

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 17, 2023

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: Legacy Church – Shade Structure
Grading and Drainage Plan
Engineer's Stamp Date: 11/02/22
Hydrology File: K10D015**

Dear Mr. Soule:

Based upon the information provided in your submittal received 03/31/2023, the Grading & Drainage Plan is approved for Building Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018) LEGACY CHURCH

Project Title: SHADE STRUCTURE **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT 1A1 PLAT OF WEST 66 ADD AND VICTORY LOVE FELLOWSHIP
City Address: 7201 CENTRAL NW **UPC#** 101005726526530710

Applicant: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Floodplain Development Permit Form

Planning Dept., City of Albuquerque

Section 1: General Provisions (Applicant to read and sign)

1. No work of any kind may start until a permit is issued.
2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
4. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature DAVID SOULE Date 4/10/23

Applicant Printed Name DAVID SOULE Phone #: 321.9099

Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Brief Project Description CONSTRUCTION OF NEW ABOVE GROUND SHADE STRUCTURE

Applicant is (check one): Owner ☐ Builder ☐ Engineer/Architect ☒ XX
Project address/Legal Desc/location: TRACT 1A1 WEST 66 ADDITION AND VICTORY LOVE FELOWSHIP
7201 CENTRAL NW

Description of Work (in Special Flood Hazard Area):

A. Building Development

Building Type

☐ New Building

X ☒ Addition

☐ Alteration

☐ Demolition

☐ Residential (1-4 Family)

☐ Residential (More than 4 Family)

X ☒ Commercial

☐ Manufactured Home

Estimated Cost of Project \$ 40000

Existing Structure Value \$ 3000000

%(new/existing): 1.3%

B. Other Development Activities

☐ Clearing ☐ Fill ☐ Drilling ☐ Grading
☐ Excavation, except for Structural Development (checked above)
☐ Watercourse Alteration (Including Dredging and Channel Modifications)
☐ Drainage Improvements
☐ Road, Street or Bridge Construction
☐ Water or Sewer Line Installation
☐ Paving
☐ Walls
☐ Storage of Materials/Equipment for more than 1 Year: Volume (cu. ft.): _____
☒ Other (Please Specify) ABOVE GROUND STRUCTURE

Is there a Grading Plan associated with this work? ☐ Yes ☒ No

Drainage file number: _____



Section 3: Floodplain Determination (Completed by the Floodplain Administrator)

The proposed development is located in a SFHA Zone (circle one): A AE AH AO

And is located on FIRM Panel: 35001C0329H

And is located in a Floodway: ☐ Yes ☐ No

BFE if Applicable: _____

Drainage File Number: _____

Floodplain Permit Number: _____

Building Permit / Work Order #: _____

Site specific Instructions: _____

Signed: _____

Date _____

Printed Name: _____

If proposed development is a building, proceed to Section 4.

Section 4: Requirements for building in a SFHA:

(To be completed by the Floodplain Administrator or Representative)

BFE (unless not available): _____

Minimum Finished Floor Elevation: _____

Minimum Lowest Adjacent Grade: _____

Change in water elevation (if in a Floodway): _____

Is flood-proofing required: ___ Yes ___ No

If yes, method of flood-proofing: _____

An Elevation Certificate is required for structural development in a SFHA. A Certificate of Occupancy will not be granted until the Planning Dept receives the Elevation Certificate.

Section 5: Post Development Certification:

A. For Structural Development:

Elevation Certificate received on Date: _____

Finished Floor Elevation: _____

Lowest Adjacent Grade: _____

The Floodplain Administrator or Representative verifies the above information is
___ acceptable or ___ not acceptable per the City of Albuquerque's Floodplain Ordinance.

The site was visually inspected on Date: _____

Certificate of Occupancy approved on Date: _____

Signature: _____ Date: _____

Printed Name: _____

B: For Other Development Activities: The site
was visually inspected on Date: compliance with _____ and found to be ___ in ___ not in
the approved Floodplain Permit.

