

CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

December 18, 2017

John Jacquez, E.I.
Miller Engineering Consultants, Inc
3500 Comanche NE Bldg. F
Albuquerque, NM, 87107

RE: Coors and Central – 100 Coors Blvd NW
Conceptual Grading Plan
Engineer's Stamp Date: No Stamp Date
Hydrology File: K10D017

Dear Mr. Jacquez:

PO Box 1293

Based upon the information provided in your resubmittal received 12/14/2017, the Conceptual Grading and Drainage Plan is approved for action by the DRB on the Site Plan for Building Permit.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

Renée C. Brissette

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: COORS AND CENTRAL Building Permit #: _____ City Drainage #: _____
DRB#: 1011445 EPC#: _____ Work Order#: _____
Legal Description: TRACT E, ATRISCO VILLAGE ZONED G-2, LOCATED NE CORNER COORS BLVD NW AND CENTRAL
City Address: 100 COORS BLVD, ALBUQUERQUE, NM ARE. NW APPROX. 1.00 AC (X-10)
Engineering Firm: MILLER ENGINEERING CONSULTANTS, INC. Contact: JOHN JACQUEZ, C.E.T.
Address: 3500 COMANCHE NE, BLDG. F, ALBUQUERQUE, NM 87107
Phone#: 505-888-7500 Fax#: 505-888-3300 E-mail: JJACQUEZ@MECNM.COM
Owner: _____ Contact: _____
Address: _____ E-mail: _____
Phone#: _____ Fax#: _____
Architect: GG ARCHITECT, LLC Contact: CLINT WILSEY
Address: 2041 S. PLAZA ST. NW, ALBUQUERQUE, NM 87104
Phone#: 505-280-0043 Fax#: _____ E-mail: CLINT.WILSEY@GMAIL.COM
Other Contact: _____ Contact: _____
Address: _____ E-mail: _____
Phone#: _____ Fax#: _____

Check all that Apply:

DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
☒ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 12/14/17 By: [Signature]

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



December 12, 2017

John Jacquez, E.I.
Miller Engineering Consultants, Inc.
3500 Comanche NE Bldg. F
Albuquerque, NM 87107

Attn: Renee C. Brissette, P.E. CFM, Senior Engineer, Hydrology Planning Dept.

RE: Coors and Central – 100 Coors Blvd. NW.
Conceptual Grading Plan
Engineer Stamp Date: No Stamp Date
Hydrology File: K10D017

Dear Ms. Brissette,

This letter is in response to your comments by letter dated December 11, 2017. The comments have been addressed as follows:

Sheet C-101:

1. Please provide the FIRM Map and flood plain note with effective date.

See attached Conceptual Grading and Drainage Plan.

2. Please provide a vicinity map showing the location of the site. Typically this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.

See attached Conceptual Grading and Drainage plan.

3. Please add the property line in both Section A-A and Section B-B.

See attached Conceptual Grading and Drainage plan.

4. Please also show the retaining wall footer in both Section A-A and Section B-B.

See attached Conceptual Grading and Drainage Plan.

5. Per DPM Ch. 22.5B, grading and construction of retaining walls at or near the property line must demonstrate that the adjacent property is not damaged or its use constrained. Any such encroachment by the wall or grading must be accompanied by written permission of both landowners.

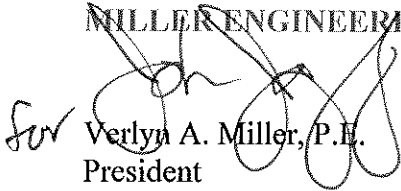
Section B-B is the only section with a new retaining wall. Section A-A the wall shown is an existing retaining wall. The retaining wall on the north property line is placed so that the entire wall and footing is within the property line, as seen in section B-B on Conceptual Grading and Drainage Plan attached.

6. Per Transportation's DRB comments on December 6, 2017, the overall site plan will have some changes and some will affect the drainage. Please insure that the Conceptual Grading Plan matches the Site Plan for Building Permit.

The Architect met with Raquel from Transportation and all of the site plan changes required by Transportation are contained on the revised Conceptual Grading and Drainage Plan attached.

If you have any questions or need any additional information, please feel free to contact our office.

MILLER ENGINEERING CONSULTANTS, INC.


