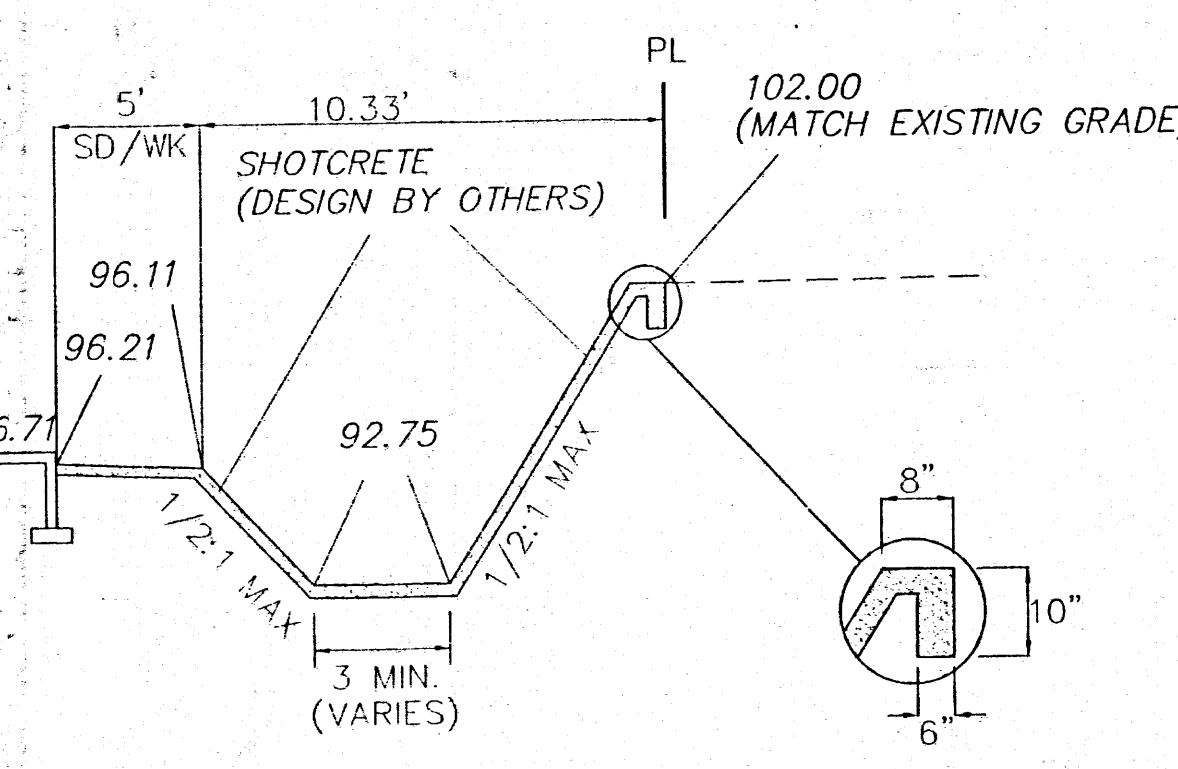
ADDRESS:
7201 & 7101 Central Ave., NW

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
- PROPOSED SIDEWALK
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- PROPOSED EXTENDED STEM/RETAINING WALL
- TOP OF RETAINING WALL
- TOP OF FOOTING
- TOP OF EXTENDED STEM WALL
- TOP OF FOOTING
- EXISTING DROP INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE

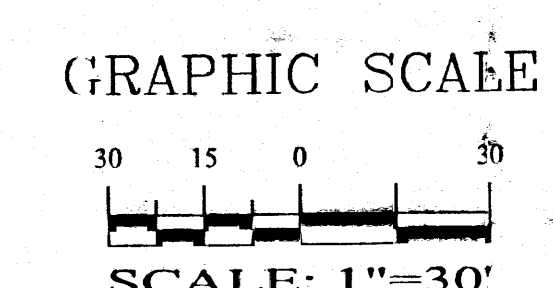


Concrete Swale Was
Built instead of
the Trench Drain



SECTION A-A

NTS



SHAHAB BIAZAR
P.E. #13479

ADVANCED
ENGINEERING
and CONSULTING, LLC

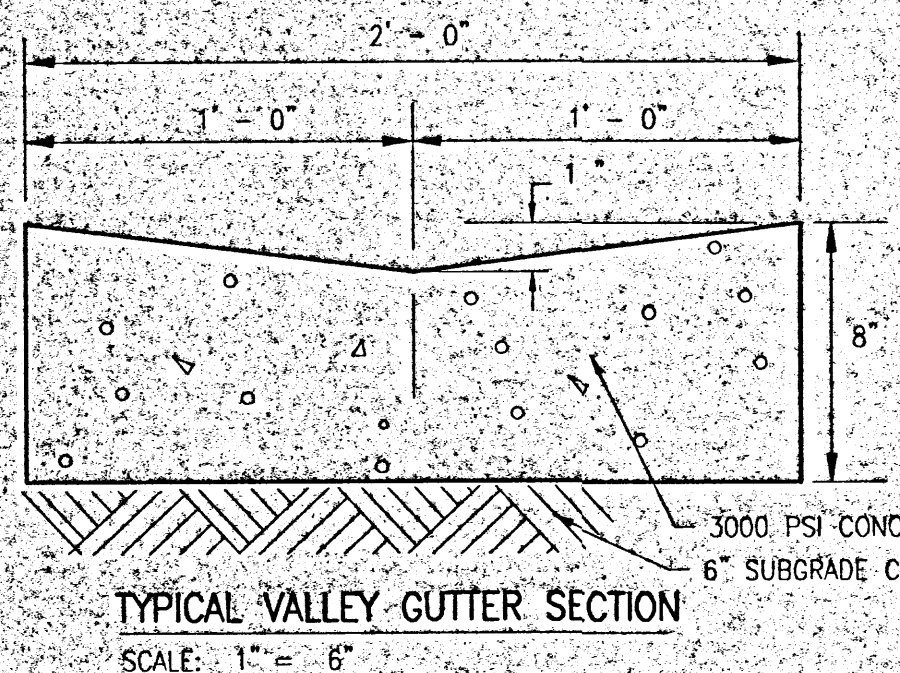
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

LEGACY CHURCH GRADING AND DRAINAGE PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200642-GR.DWG	SBB	08-04-2006	1 OF 1

NOV 04 2008
HYDROLOGY
SECTION

File Path: E:\DWG\001\0001\1 Plot Date: 06-17-1998
File Name: 980361.GDWG Plot Time: 08:09:00 am

RECEIVED
FEB 24 1999
HYDROLOGY SECTION



GRADING PLAN

SCALE: 1"=20'-0"
CERTIFICATION

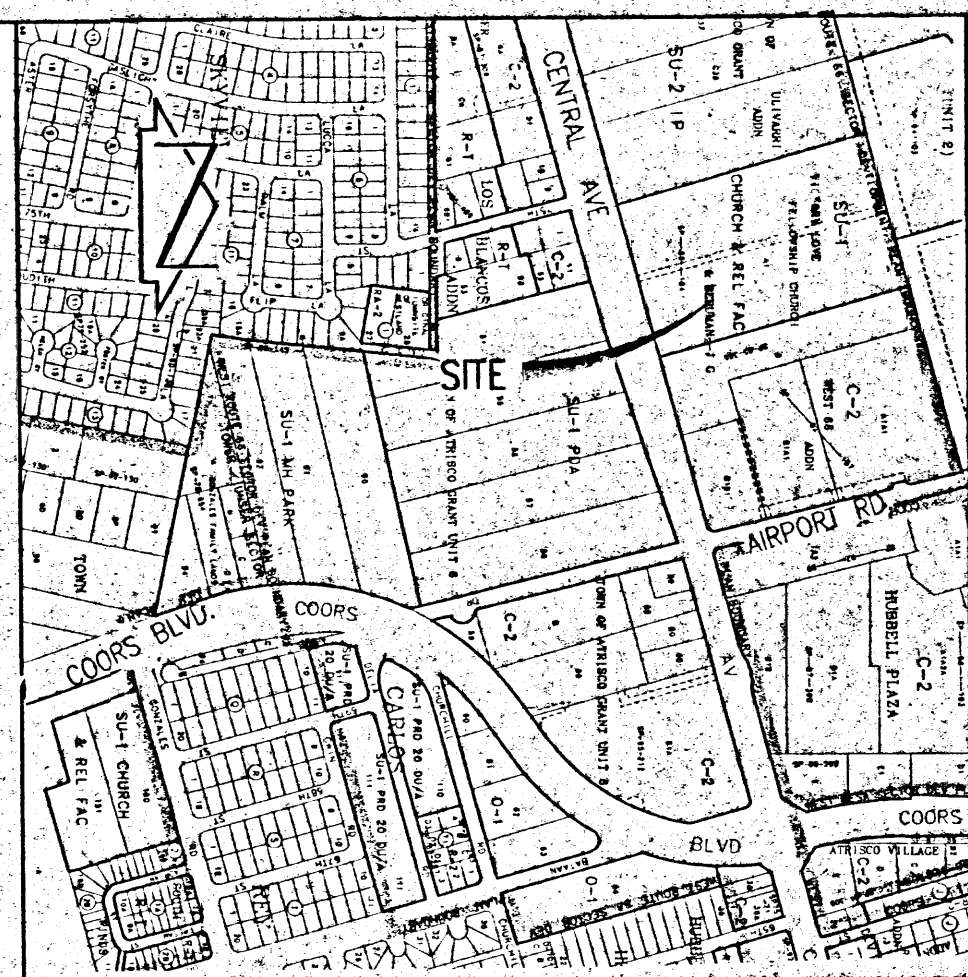
AS INDICATED BY THE AS-BUILT INFORMATION PROVIDED BY THE CONTRACTOR, MMR CONSTRUCTION AND SHOWN HEREON, THIS PROJECT HAS BEEN GRADED AND DRAINED IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED PLAN. IT IS BASED UPON THIS EVALUATION OF AS-CONSTRUCTED CONDITIONS THAT ISSUANCE OF A PERMANENT CERTIFICATE OF OCCUPANCY IS HEREBY RECOMMENDED. THE AS-BUILT INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM FIELD NOTES PROVIDED BY THE CONTRACTOR, VERIFIED BY VISUAL SITE INSPECTION AS BEING A REASONABLE REPRESENTATION OF AS-BUILT CONDITIONS, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JEFFREY G. MORTENSEN, NMPE 8547
REGISTERED PROFESSIONAL ENGINEER

02-23-99
DATE

LEGEND	
TC	TOP CURB
FL	FLOW LINE
TA	TOP ASPHALT
TOC	TOP CONCRETE
TW	TOP WALL
NG	NATURAL GRADE
TP	TOP PIPE
INV.	INVERT
EA	EDGE ASPHALT
LP	LIGHT POLE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DIRECTION OF FLOW
	EXISTING ROOF DRAINAGE
	PROPOSED ROOF DRAINAGE
	PROPOSED CONCRETE
	PROPOSED ASPHALT

LEGAL DESCRIPTION
TRACT A-1, LANDS OF VICTORY LOVE FELLOWSHIP CHURCH & JOSEPH G. BERMAN
PROJECT BENCHMARK
CITY OF ALBUQUERQUE BENCHMARK "4-K10" A STANDARD ACS BRASS
CAP SET FLUSH WITH SIDEWALK & STAMPED "4-K10", LOCATED IN THE
SOUTHEAST QUADRANT OF THE INTERSECTION OF COORS RD. & BLUEWATER
AVENUE AS SHOWN.
ELEVATION = 5094.28' (M.S.L.D.)
T.B.M.
AN ALUMINUM CAP SET IN THE DIRT MEDIAN IN WEST CENTRAL
AVENUE AS SHOWN.
ELEVATION = 5095.03' (M.S.L.D.)



- Construction Notes:**
- Two (2) working days prior to any excavation, contractor must contact New Mexico One Call System 260-1990 (Albuquerque Area), 1-800-321-ALERT(2537) (Statewide), for location of existing utilities.
 - Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential obstructions. Should a conflict exist, the contractor shall notify the engineer in writing so that the conflict can be resolved with a minimum amount of delay. The Contractor shall be responsible for all interpretations it makes without first contacting the Engineer as required above.
 - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
 - All construction within public right-of-way shall be performed in accordance with applicable City of Albuquerque Standards and Procedures.
 - If any utility lines, pipelines, or underground utility lines are shown on these drawings, they are shown in an approximate manner only, and such lines may exist where none are shown. If any such existing lines are shown, the location is based upon information provided by the owner of said utility, and the information may be incomplete, or may be obsolete by the time construction commences. The engineer has conducted only a preliminary investigation of the location, depth, size, or type of existing utility lines, pipelines, or underground utility lines. This investigation is not conclusive, and may not be complete, therefore, makes no representation pertaining thereto, and assumes no responsibility or liability therefor. The contractor shall inform itself of the location of any utility line, pipeline, or underground utility line in or near the area of the work in advance of and during excavation work. The contractor is fully responsible for any and all damage caused by its failure to locate, identify and preserve any and all existing utilities, pipelines, and underground utility lines. In planning and conducting excavation, the contractor shall comply with state statutes, municipal and local ordinances, rules and regulations, if any, pertaining to the location of these lines and facilities.
 - The design of planters and landscaped areas is not part of this plan. All planters and landscaped areas adjacent to the building(s) shall be provided with positive drainage to avoid any ponding adjacent to the building. For construction details, refer to landscaping plan.

- Erosion Control Measures:**
- The contractor shall ensure that no soil erodes from the site into public right-of-way or onto private property.
 - The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
 - The contractor shall secure Topsoil Disturbance Permit prior to beginning construction.