Signature: _____ Date: _____

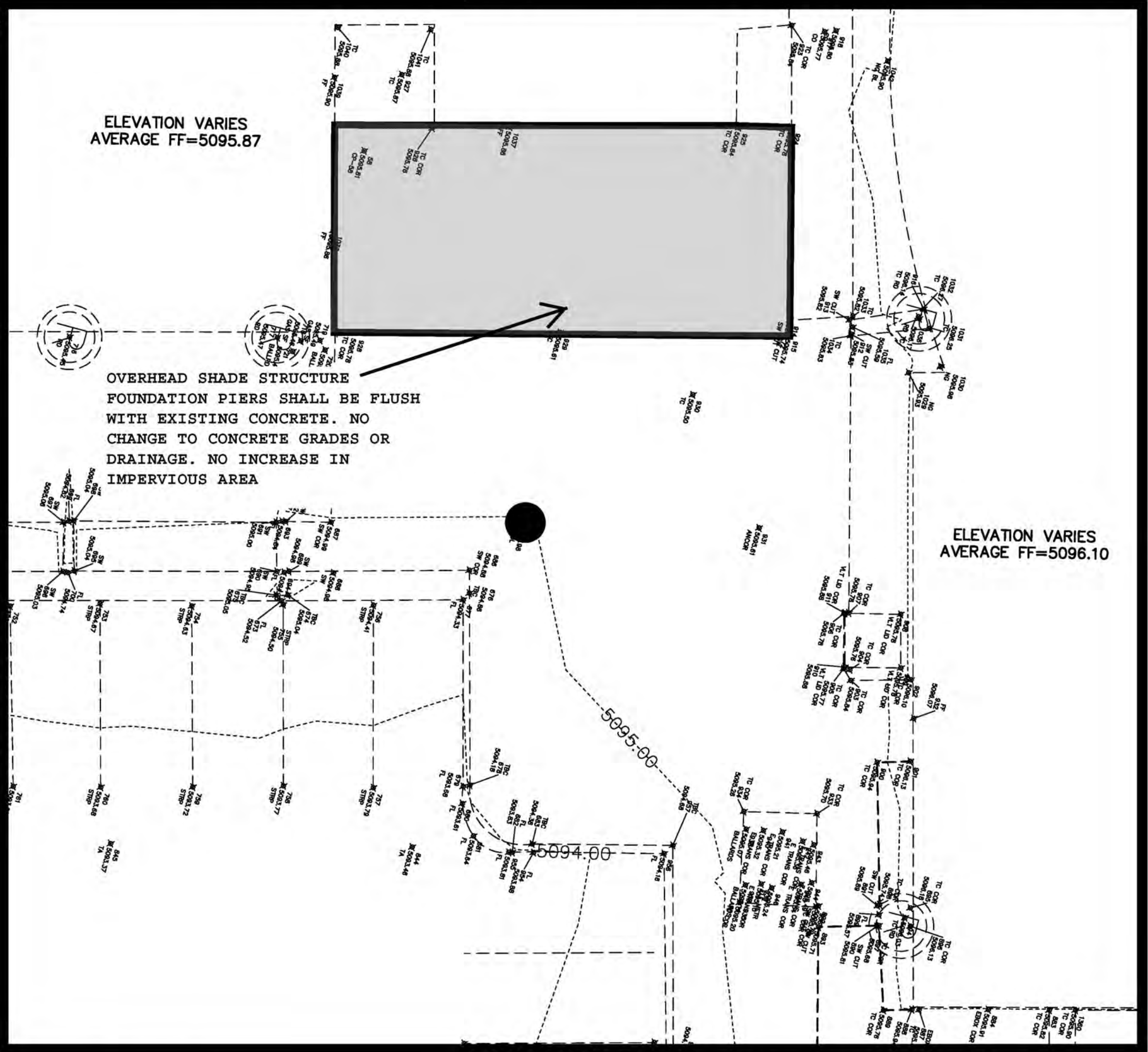
Printed Name: _____

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

DRAINAGE NARRATIVE

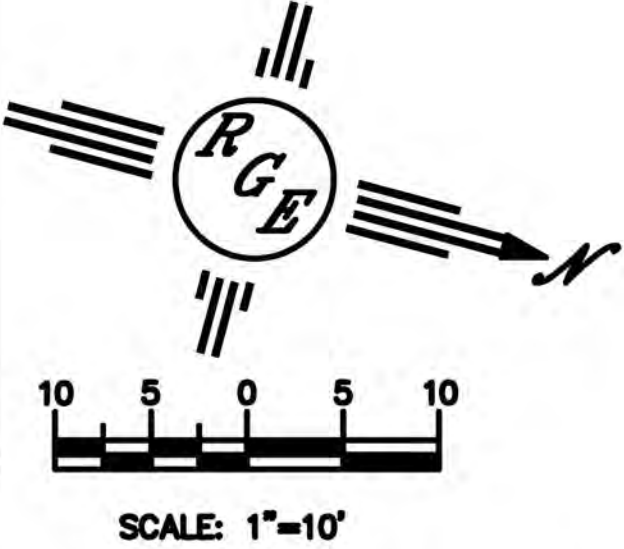
THE ENTIRE SCOPE OF WORK IS THE
INSTALLATION OF A COVERING
STRUCURE OVER AND EXISTING
SIDEWALK. NO CHANGES TO
DRAINAGE PATTERNS OR LAND
TREATMENTS ARE PROPOSED.