Verlyn A. Miller, P.E.
President

VAM:vam
Enclosures
cc: File

Bernadine York

From: Brissette, Renee C. <rbrissette@cabq.gov>
Sent: Monday, December 11, 2017 11:02 AM
To: Bernadine York
Cc: John Jacquez
Subject: RE: COA G&D Submittal for Coors and Central
Attachments: K10D017_SPBP_CMMT.pdf

John,

Attached is a comment letter for the approval of the Conceptual Grading Plan for the above referenced project for Site Plan for Building Permit.

If you have any questions, please contact me.

Renée Christina Brissette, PE CFM

Senior Engineer, Hydrology
Planning Department
Development Review Services Division
600 2nd St. NW
Albuquerque, NM 87102
(505)924-3995

From: Bernadine York [mailto:dyork@mecnm.com]
Sent: Wednesday, December 06, 2017 12:01 PM
To: Planning Development Review Services
Cc: John Jacquez
Subject: COA G&D Submittal for Coors and Central

Please find attached PDF of the submittal for building permit approval for Coors and Central Project. We will submit 2 hardcopies this afternoon.

Dina York
Miller Engineering Consultants, Inc.
3500 Comanche NE, Bldg. F
Albuquerque, NM 87107
Phone: 505.888.7500
Fax: 505.888.3800
Email: dyork@mecnm.com



Timothy M. Keller, Mayor

December 11, 2017

John Jacquez, E.I.
Miller Engineering Consultants, Inc
3500 Comanche NE Bldg. F
Albuquerque, NM, 87107

RE: Coors and Central – 100 Coors Blvd NW
Conceptual Grading Plan
Engineer's Stamp Date: No Stamp Date
Hydrology File: K10D017

Dear Mr. Jacquez:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Based upon the information provided in your submittal received 12/06/17, the Conceptual Grading Plan **is not** approved for Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please provide the FIRM Map and flood plain note with effective date.
2. Please provide a vicinity map showing the location of the site. Typically this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
3. Please add the property line in both Section A-A and Section B-B.
4. Please also show the retaining wall footer in both Section A-A and Section B-B.
5. Per DPM Ch. 22.5.B, grading and construction of retaining walls at or near the property line must demonstrate that the adjacent property is not damaged or its use constrained. Any such encroachment by the wall or grading must be accompanied by written permission of both landowners.
6. Per Transportation's DRB comments on December 6, 2017, the overall site plan will have some changes and some will affect the drainage. Please insure that the Conceptual Grading Plan matches the Site Plan for Building Permit.

CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

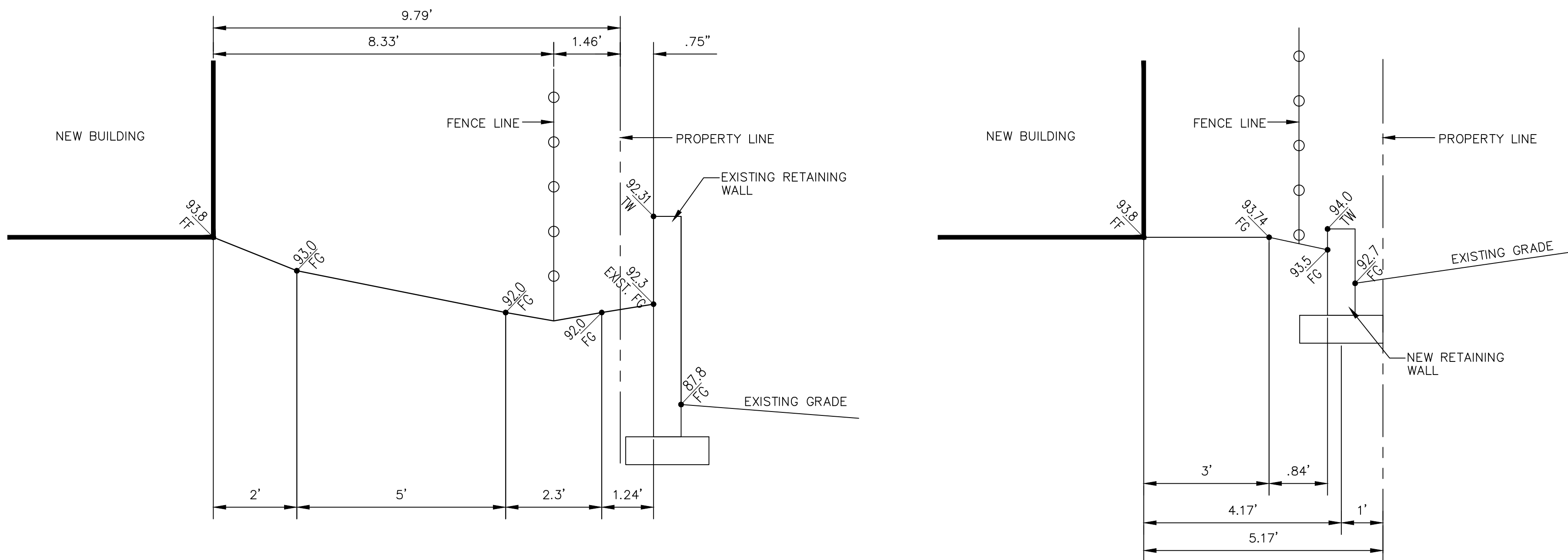
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