HARBERTS & LEVINE
ARCHITECTS
2001
CARLSLE NE, SUITE C
ALBUQUERQUE, NM 87110
tel (505) 268-1234
fax (505) 268-7755
A Professional Corporation

VICTORY LOVE FELLOWSHIP CHURCH
180 BUILDING
7201 Central Avenue NW
Albuquerque, New Mexico

RECEIVED
FEB 24 1999
HYDROLOGY SECTION

Description

GRADING PLAN

AS-BUILT & CERT
Date 2-22-99
6-15-98

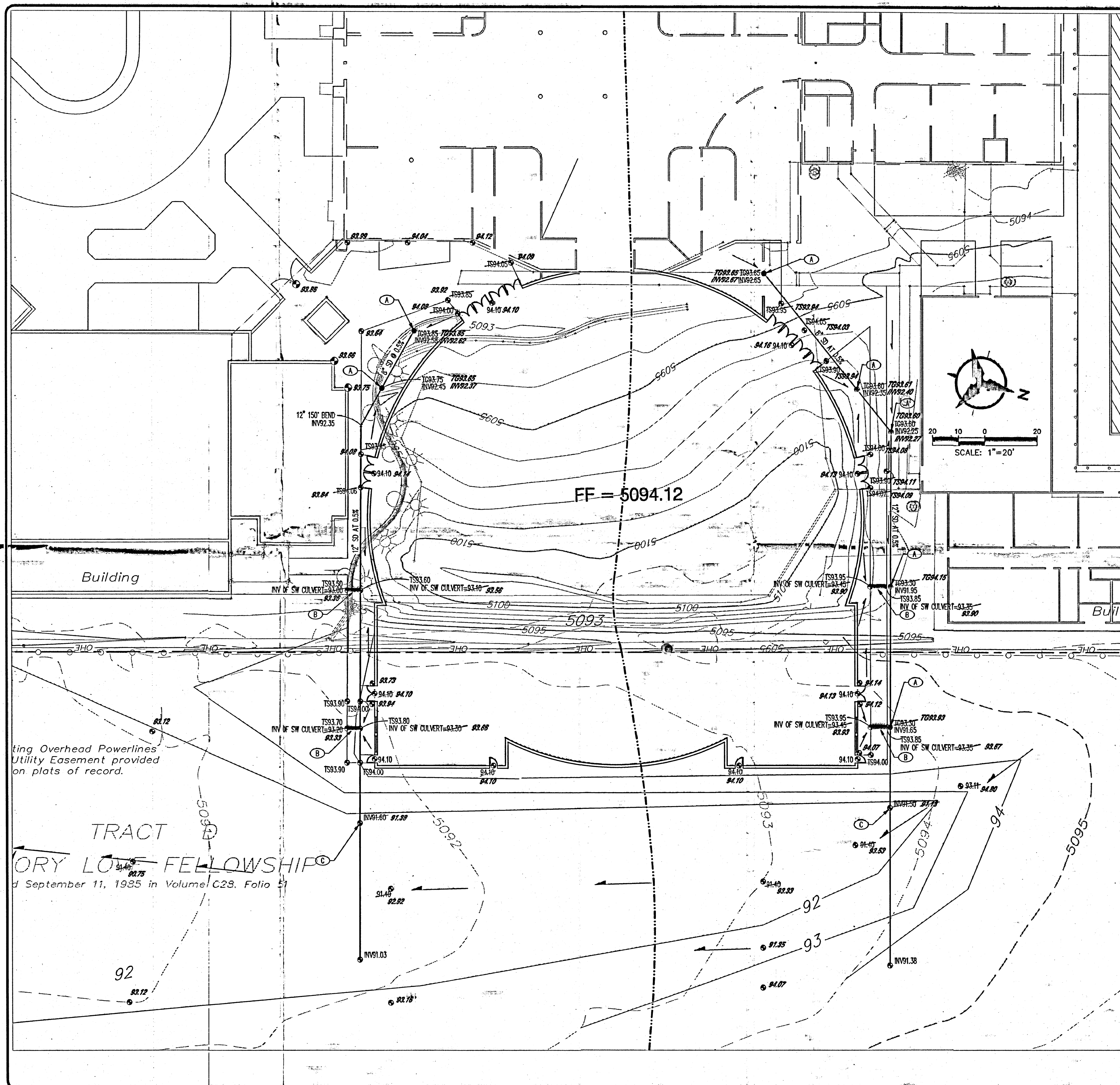
Drawings are instruments of service and shall remain the property of the architect. They are not to be used on other projects without written consent of the architect.

Sheet

02

JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. N.E.
ALBUQUERQUE NEW MEXICO 87109
ENGINEERS SURVEYORS (505) 345-4250

980361



① GRADING PLAN KEYED NOTES:

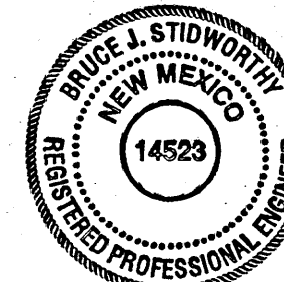
- A. INSTALL ADS NYLOPLAST DRAIN BASIN OR APPROVED EQUAL.
- B. 18" WIDE SIDEWALK CULVERT PER COA STD DWG. 2236.
- C. DAYLIGHT STORM DRAIN IN SWALE.

DRAINAGE CERTIFICATION

I, BRUCE J. STIDWORTHY, NMPE 14523, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 5/12/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ALAN R. BENHAM, NMPS 15700, OF THE FIRM BOHANNAN HUSTON. I FURTHER CERTIFY THAT A SITE VISIT OF THE PROJECT SITE WAS PERFORMED ON 05/28/05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Bruce J. Stidworthy 6/1/05
 BRUCE J. STIDWORTHY, NMPE 14523 DATE



NOTE:
 STORM DRAIN PIPE MATERIAL SHALL BE SDR-35
 PVC OR HDPE (SMOOTH INTERIOR, WATER-TIGHT
 JOINTS)

Bohannon & Huston

Courtyard 1 7800 Jefferson St NE Albuquerque, NM 87109-4338
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

LPDJ

architects LLC

1409 South 800 West unit D
 Bountiful, Utah 84010
 801-284-8000 Fax 801-284-5185
 jason@LPDJ.com Lee@LPDJ.com



7201 Central Avenue NW

Owner's Representative:

David Petty 505-799-3862

Structural Engineers:

SSEDCO 208-528-7312

Electrical Engineers:

Royal Engineering 801-489-5459

Mechanical Engineers:

Robinson Engineering 623-930-1770

Civil Engineers:

Bohannon Huston Inc. 505-823-1000

Interior Designers:

Temples Interior Design LLC

& Judith Clawson 801-272-7240

AV Systems Design:

General Communications

Daryl Wright 800-453-6304

Bruce J. Stidworthy
 5/12/04

REVISED APRIL 16, 2004

DATE: 17 FEBRUARY 2004

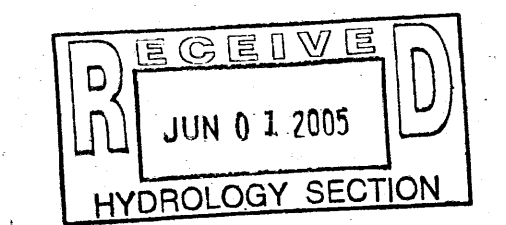
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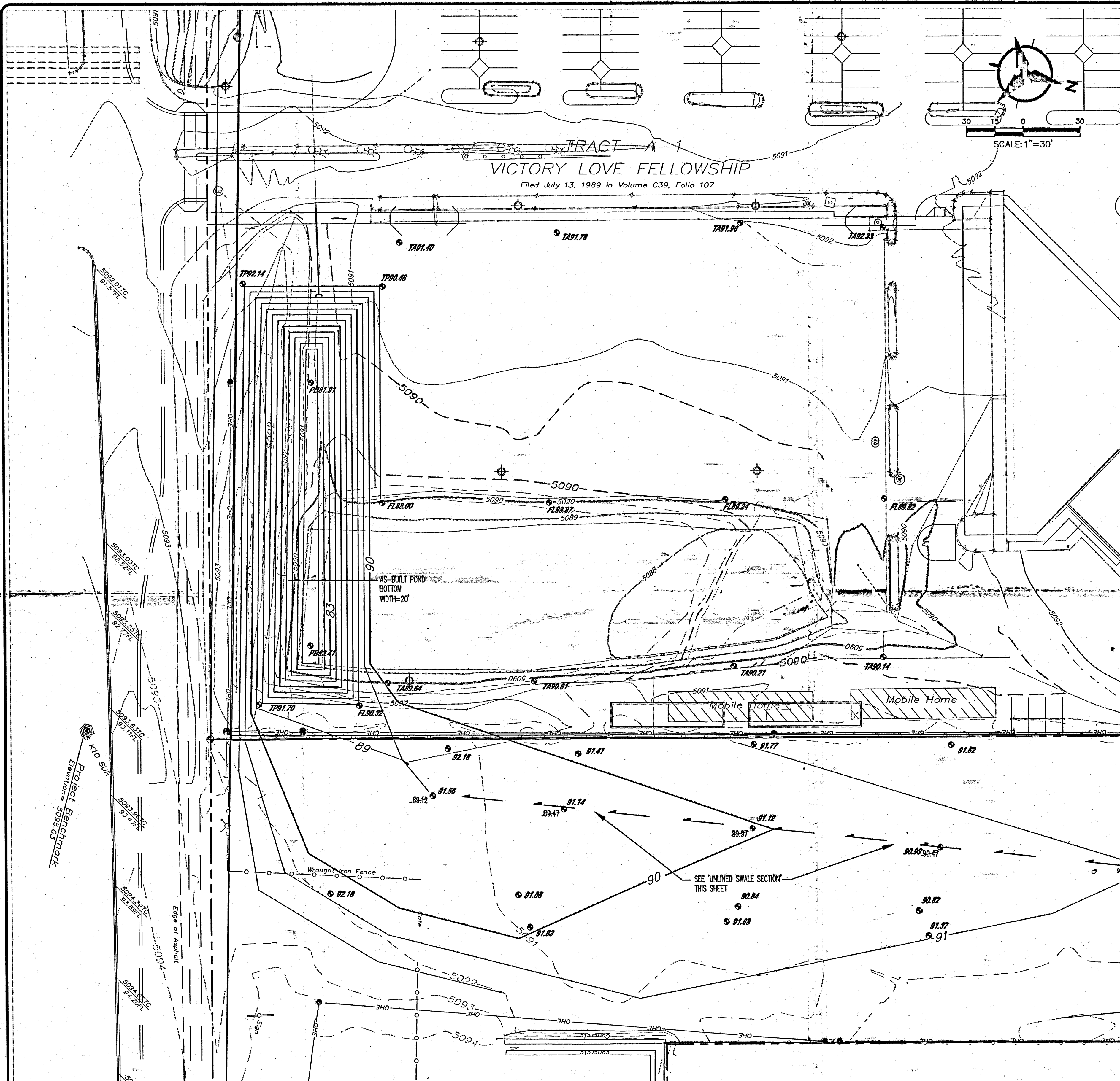
C1

GRADING PLAN

SCALE: 1" = 20'

a LPDJ architects LLC



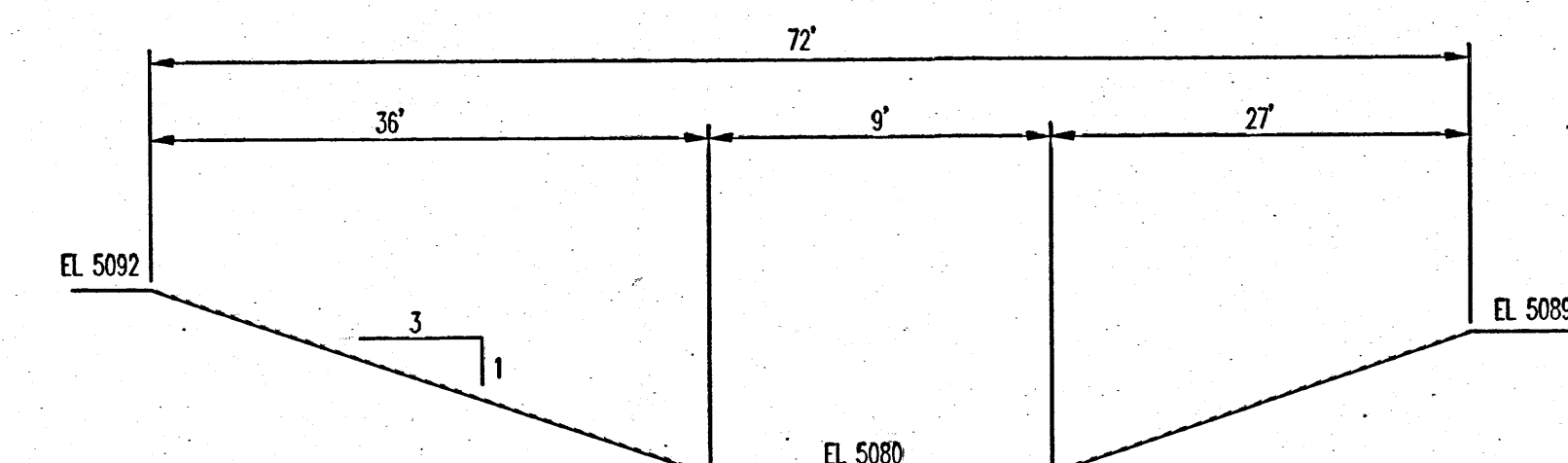
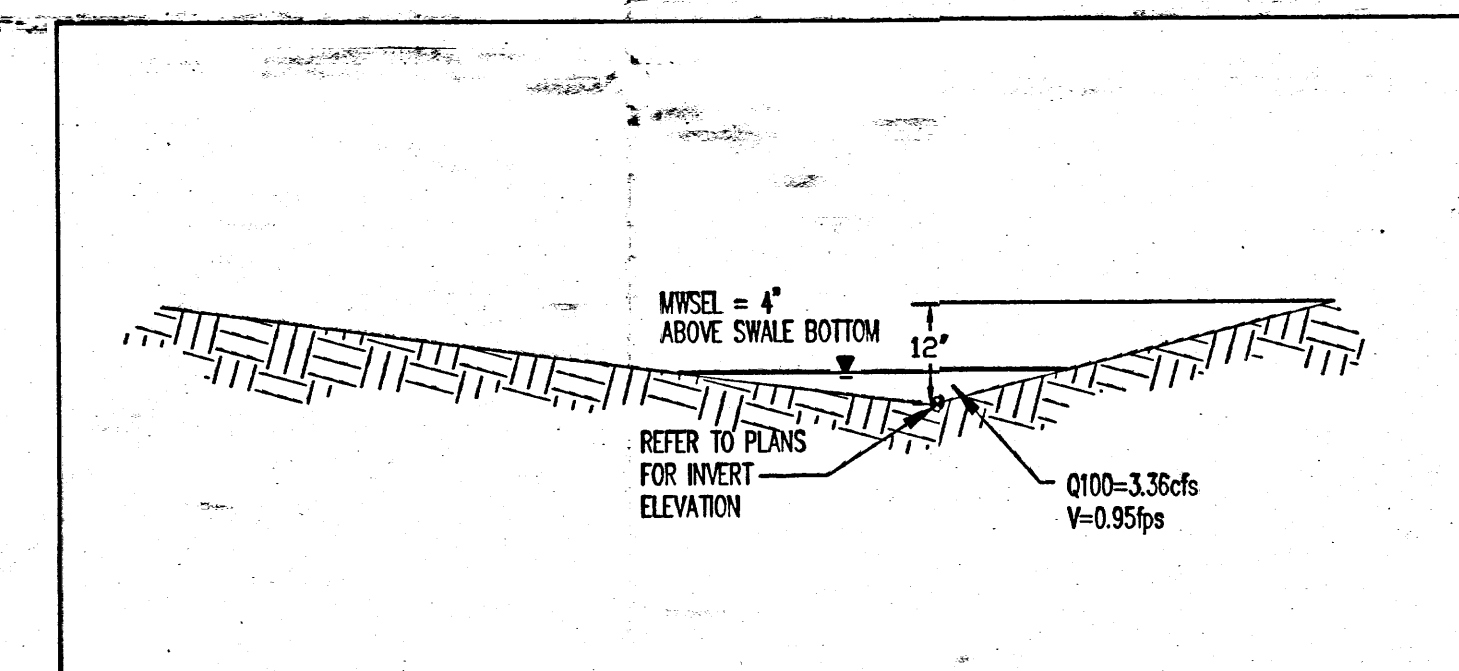
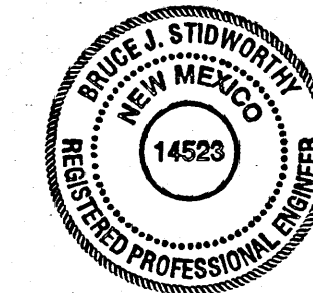