ENTIRE WORK AREA LOCATED WITHIN FLOW ZONE AE BFE 5059.00

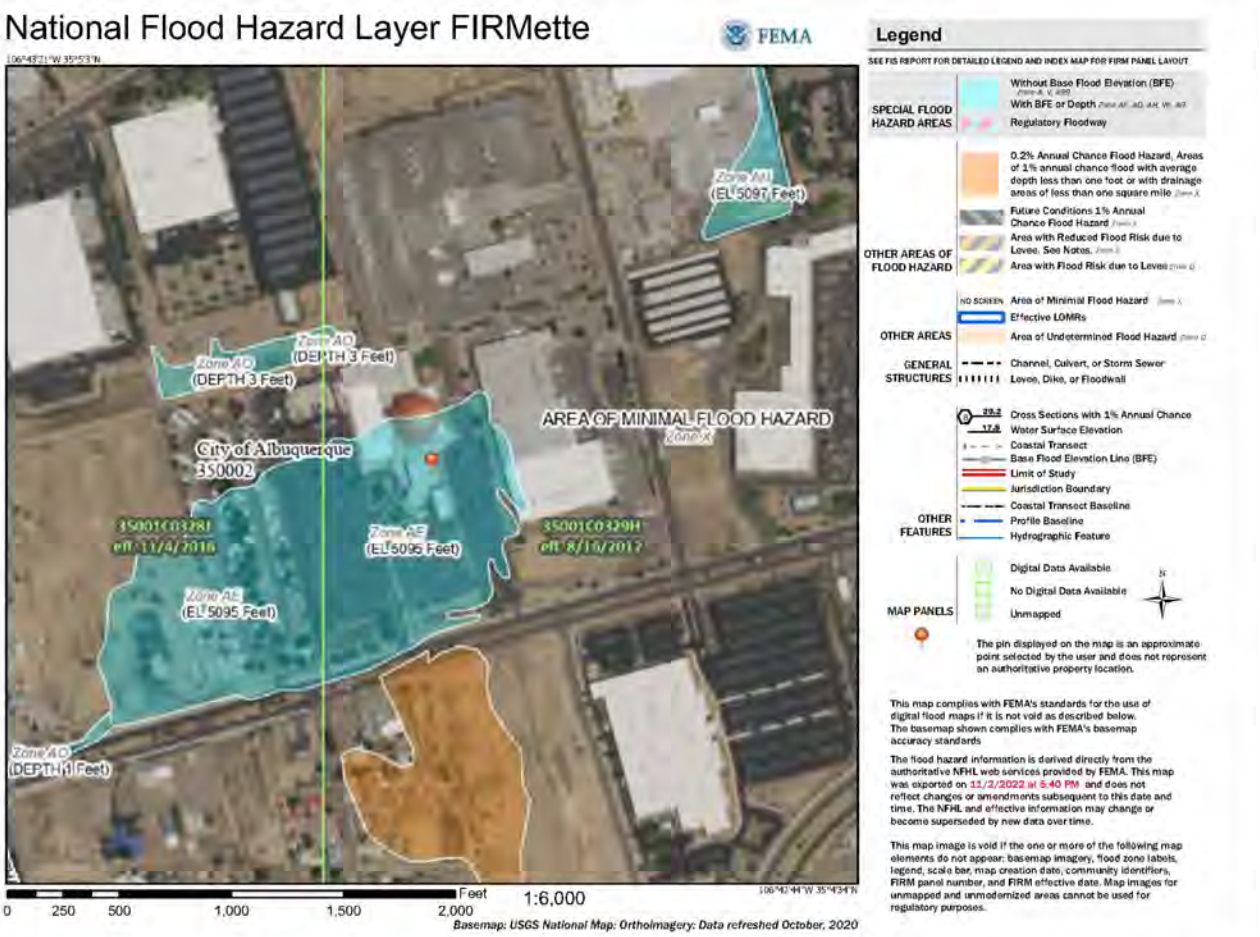


EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP:



FIRM MAP:

LEGAL DESCRIPTION:

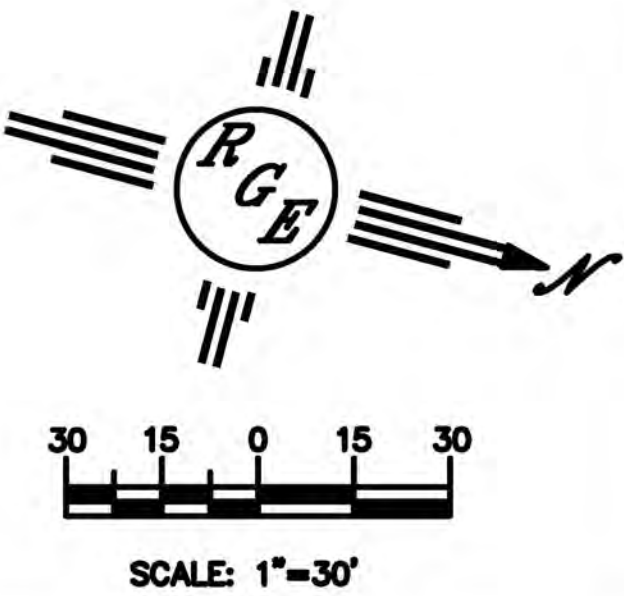
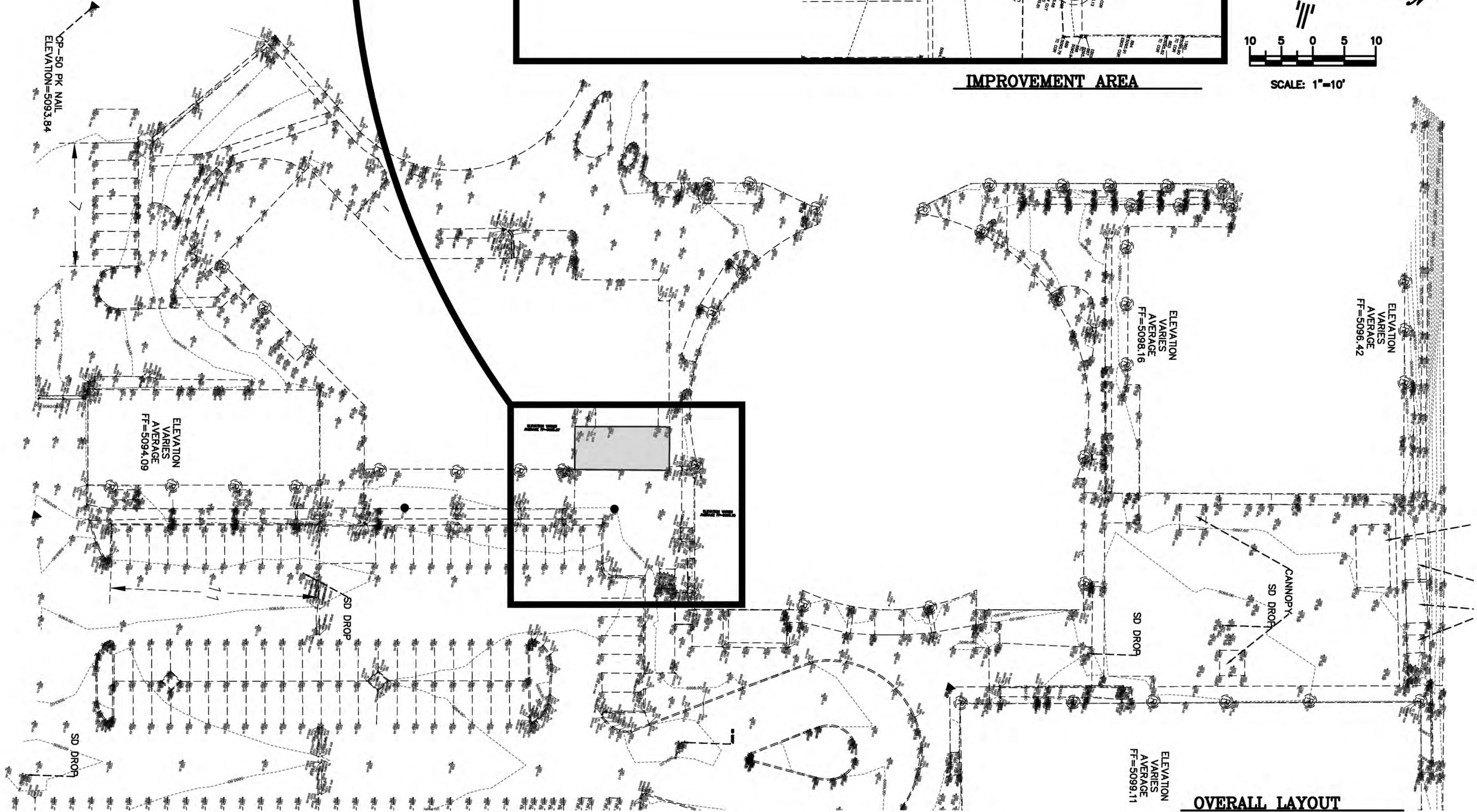
TRACT 1A1 PLAT OF WEST 66 ADDITION AND VICTORY LOVE FELLOWSHIP


NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.
5. A PAD ELEVATION CERTIFICATION SHALL BE REQUIRED PRIOR TO RELEASE OF BUILDING PERMIT.

LEGEND

- XXXX----- EXISTING CONTOUR
- XXXX----- EXISTING INDEX CONTOUR
- XXXX----- PROPOSED CONTOUR
- XXXX----- PROPOSED INDEX CONTOUR
- + XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED EARTHEN SWALE
- PROPOSED RETAINING WALL
- PROPOSED GRAVEL
- PROPOSED CONCRETE
- PROPOSED 2' WIDE COBBLE SWALE



ENGINEER'S SEAL	COVERED PATIO	DRAWN BY DEM
DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	LEGACY CHURCH	DATE XXXXXX
11/2/22	GRADING AND DRAINAGE PLAN	C:\Users\GSD\OneDrive\Documents\GSD.dwg
DAVID SOULE P.E. #14522	 PO BOX 83824 ALBUQUERQUE, NM 87199 (505) 321-9099	SHEET # C1
		JOB #