A1 SECTION A-A
SCALE: 1"=20'

A1 SECTION B-B
SCALE: 1"=20'

LEGEND:

• 38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	=====	GRADE BREAK—HIGH POINT
• MATCH (95.19)	MATCH EXISTING ELEVATIONS	-----	SWALE
TC ON FL	TOP OF CONCRETE FLOW LINE, CURB	-----SD-----	STORM DRAIN LINE
INV	INVERT		
FG	FINISH GRADE	=====5895=====	PROPOSED MAJOR CONTOUR
TBC	TOP OF BASE COURSE	-----5895-----	PROPOSED MINOR CONTOUR
TC	TOP OF CURB	-----	EXISTING MAJOR CONTOUR
TG	TOP OF GRATE	-----	EXISTING MINOR CONTOUR
→	FLOW ARROW		

**GRADING AND DRAINAGE
NARRATIVE**

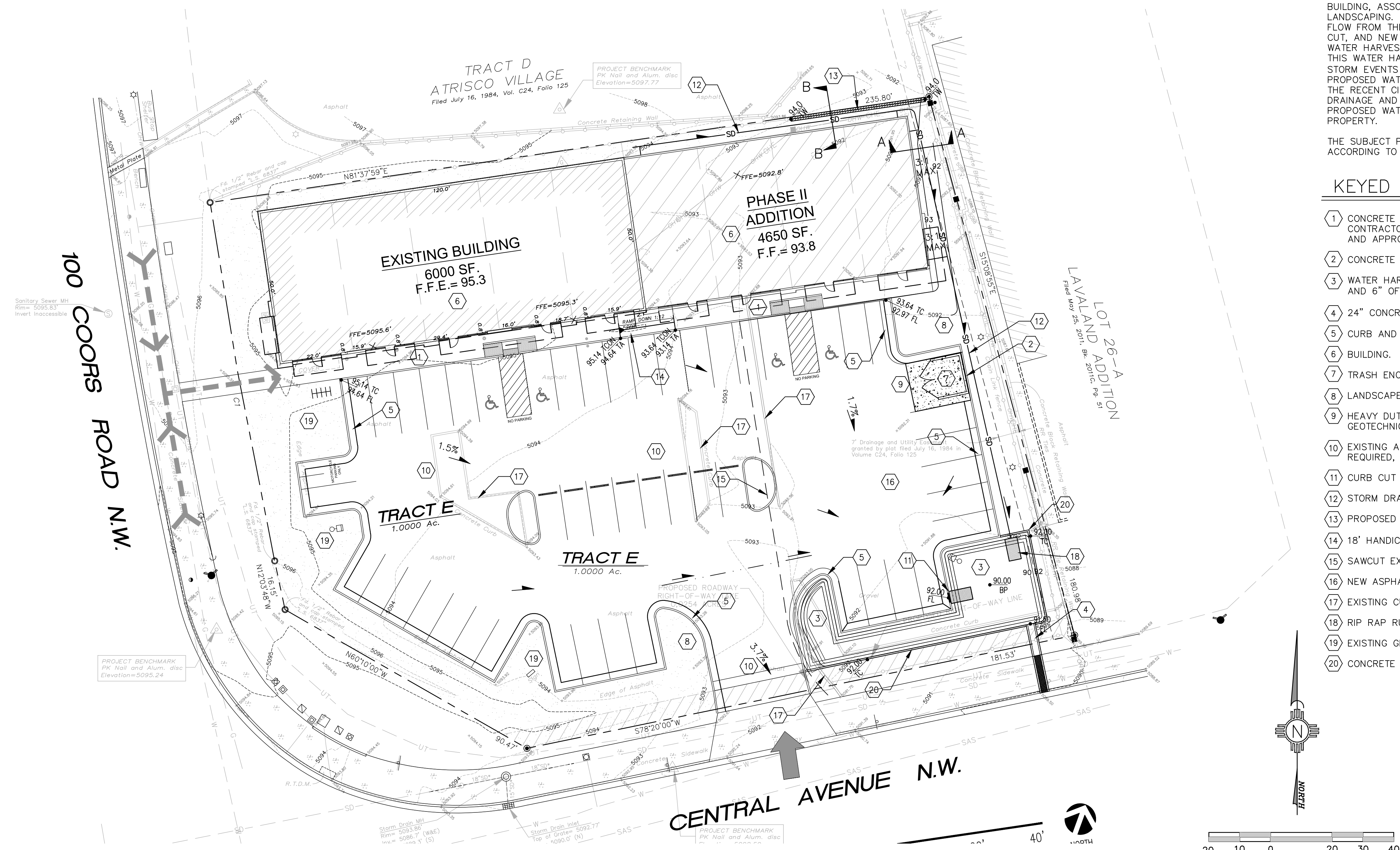
THE PROJECT SITE IS LOCATED AT 100 COORS BLVD. N.W. IN ALBUQUERQUE, NM. THE PROPERTY BOUNDARY IS MOSTLY RECTANGULAR IN SHAPE WITH A PORTION OF THE SOUTHWEST CORNER OUT TO RIGHT-OF-WAY. THE PROPERTY IS BOUNDED BY AN EXISTING BUSINESS TO THE EAST, AN EXISTING BUSINESS TO THE NORTH, CENTRAL AVE. N.W. TO THE SOUTH, AND COORS ROAD N.W. TO THE WEST. THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING BUILDING AND AN EXISTING ASPHALT PAVED PARKING AREA LOCATED SOUTH OF THE BUILDING ALONG CENTRAL AVENUE N.W. AND COORS ROAD N.W. THE SITE IS ACCESSED FROM CENTRAL AVENUE N.W. ON THE SOUTH SIDE OF THE SITE. THE PROPERTY GENERALLY SLOPES FROM THE NORTHWEST TO THE SOUTHEAST AT