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Bruce J. Stidworthy 6/1/05
BRUCE J. STIDWORTHY, NMPE 14523 DATE



Bohannon & Huston

Courtyard 1 7500 Jefferson St NE Albuquerque, NM 87109-4395
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

LPDJ

architects LLC

1409 South 800 West unit D
Bountiful, Utah 84010

801-294-5003 fax 801-294-5155

Jason@LPDJ.com Lee@LPDJ.com



7201 Central Avenue NW

Owner's Representative:

David Petty 505-799-3862

Structural Engineers:

SSEDCO 208-528-7312

Electrical Engineers:

Royal Engineering 801-489-5459

Mechanical Engineers:

Robinson Engineering 623-930-1770

Civil Engineers:

Bohannon Huston Inc. 505-823-1000

Interior Designers:

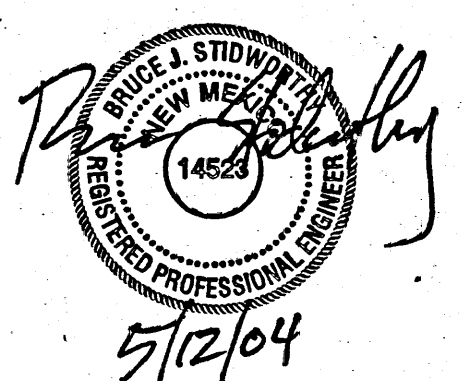
Temples Interior Design LLC

& Judith Clawson 801-272-7240

AV Systems Design:

General Communications

Daryl Wright 800-453-6304



REVISED APRIL 16, 2004

DATE: 17 FEBRUARY 2004

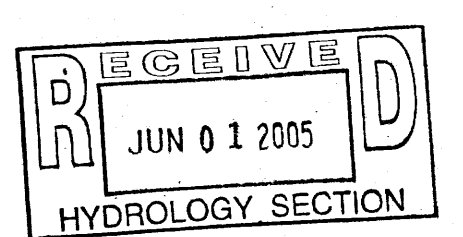
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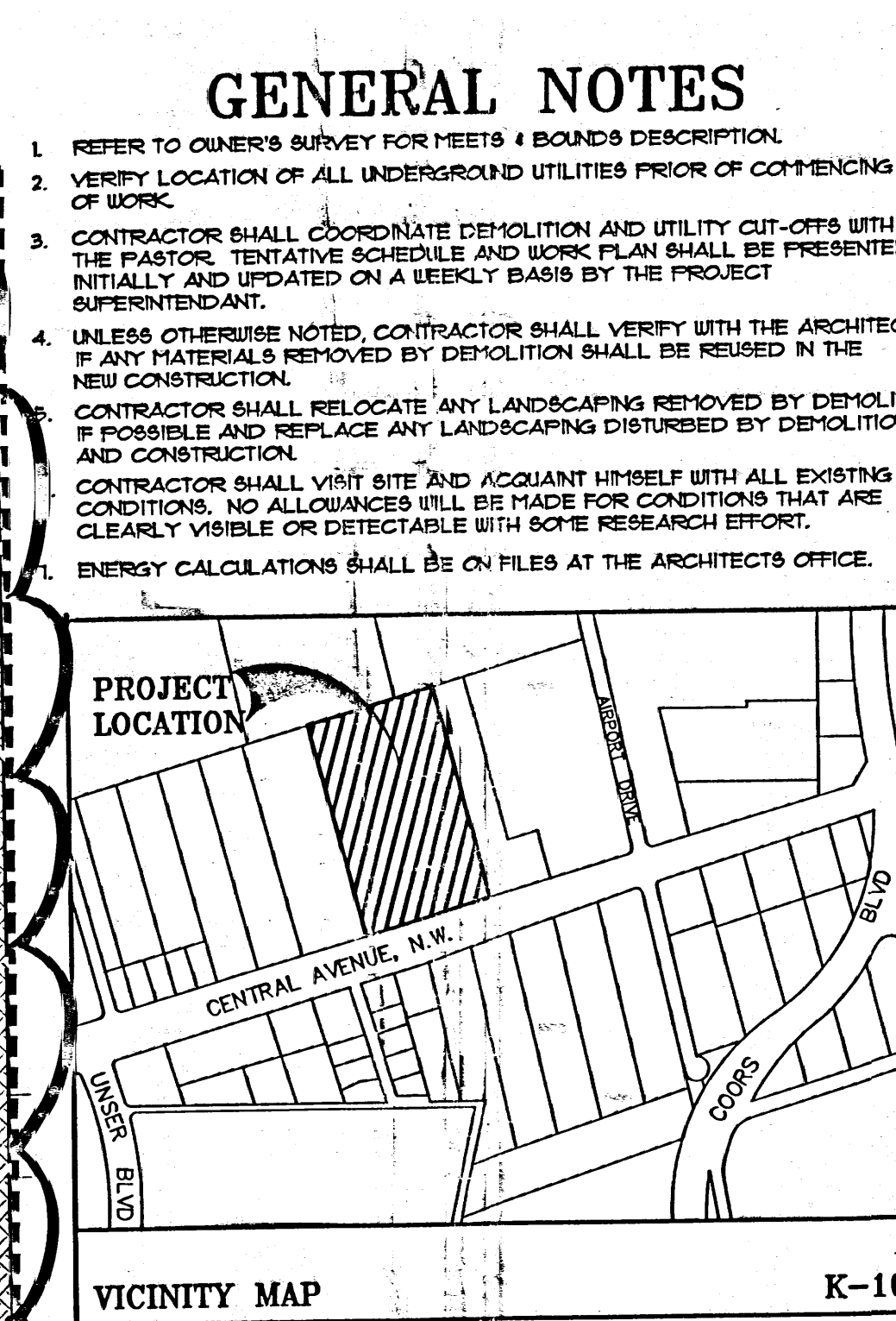
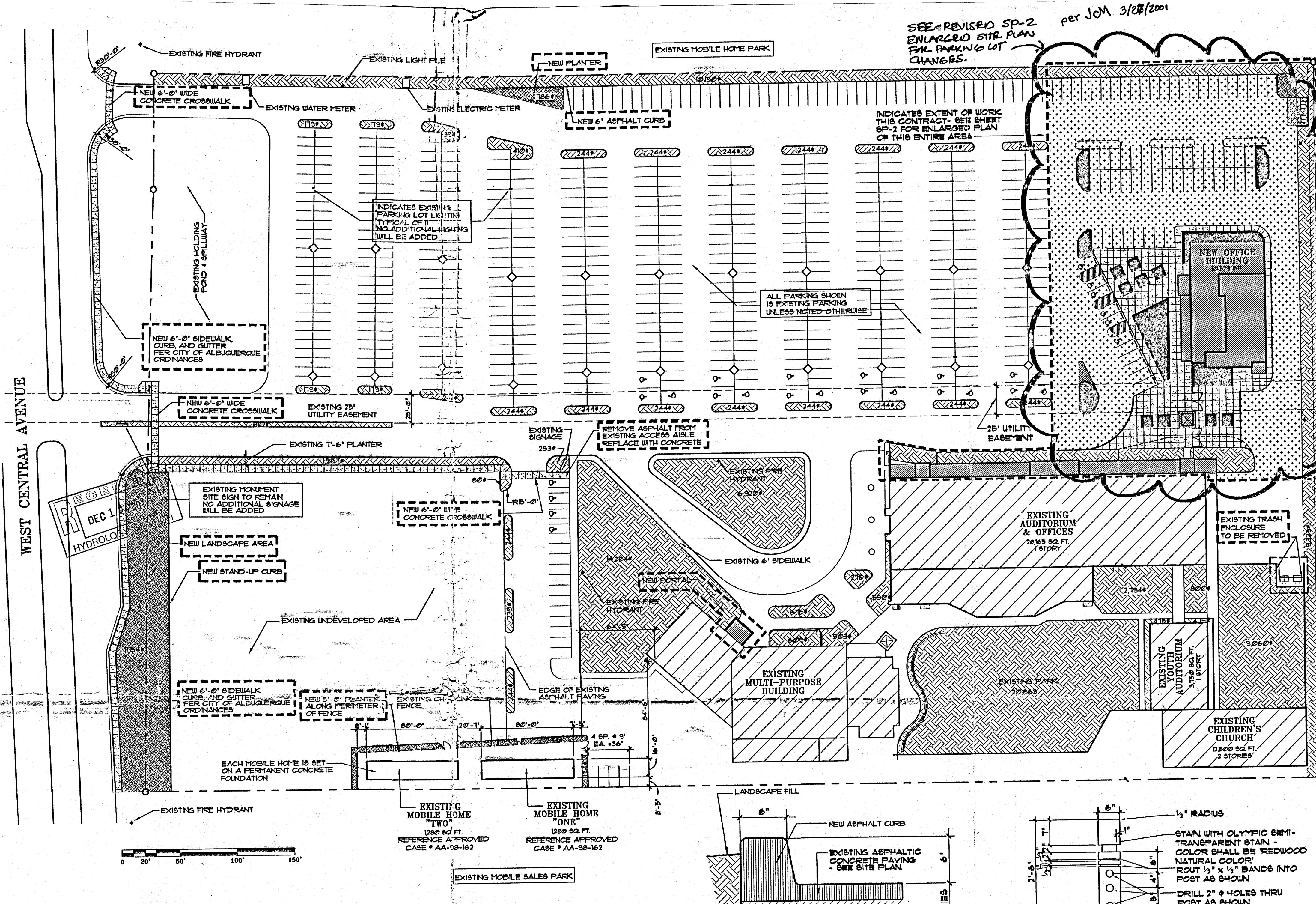
C2

GRADING PLAN

SCALE: 1"=30'

a LPDJ architects LLC





BUILDING CRITERIA

PROJECT: VICTORY LOVE FELLOWSHIP CHURCH
1201 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO

OWNER: VICTORY LOVE FELLOWSHIP CHURCH
1201 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO

ARCHITECT: CLAUDIO VIGIL ARCHITECTS
825 PENNSYLVANIA STREET, N.E.
ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION: TRACT A-1, LANDS OF VICTORY LOVE FELLOWSHIP CHURCH

ZONING ATLAS MAP: K-10-Z
ZONING CLASSIFICATION: SU-1
BUILDING TYPE: ADMINISTRATION OFFICE BUILDING
CONSTRUCTION TYPE: V-N
OCCUPANT LOAD: 38 OCCUPANTS
OCCUPANCY GROUP: OFFICES: B

NUMBER OF FLOORS: TWO
GROSS SQUARE FOOTAGE:

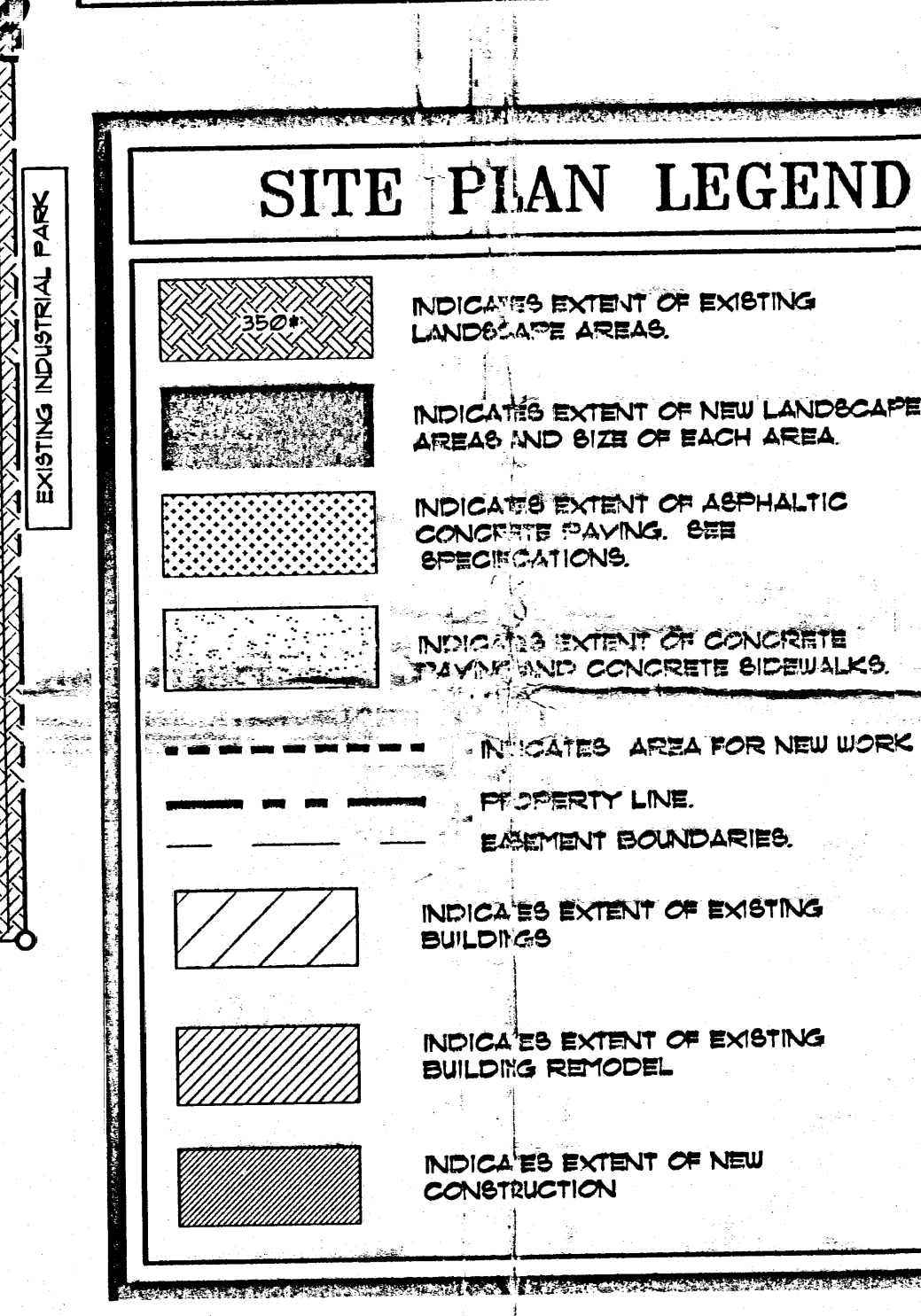
FIRST FLOOR	1118 SQ. FT.
SECOND FLOOR	3710 SQ. FT.
TOTAL	4828 SQ. FT.

NET USEABLE SQUARE FOOTAGE:

FIRST FLOOR	SECOND FLOOR	
OFFICE	OFFICE	15318 SQ. FT.
BREAKROOM/KITCHEN	STORAGE	176 SQ. FT.
WAITING	RESTROOMS	283 SQ. FT.
STORAGE	CIRCULATION	808 SQ. FT.
RESTROOMS	TOTAL	16248 SQ. FT.
MECHANICAL		
CIRCULATION		
TOTAL		

ALLOWABLE AREA:
B OCCUPANCY + V-N CONSTRUCTION = 8000 SQ. FT.
SEPARATION ON THREE SIDES = 426.3%
TOTAL = 10,104 SQ. FT.

EXIT WIDTH REQUIRED: 20', 32' MIN.
EXIT WIDTH PROVIDED: 9'-0"
NUMBER OF EXITS PROVIDED: TWO
BUILDING HEIGHT ABOVE GRADE: 21'-0"
SEISMIC ZONE: 2B
DEVELOPMENT PLAN FILE NUMBER: Z-85-01, DRB-85-239



PARKING ANALYSIS

EXISTING AUDITORIUM:
SAUNTERY - 2,428 OCCUPANT LOAD/6 = 404.67 SPACES
ROCKSTORE - 143 SQUARE FEET/200 = 3.75 SPACES
OFFICES - 4,504 SQUARE FEET/200 = 22.52 SPACES
TOTAL = 430.94 SPACES

EXISTING MULTI-PURPOSE BUILDING:
154 OCCUPANT LOAD/3 = 23.33 SPACES

EXISTING YOUTH AUDITORIUM:
3,750 SQUARE FEET = 12 SPACES

EXISTING CHILDREN'S CHURCH:
12,500 SQUARE FEET = 2 SPACES

OCCUPANTS OF THESE FACILITIES PRIMARILY ARE CHILDREN WHO ARE BROUGHT BY THEIR PARENTS ATTENDING CHURCH SERVICES IN THE MAIN AUDITORIUM. THE ACTUAL NUMBER OF OCCUPANTS WHO REQUIRE A PARKING SPACE IS A STAFF OF 24 DURING CHURCH SERVICES.

EXISTING MOBILE HOMES EACH (2) = 1280 SQUARE FEET
2 SPACES PER MOBILE HOME
(4) TOTAL

NEW ADMINISTRATIVE OFFICE BUILDING:
1126 SQUARE FEET/200 = 5.63 SPACES

TOTAL PARKING SPACES REQUIRED:
SEE REQUIREMENTS FOR EACH BUILDING TYPE. ALL BUILDINGS ARE NOT USED SIMULTANEOUSLY.
TOTAL PARKING SPACES PROVIDED: 122 PARKING SPACES (INCLUDING HANDICAP PARKING SPACES AND 12 SMALL CAR PARKING SPACES)

LANDSCAPE AREA REQUIRED:
(145 ACRES - 15,392 TOTAL BLDG AREA) x 15% = 83,434 SF.

LANDSCAPE AREA PROVIDED:
108,048 SF.

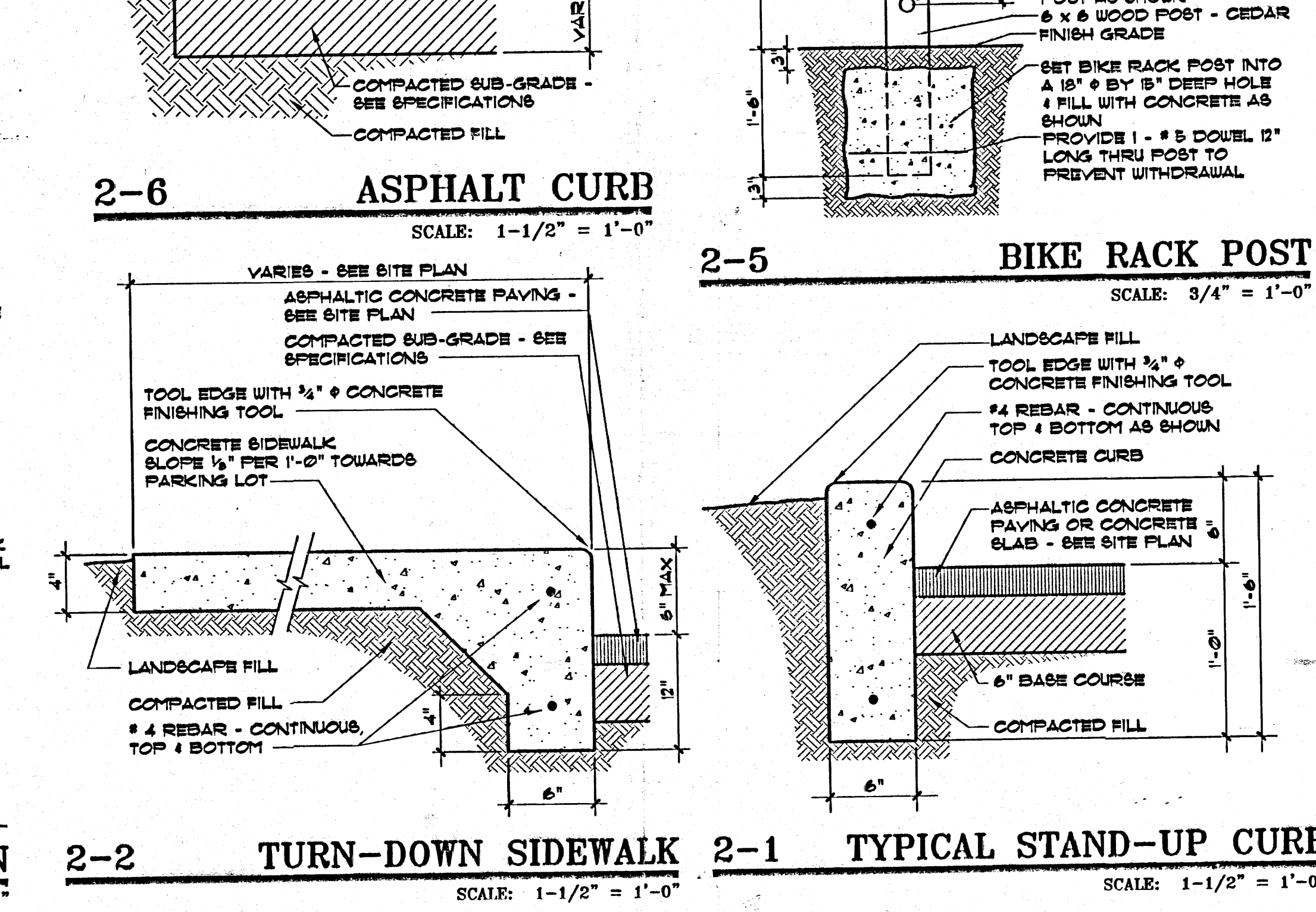
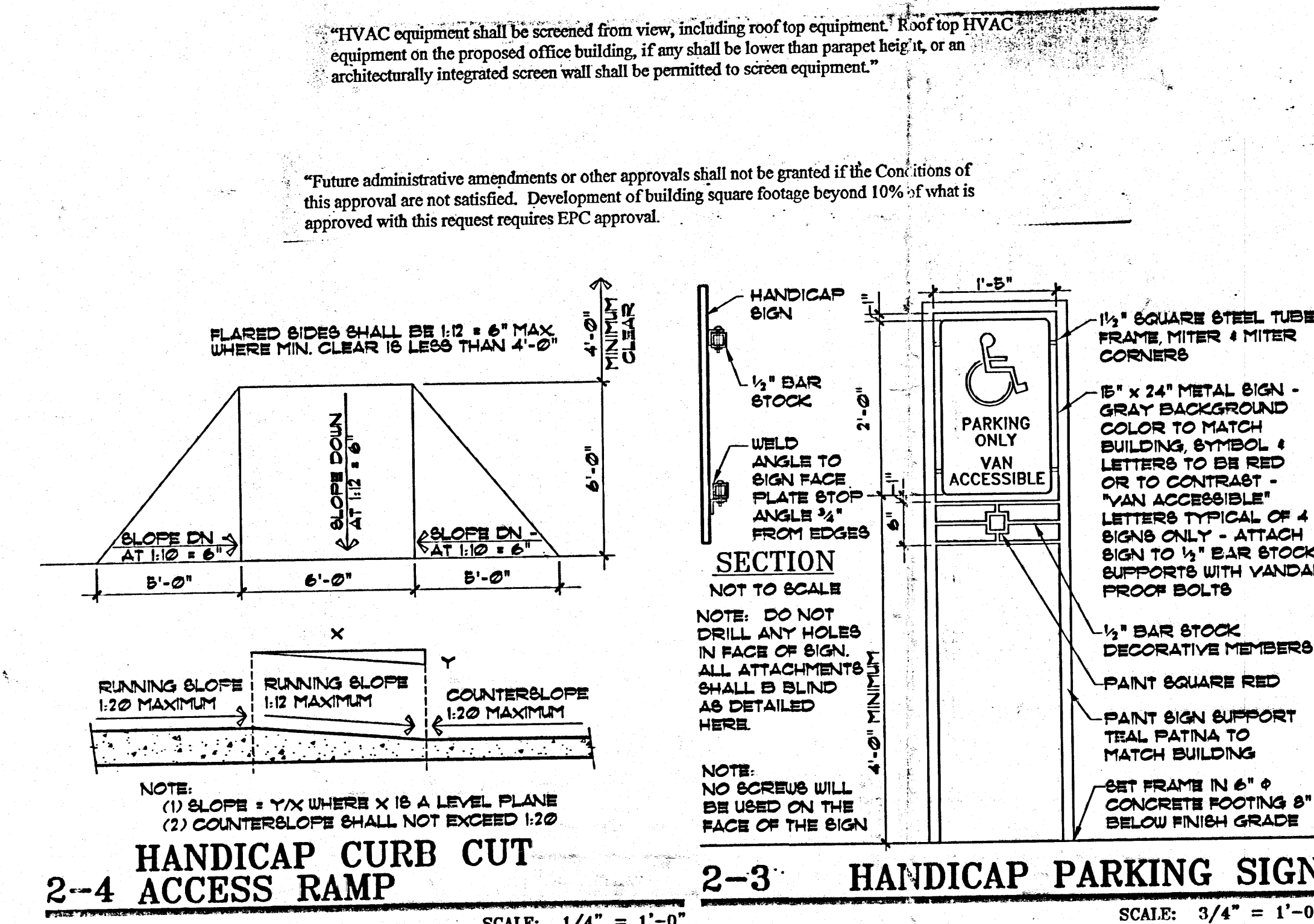
BICYCLE SPACES:
REQUIRED PARKING FOR - 55/20 = 2.75 BICYCLE SPACES
ADMINISTRATIVE OFFICES
TOTAL BICYCLE SPACES REQUIRED: 3 BICYCLE SPACE
TOTAL BICYCLE SPACES PROVIDED: 3
(1 BICYCLE RACK POST AT 3 BICYCLES PER POST)

SITE LIGHTING:
PARKING LOT LIGHTING, TYPICAL OF 1 POLE MOUNTED LIGHTS TO REMAIN. NO ADDITIONAL POLE LIGHTS TO BE ADDED. EXTENT OF LIGHTING ON NEW BUILDING TO BE LOCATED UNDER PORTALS.

NORTH

AUGUST 8, 2000

SCALE: 1" = 50'-0"



SIGNATURE BLOCK

Application 00450- D.R. CASE NO. 1000418
000001145 E.P.C. CASE NO. 06123-00000-00451

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON June 15, 2000, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH.

SITE DEVELOPMENT PLAN
TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Paul D. D... 7-13-00
DATE

PARKS & RECREATION DEPARTMENT
Mic... 8/22/00
DATE

PUBLIC WORKS, WATER UTILITIES DIVISION
R... 8-16-00
DATE

CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE
... 8-23-00
DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.
... 9-4-00
DATE