APPROXIMATELY 1.7%. THERE ARE EXISTING RETAINING WALLS THAT RUN ALONG THE NORTH SIDE OF THE PROPERTY AND ALONG THE EAST SIDE OF THE PROPERTY. THE PROPOSED BUILDING WILL BE CONSTRUCTED NEAR THE EAST SIDE OF THE PROPERTY, ADJACENT TO, AND ATTACHED TO THE EXISTING BUILDING LOCATED NEAR THE WEST SIDE OF THE PROPERTY. THE NEW BUILDING WILL HAVE A NEW ASPHALT PARKING LOT IMMEDIATELY SOUTH OF THE BUILDING.

THE PROPOSED DEVELOPMENT OF THE SITE WILL CONSIST OF 10831 SQUARE FOOT BUILDING, ASSOCIATED CONCRETE FLATWORK, SIDEWALKS, ASPHALT PARKING LOT, AND LANDSCAPING. THE GRADING IMPROVEMENTS WILL CONTINUE TO ALLOW STORM WATER TO FLOW FROM THE NORTHWEST TO THE SOUTHEAST. NEW CURB AND GUTTER, A CURB CUT, AND NEW RIP RAP RUNDOWN WILL CONVEY THE STORMWATER INTO A PROPOSED WATER HARVESTING AREA LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY. THIS WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQUIRED VOLUME = $(0.33 \text{ IN.} \times 33,106 \text{ S.F.}) / 12 = 910 \text{ C.F.}$) THE PROPOSED WATER HARVEST AREA VOLUME IS GREATER THAN 910 CF, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO THE PROPOSED WATER HARVEST AREA LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A F.E.M.A. DESIGNATED FLOOD ZONE AS ACCORDING TO F.E.M.A. MAP 35001C0329H.