CITY PLANNER, ALBUQUERQUE
... 11/14/00
DATE

PLNZ(10708) 4/08

VICTORY LOVE FELLOWSHIP CHURCH

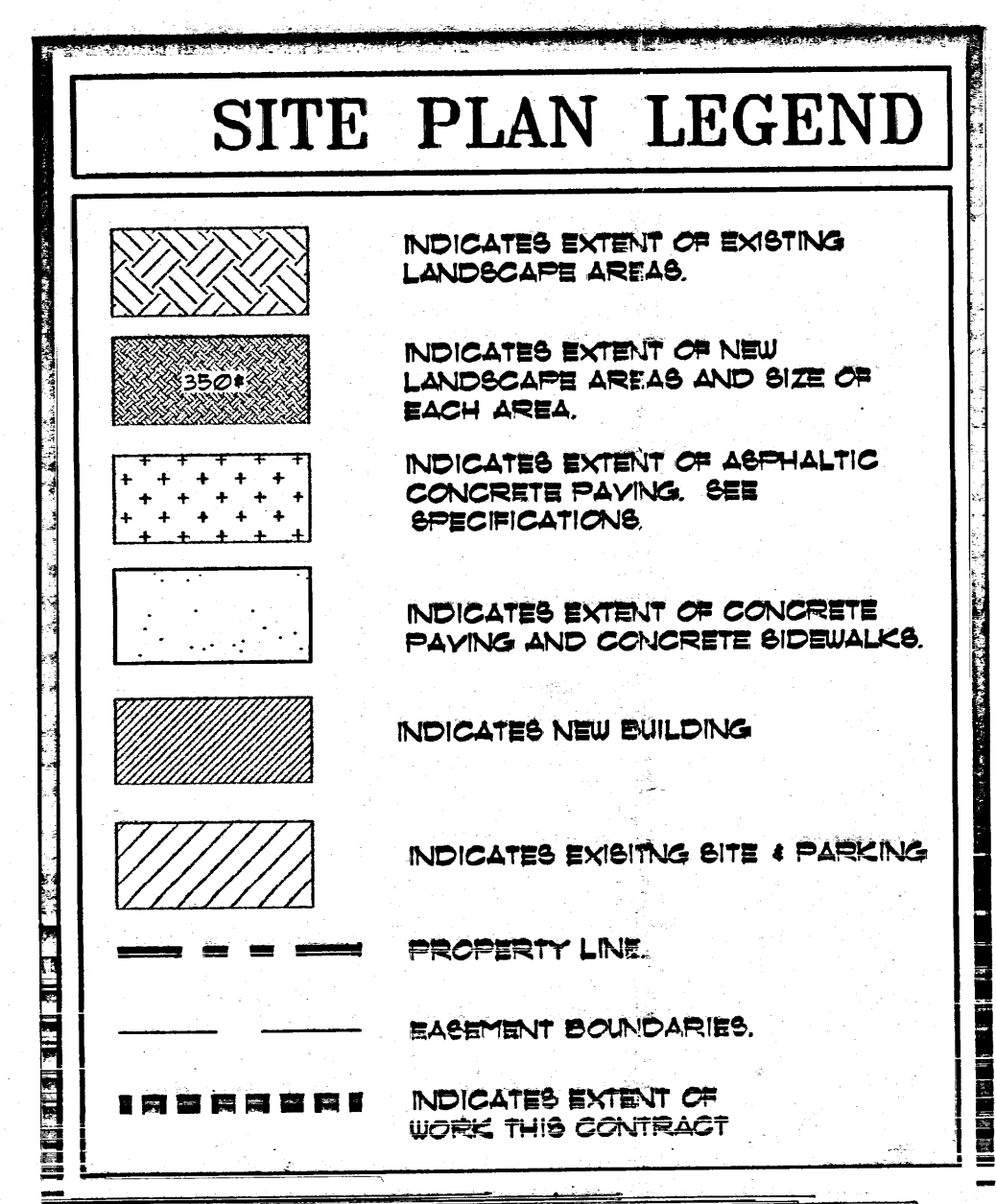
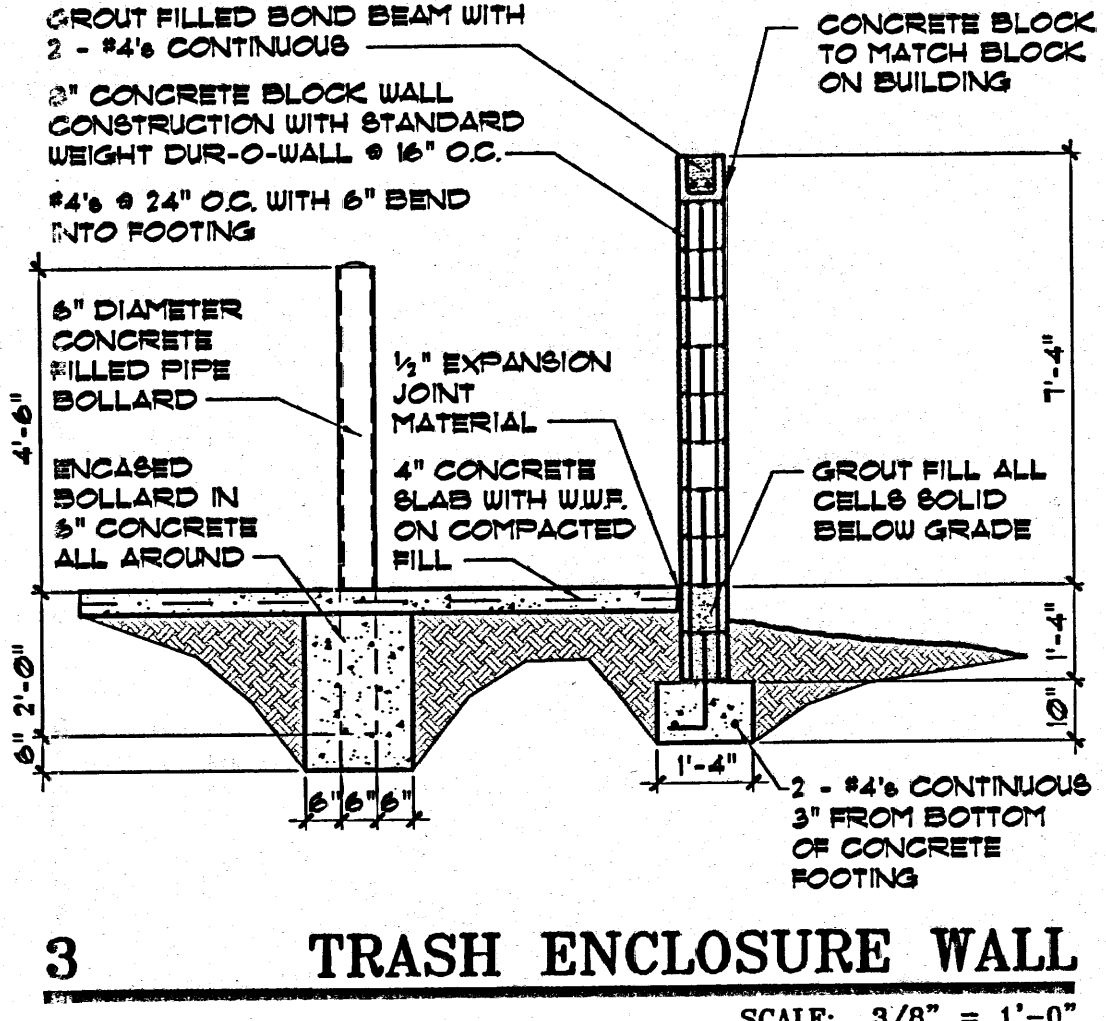
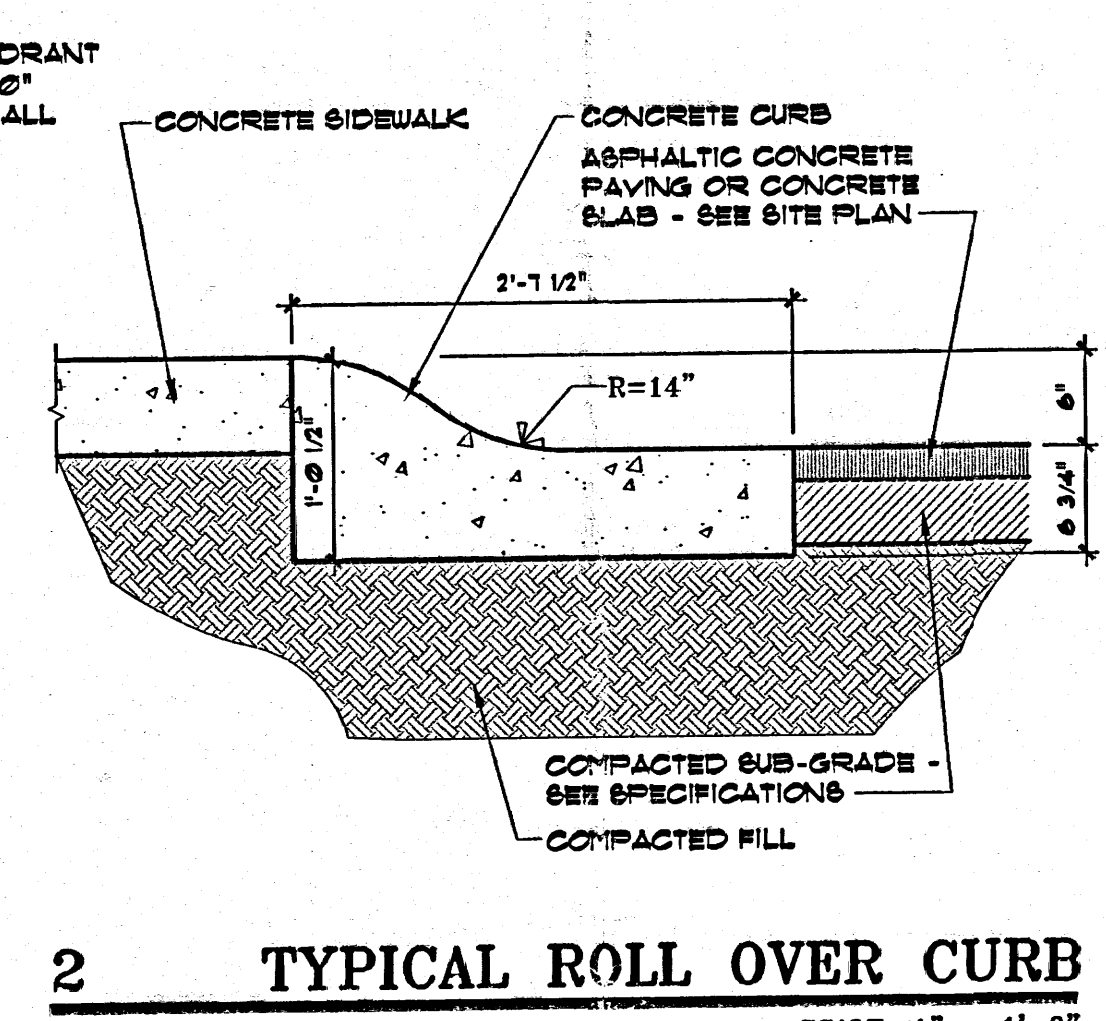
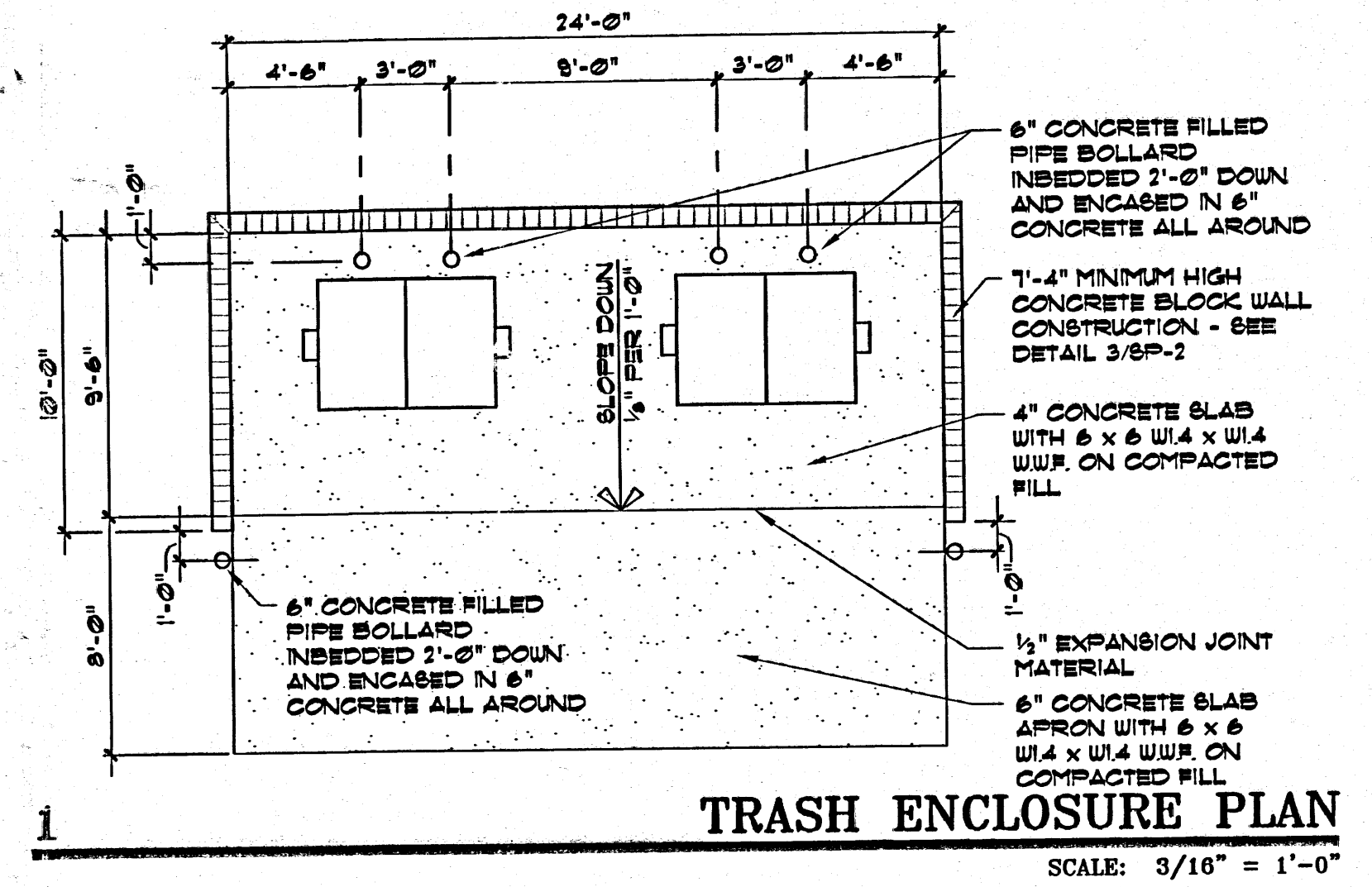
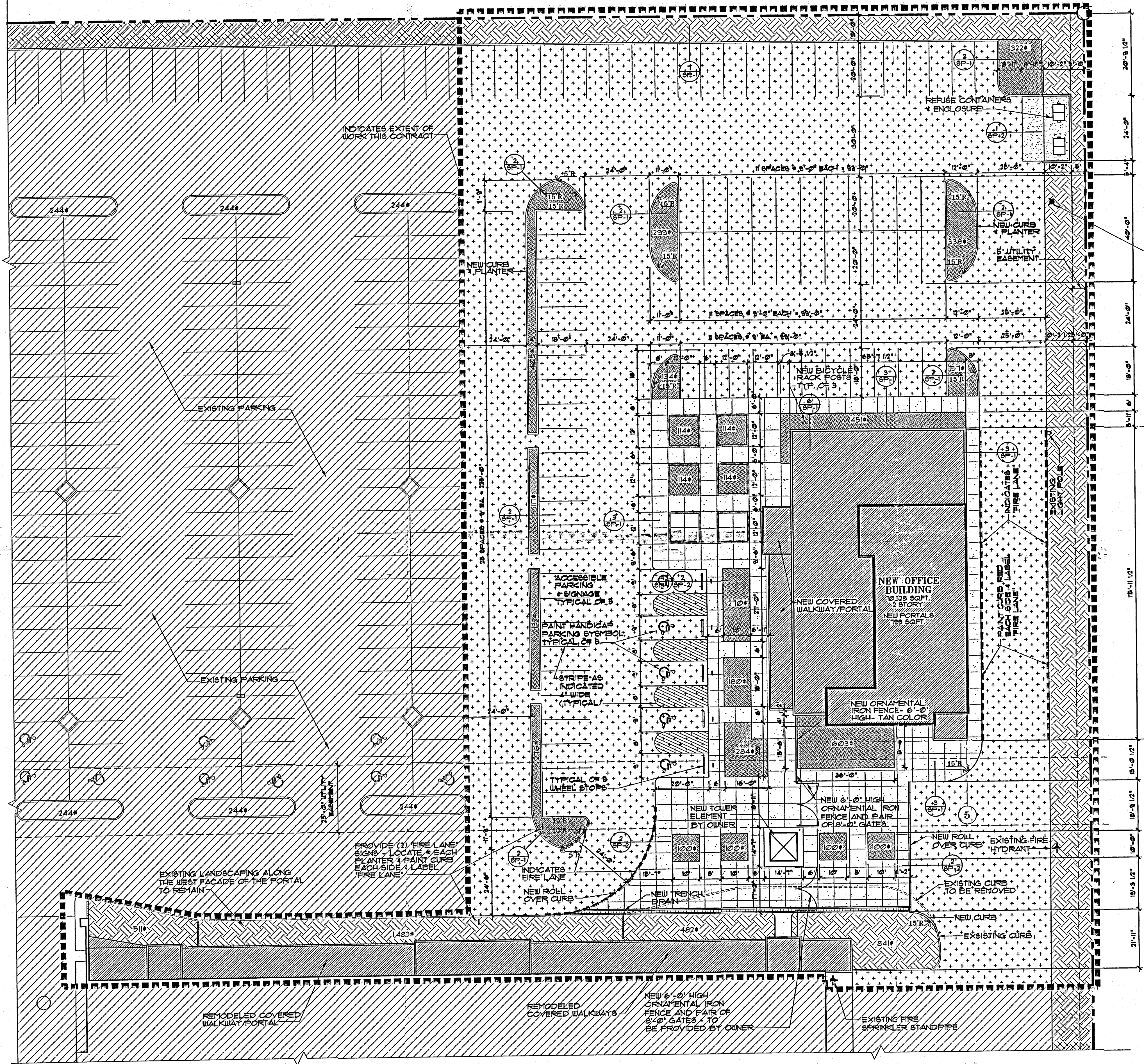
7201 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO

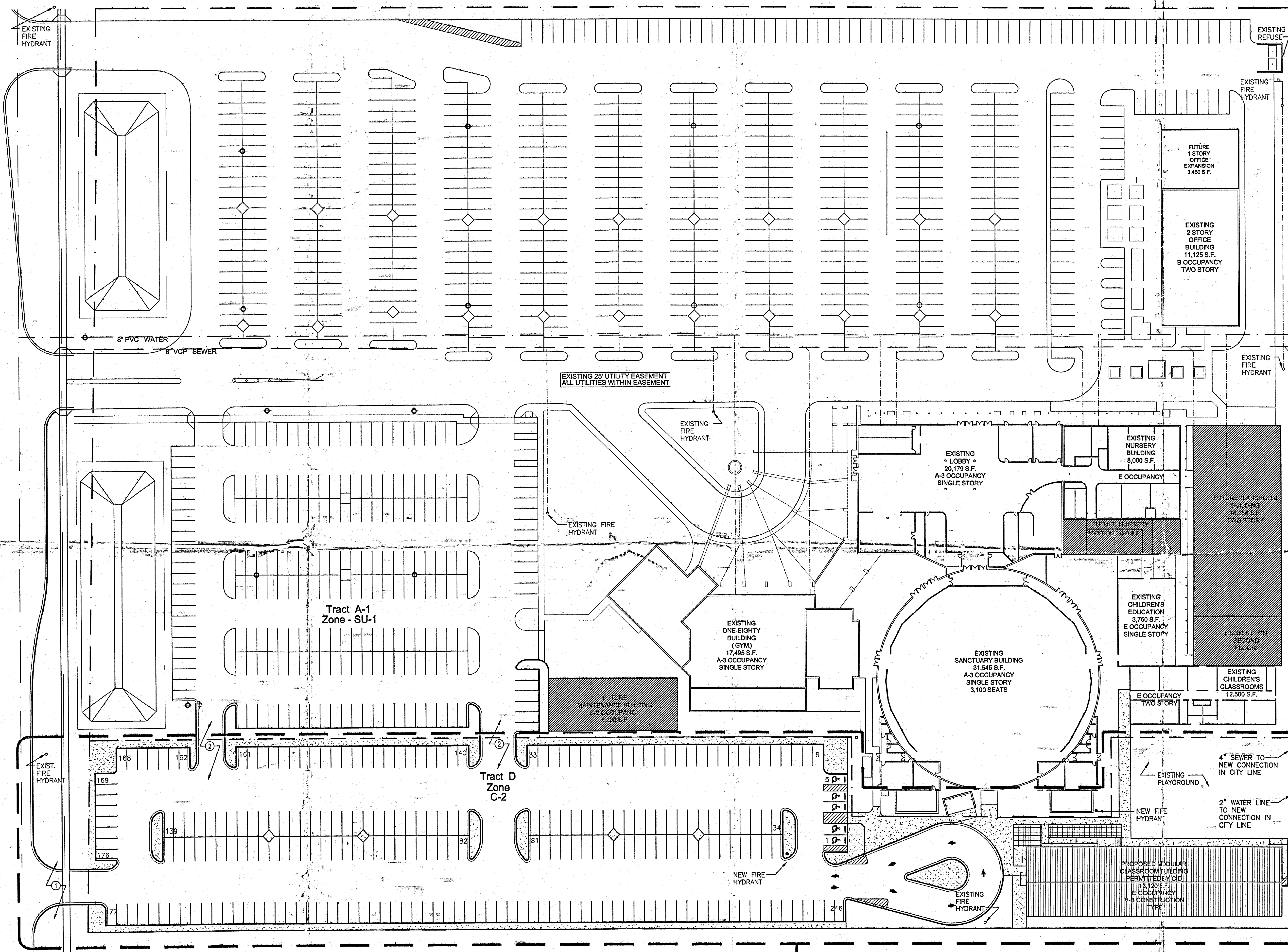
CLAUDIO VIGIL ARCHITECTS

STATE OF NEW MEXICO
REGISTERED ARCHITECT
ANTONIO VIGIL
1236
12/10/01

SHEET
SP-1

1305 Tijeras NW Albuquerque, NM 87102-2882
Phone: 505/842-1113 Fax: 505/842-1330





Overall Site Plan

All construction per this contract to be on Tract D, Zoned C-2

SEE ENLARGED SITE
PLAN ON SHEET A-2

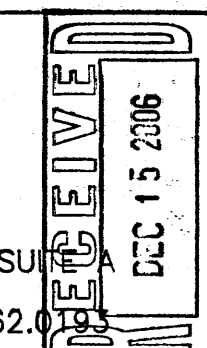
1"=40'-0"

Keyed Notes

- ALL IMPROVEMENTS ALONG CENTRAL SOUTH OF PROPERTY LINE ARE PART OF SEPARATE CONTRACT. THIS INCLUDES NEW CURB CUT AND DRIVE PAD INTO NEW PARKING AREA. THIS WORK CAN BE REVIEWED UNDER C.O.A. DRB NUMBER 74081.
- CROSS LOT ACCESS EASEMENT BETWEEN TRACTS A-1 AND D AS PER PROPERTY RE-F.A.T.

Project Data

OWNER: LEGACY CHURCH
OWNERS REP: DANIEL McCABE
EXECUTIVE DIRECTOR
505.831.0951
ARCHITECT: BRISCOE ARCHITECTS, P.C.
2001 CARLISLE BLVD. NE, SUITE A
ALBUQUERQUE, NM 87110
JOHN BRISCOE AIA 505.262.0193
BUILDING ADDRESS: 7101 CENTRAL AVE. NW
ALBUQUERQUE, NM 87121



Legal Description

TRACT D, LANDS OF VICTORY LOVE FELLOWSHIP CHURCH & BERUMAN-JG ZONED C-2 FOR CHURCH AND RELATED FACILITIES

Project Description

CONSTRUCTION OF NEW PARKING LOT INCLUDING SIDEWALKS AND LANDSCAPING, AS WELL AS THE DEVELOPMENT OF SITE FOR A NEW 13,120 S.F. PRE-ENGINEERED PORTABLE CLASSROOM BUILDING. OCCUPANCY CLASSIFICATION E, CONSTRUCTION TYPE V-B. (THIS BUILDING WILL BE SUBMITTED FOR PERMIT THROUGH CONSTRUCTION INDUSTRY DIVISION, STATE OF NEW MEXICO.)

Parking Requirements

1 PARKING SPACE REQUIRED PER EACH EMPLOYEE.
MAXIMUM EMPLOYEES FOR NEW CLASSROOM BUILDING = 30

30 SPACES REQUIRED
246 NEW SPACES PROVIDED

2 HANDICAP SPACES REQUIRED
5 HANDICAP SPACES PROVIDED

2 BICYCLE SPACES REQUIRED
4 BICYCLE SPACES PROVIDED

Paving Notes

ALL SIDEWALKS, RAMPS, DRIVE ENTRANCES, SHALL MEET CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL STANDARD REQUIREMENTS

	ASPHALTIC CONCRETE	AGGREGATE BASE COURSE
AUTOMOBILE PARKING	3"	-
AUTOMOBILE DRIVEWAYS	3"	-
SEMI-TRUCK AREAS	3"	6"

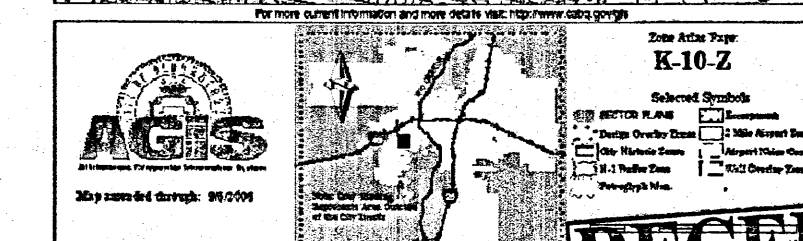
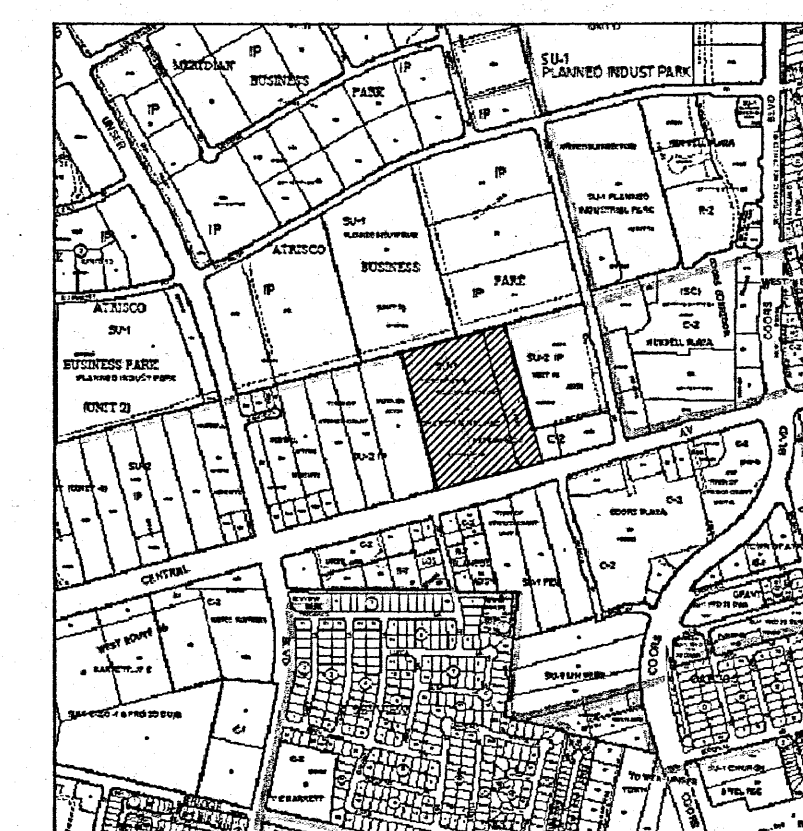
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PRIOR TO PLACING AGGREGATE BASE COURSE OR ASPHALTIC CONCRETE, A SOIL STERILANT SHALL BE APPLIED AS PER THE MANUFACTURER'S RECOMMENDATIONS. THE ABOVE PAVEMENT RECOMMENDATIONS ASSUME THE PAVEMENT SUBGRADE WILL CONSIST OF ON-SITE SILTY SAND SOILS. IF THE SUBGRADE CONSISTS OF IMPORTED SOIL, THE IMPORT SHOULD BE SIMILAR TO THE ON-SITE SOILS. IF THIS IS NOT POSSIBLE, ARCHITECT SHALL BE NOTIFIED AND MODIFICATION OF THE ABOVE PAVEMENT MAY BE NECESSARY. FILE IN UTILITY LINE TRENCHES BELOW THE PAVEMENT MUST BE PROPERLY COMPACTED TO PREVENT LOCALIZED PAVEMENT SETTLEMENT. TO MINIMIZE SETTLEMENT AND MAINTENANCE OF THE PAVEMENT, ALL TRENCHES SHOULD BE BACKFILLED WITH COMPACTED FILL.

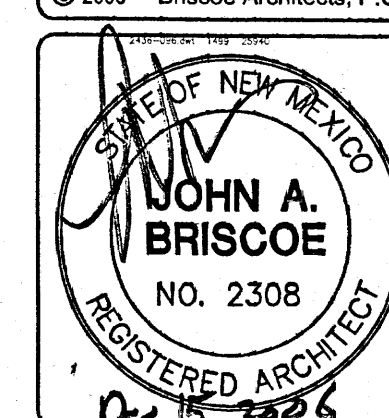
Electrical Notes

PROVIDE NEW SERVICE FROM EXISTING O.H. LINE IN ADJACENT EASMENT ALONG THE NORTH PROPERTY LINE.



RECEIVED

30 August 2008
1408-2008
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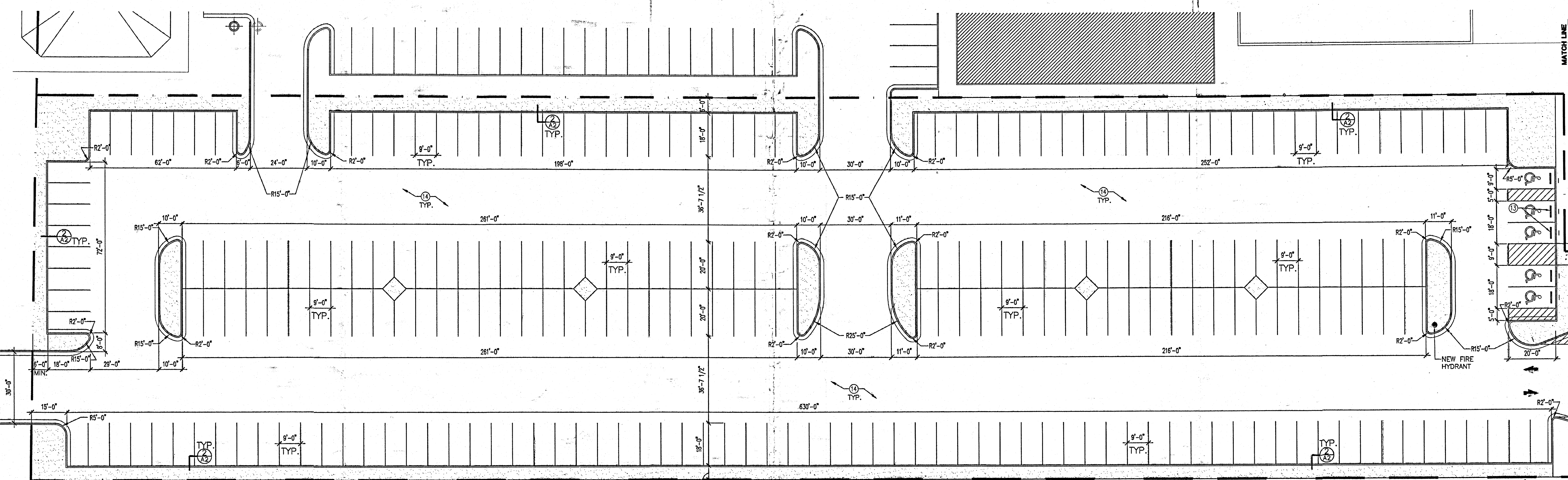


30 August 2008
Briscoe Architects, P.C.
ARCHITECTURAL SERVICES
COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE, SUITE A
ALBUQUERQUE, NM 87110-4943
V: 505.262.0193 F: 505.881.9114 E: briscoe@man.com

Legacy Church
Site Modifications
7101 Central Avenue NW
Albuquerque, NM

SHEET NO.
A-1



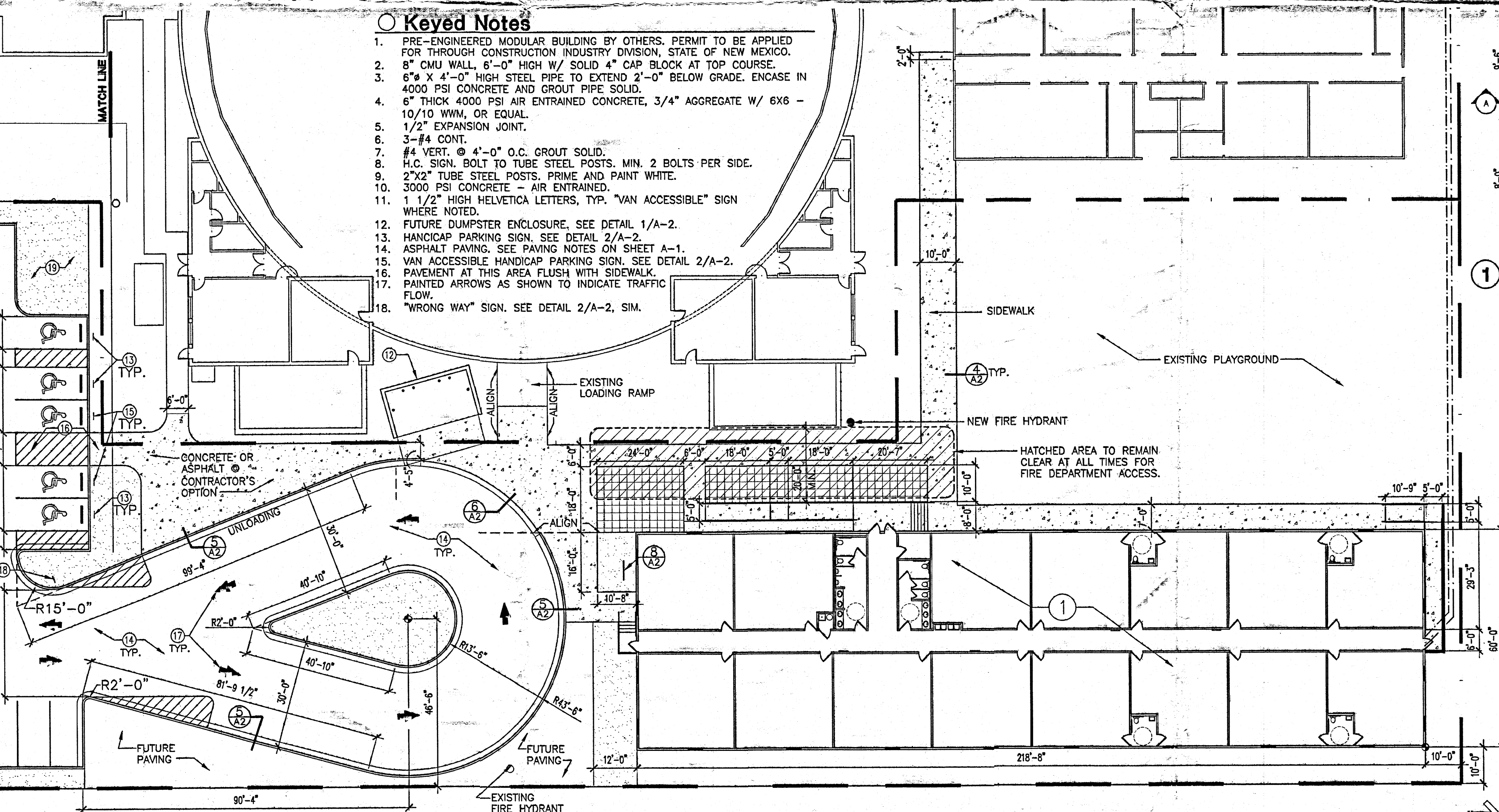
Enlarged Site Plan - South

Legend

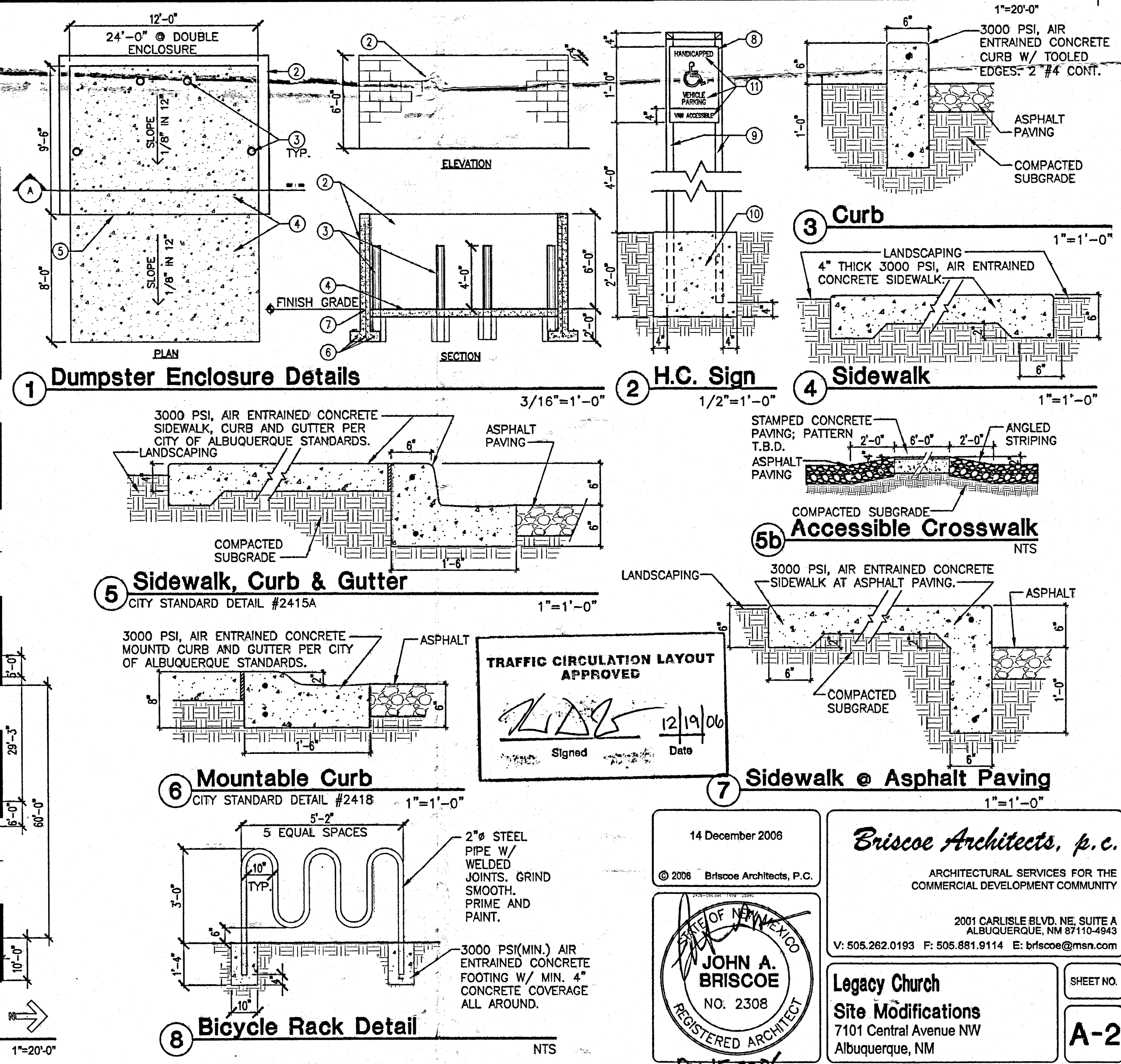
- CONCRETE
- LANDSCAPING AREAS SEE LANDSCAPING PLAN
- "GRASSCRETE" PAVERS, OR EQUAL. SUBMIT PAVEMENT STYLE SAMPLES TO ARCHITECT FOR APPROVAL.

Keyed Notes

1. PRE-ENGINEERED MODULAR BUILDING BY OTHERS. PERMIT TO BE APPLIED FOR THROUGH CONSTRUCTION INDUSTRY DIVISION, STATE OF NEW MEXICO.
2. 8" CMU WALL, 6'-0" HIGH W/ SOLID 4" CAP BLOCK AT TOP COURSE.
3. 6" X 4'-0" HIGH STEEL PIPE TO EXTEND 2'-0" BELOW GRADE. ENCASE IN 4000 PSI CONCRETE AND GROUT PIPE SOLID.
4. 6" THICK 4000 PSI AIR ENTRAINED CONCRETE, 3/4" AGGREGATE W/ 6X6 - 10/10 WWM, OR EQUAL.
5. 1/2" EXPANSION JOINT.
6. 3-#4 CONT.
7. #4 VERT. @ 4'-0" O.C. GROUT SOLID.
8. H.C. SIGN. BOLT TO TUBE STEEL POSTS. MIN. 2 BOLTS PER SIDE.
9. 2"x2" TUBE STEEL POSTS. PRIME AND PAINT WHITE.
10. 3000 PSI CONCRETE - AIR ENTRAINED.
11. 1 1/2" HIGH HELVETICA LETTERS, TYP. "VAN ACCESSIBLE" SIGN WHERE NOTED.
12. FUTURE DUMPSTER ENCLOSURE. SEE DETAIL 1/A-2.
13. HANDICAP PARKING SIGN. SEE DETAIL 2/A-2.
14. ASPHALT PAVING. SEE PAVING NOTES ON SHEET A-1.
15. VAN ACCESSIBLE HANDICAP PARKING SIGN. SEE DETAIL 2/A-2.
16. PAVEMENT AT THIS AREA FLUSH WITH SIDEWALK.
17. PAINTED ARROWS AS SHOWN TO INDICATE TRAFFIC FLOW.
18. "WRONG WAY" SIGN. SEE DETAIL 2/A-2, SIM.



Enlarged Site Plan - North



14 December 2006

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JOHN A. BRISCOE
NO. 2308
REGISTERED ARCHITECT

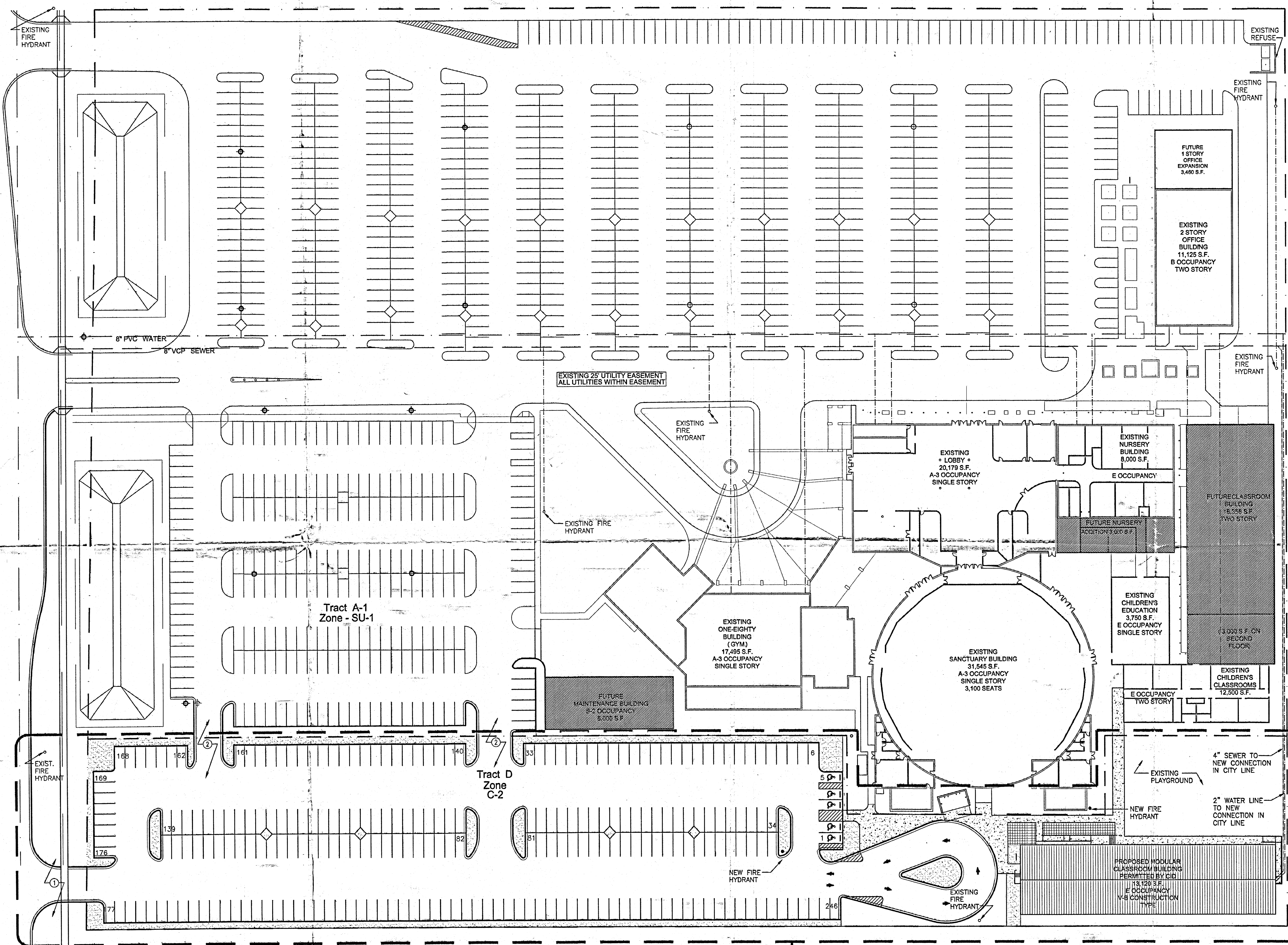
Dec 15 2006

Briscoe Architects, p.c.

ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE SUITE A
ALBUQUERQUE, NM 87110-4943
V: 505.262.0193 F: 505.881.9114 E: briscoe@msn.com

Legacy Church
Site Modifications
7101 Central Avenue NW
Albuquerque, NM



Project Data

OWNER: LEGACY CHURCH
 OWNERS REP: DANIEL McCABE
 EXECUTIVE DIRECTOR
 505.831.0961
 ARCHITECT: BRISCOE ARCHITECTS, P.C.
 2001 CARLISLE BLVD. NE, SUITE A
 ALBUQUERQUE, NM 87110
 JOHN BRISCOE AIA 505.262.0193
 BUILDING ADDRESS: 7101 CENTRAL AVE. NW
 ALBUQUERQUE, NM 87121

Legal Description

TRACT D, LANDS OF VICTORY LOVE FELLOWSHIP CHURCH & BERUMAN-JG ZONED C-2 FOR CHURCH AND RELATED FACILITIES

Project Description

CONSTRUCTION OF NEW PARKING LOT INCLUDING SIDEWALKS AND LANDSCAPING, AS WELL AS THE DEVELOPMENT OF SITE FOR A NEW 13,120 S.F. PRE-ENGINEERED PORTABLE CLASSROOM BUILDING. OCCUPANCY CLASSIFICATION E, CONSTRUCTION TYPE V-B. (THIS BUILDING WILL BE SUBMITTED FOR PERMIT THROUGH CONSTRUCTION INDUSTRY DIVISION, STATE OF NEW MEXICO.)

Parking Requirements

1 PARKING SPACE REQUIRED PER EACH EMPLOYEE.
 MAXIMUM EMPLOYEES FOR NEW CLASSROOM BUILDING = 30

30 SPACES REQUIRED
 246 NEW SPACES PROVIDED

2 HANDICAP SPACES REQUIRED
 5 HANDICAP SPACES PROVIDED

2 BICYCLE SPACES REQUIRED
 4 BICYCLE SPACES PROVIDED

Paving Notes

ALL SIDEWALKS, RAMPS, DRIVE ENTRANCES, SHALL MEET CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL STANDARD REQUIREMENTS

	ASPHALTIC CONCRETE	AGGREGATE BASE COURSE
AUTOMOBILE PARKING	3"	-
AUTOMOBILE DRIVEWAYS	3"	-
SEMI-TRUCK AREAS	3"	6"

AGGREGATE BASE COURSE SHOULD CONSIST OF CLASS I OR CLASS II MATERIAL AS SPECIFIED IN SECTION 302 OF THE "CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION". BASE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.

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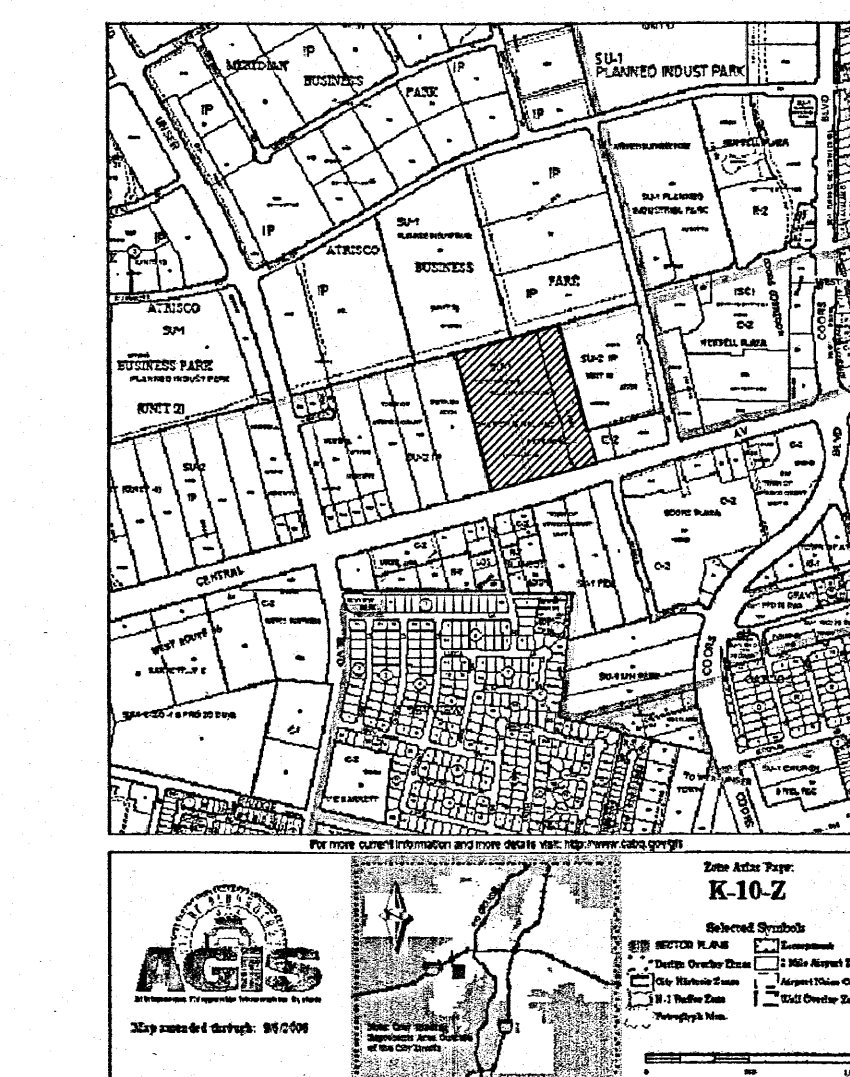
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THE AREA IN FRONT OF REFUSE DUMPSTERS SHOULD BE PAVED WITH PORTLAND CEMENT CONCRETE. SEE DETAIL THIS SHEET.

Electrical Notes

PROVIDE NEW SERVICE FROM EXISTING O.H. LINE IN ADJACENT EASMENT ALONG THE NORTH PROPERTY LINE.



Overall Site Plan

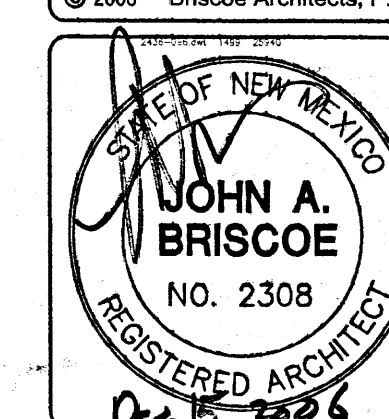
All construction per this contract to be on Tract D, Zoned C-2

SEE ENLARGED SITE PLAN ON SHEET A-2

Keyed Notes

- ALL IMPROVEMENTS ALONG CENTRAL SOUTH OF PROPERTY LINE ARE PART OF SEPARATE CONTRACT. THIS INCLUDES NEW CURB CUT AND DRIVE PAD INTO NEW PARKING AREA. THIS WORK CAN BE REVIEWED UNDER C.O.A. DRB NUMBER 743981.
- CROSS LOT ACCESS EASEMENT BETWEEN TRACTS A-1 AND D AS PER PROPERTY RE-PLAT.

30 August 2008
 14 OCT 2008
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Briscoe Architects, p.c.

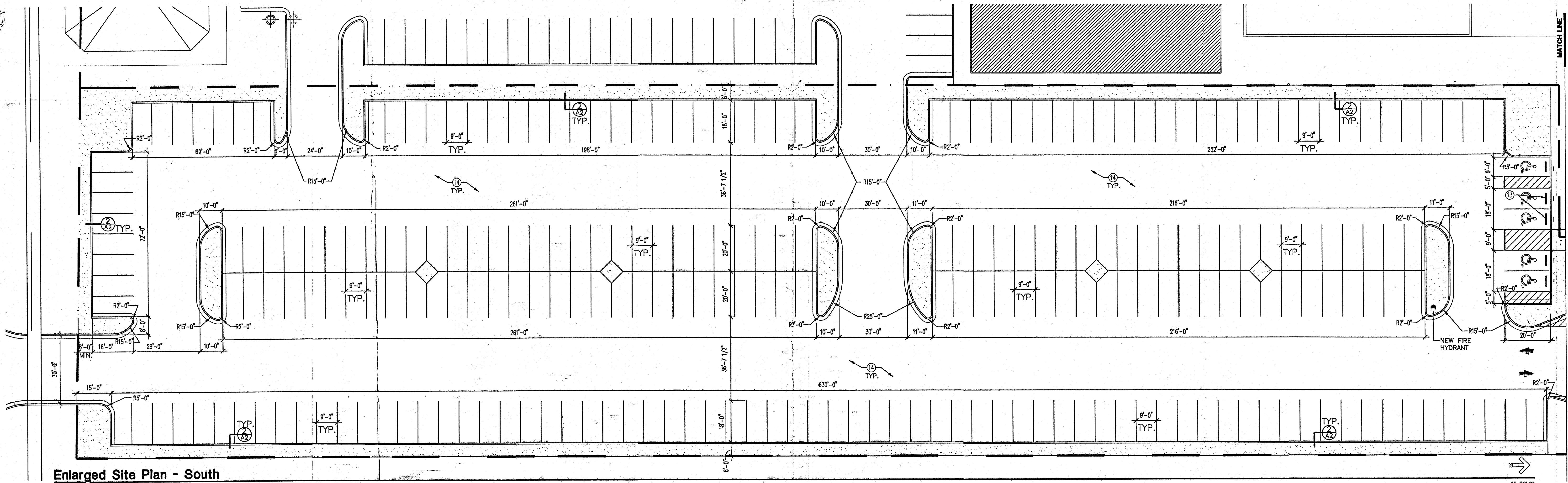
ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY

2001 CARLISLE BLVD. NE, SUITE A
 ALBUQUERQUE, NM 87110-4943
 V: 505.262.0193 F: 505.881.8114 E: briscoe@man.com

Legacy Church
Site Modifications
 7101 Central Avenue NW
 Albuquerque, NM

SHEET NO.

A-1



Enlarged Site Plan - South

Legend

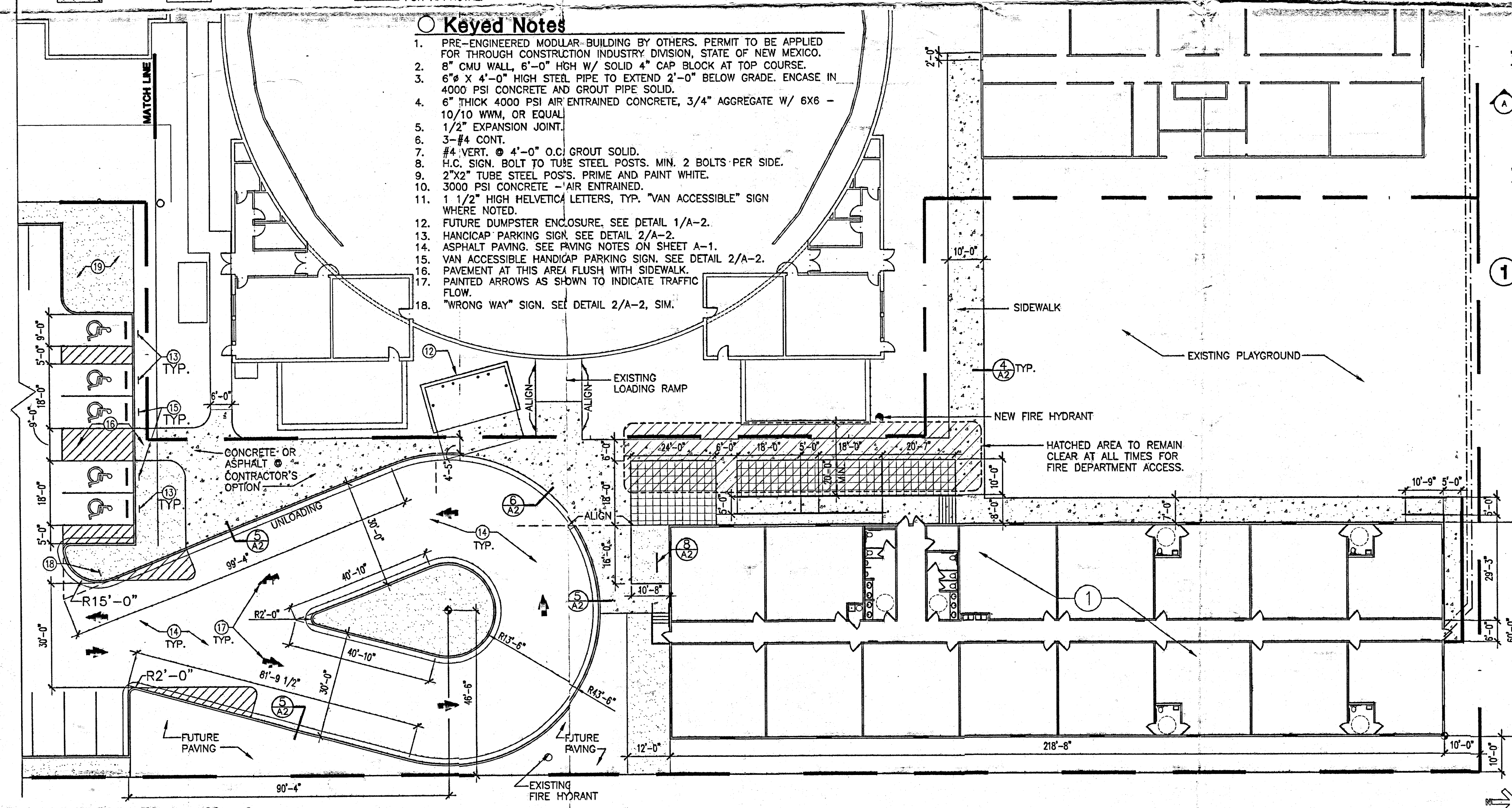
CONCRETE

LANDSCAPING AREAS
SEE LANDSCAPING PLAN

"GRASSCORE" PAVERS, OR EQUAL.
SUBMIT PAVEMENT STYLE SAMPLES TO ARCHITECT
FOR APPROVAL.

Keyed Notes

1. PRE-ENGINEERED MODULAR-BUILDING BY OTHERS. PERMIT TO BE APPLIED FOR THROUGH CONSTRUCTION INDUSTRY DIVISION, STATE OF NEW MEXICO.
2. 8" CMU WALL, 6'-0" HIGH W/ SOLID 4" CAP BLOCK AT TOP COURSE.
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4. 6" THICK 4000 PSI AIR ENTRAINED CONCRETE, 3/4" AGGREGATE W/ 6X6 - 10/10 W/M, OR EQUAL.
5. 1/2" EXPANSION JOINT.
6. 3-#4 CONT.
7. #4 VERT. @ 4'-0" O.C. GROUT SOLID.
8. H.C. SIGN. BOLT TO TUBE STEEL POSTS. MIN. 2 BOLTS PER SIDE.
9. 2"x2" TUBE STEEL POSTS. PRIME AND PAINT WHITE.
10. 3000 PSI CONCRETE - AIR ENTRAINED.
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12. FUTURE DUMPSTER ENCLOSURE. SEE DETAIL 1/A-2.
13. HANDICAP PARKING SIGN. SEE DETAIL 2/A-2.
14. ASPHALT PAVING. SEE PAVING NOTES ON SHEET A-1.
15. VAN ACCESSIBLE HANDICAP PARKING SIGN. SEE DETAIL 2/A-2.
16. PAVEMENT AT THIS AREA FLUSH WITH SIDEWALK.
17. PAINTED ARROWS AS SHOWN TO INDICATE TRAFFIC FLOW.
18. "WRONG WAY" SIGN. SEE DETAIL 2/A-2, SIM.



Enlarged Site Plan - North

1 Dumpster Enclosure Details

PLAN: 24'-0" @ DOUBLE ENCLOSURE, SLOPE 1/8" IN 12".

SECTION: FINISH GRADE, 3/16"=1'-0".

2 H.C. Sign

1/2"=1'-0".

3 Curb

1"=1'-0".

4" THICK 3000 PSI AIR ENTRAINED CONCRETE SIDEWALK.

4 Sidewalk

1"=1'-0".

STAMPED CONCRETE PAVING: PATTERN 2'-0" x 6'-0" x 2'-0" ANGLED STRIPING T.B.D. ASPHALT PAVING.

5b Accessible Crosswalk

NTS.

3000 PSI AIR ENTRAINED CONCRETE SIDEWALK AT ASPHALT PAVING.

5 Sidewalk, Curb & Gutter

CITY STANDARD DETAIL #2415A.

3000 PSI AIR ENTRAINED CONCRETE MOUNTED CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARDS.

6 Mountable Curb

CITY STANDARD DETAIL #2418.

1"=1'-0".

5 EQUAL SPACES.

2"Ø STEEL PIPE W/ WELDED JOINTS. GRIND SMOOTH. PRIME AND PAINT.

3000 PSI (MIN.) AIR ENTRAINED CONCRETE FOOTING W/ MIN. 4" CONCRETE COVERAGE ALL AROUND.

7 Sidewalk @ Asphalt Paving

1"=1'-0".

8 Bicycle Rack Detail

NTS.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: [Signature] Date: 12/14/06

14 December 2006

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Briscoe Architects, p.c.

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Legacy Church

Site Modifications

7101 Central Avenue NW Albuquerque, NM

SHEET NO. **A-2**

Dec 15 2006