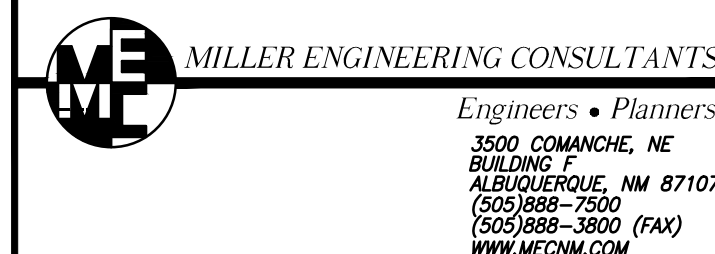
KEYED NOTES:

- 1 CONCRETE SIDEWALK OR CONCRETE FLATWORK AS PER C.O.A. STANDARD DRAWINGS. CONTRACTOR SHALL SUBMIT A JOINT PATTERN TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 2 CONCRETE HEADER CURB.
- 3 WATER HARVEST AREA. TOP=92.00, INV=90.00. SIDE SLOPE 2:1 WITH FILTER FABRIC AND 6" OF 2-3" COBBLE STONES.
- 4 24" CONCRETE CHANNEL WITH 24" SIDEWALK CULVERT.
- 5 CURB AND GUTTER.
- 6 BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 7 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 8 LANDSCAPE AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 HEAVY DUTY CONCRETE PAVEMENT SECTION. SEE PAVING SECTIONS AND THE GEOTECHNICAL REPORT FOR RECOMMENDATIONS.
- 10 EXISTING ASPHALT PAVED PARKING LOT TO BE REMOVED AND DISPOSED, RE-GRADED AS REQUIRED, AND REPLACED WITH NEW ASPHALT.
- 11 CURB CUT WITH RIP RAP RUNDOWN.
- 12 STORM DRAIN PIPING FOR ROOF DRAINS.
- 13 PROPOSED RETAINING WALL.
- 14 18" HANDICAP RAMP WITH RAILING.
- 15 SAWCUT EXISTING ASPHALT TO A CLEAN STRAIGHT EDGE FOR NEW PAVING AREA.
- 16 NEW ASPHALT PAVED PARKING LOT.
- 17 EXISTING CURB TO BE REMOVED.
- 18 RIP RAP RUNDOWN.
- 19 EXISTING GRASSY KNOLL TO REMAIN IN PLACE.
- 20 CONCRETE HEADER CURB FOR CONTAINMENT.



A1 CONCEPTUAL GRADING AND DRAINAGE PLAN
SCALE: 1"=20'

CONSULTANT:



ARCHITECT:



Architect:

Clint Wilsey / 66Architect, LLC
clint.wilsey@gmail.com
505 280-0043

DRAWN BY: **CJW**

ISSUE: **PERMIT SET**

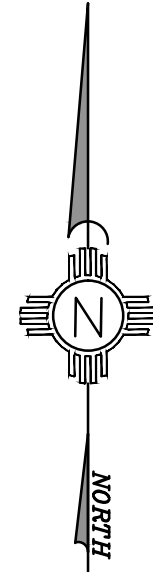
COORS AND CENTRAL

100 COORS BLVD. NW
Albuquerque, NM

DATE: **9/20/17**

SHEET TITLE:
**CONCEPTUAL
GRADING AND
DRAINAGE PLAN**

C-101



MAP SCALE 1" = 500'

0 500 1000 FEET

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0329H

FIRM

FLOOD INSURANCE RATE MAP

BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS

PANEL 329 OF 825

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

SUBMARKET	SUBMARKET NUMBER	PANEL	SUFFIX
ALBUQUERQUE CITY OF	30002	0329	H
BERNALILLO COUNTY UNINCORPORATED AREAS	30001	0329	H

Notes to User: The **Map Number** shown below should be used when ordering this map. The **Community Number** shown above should be used on insurance applications for the subject community.

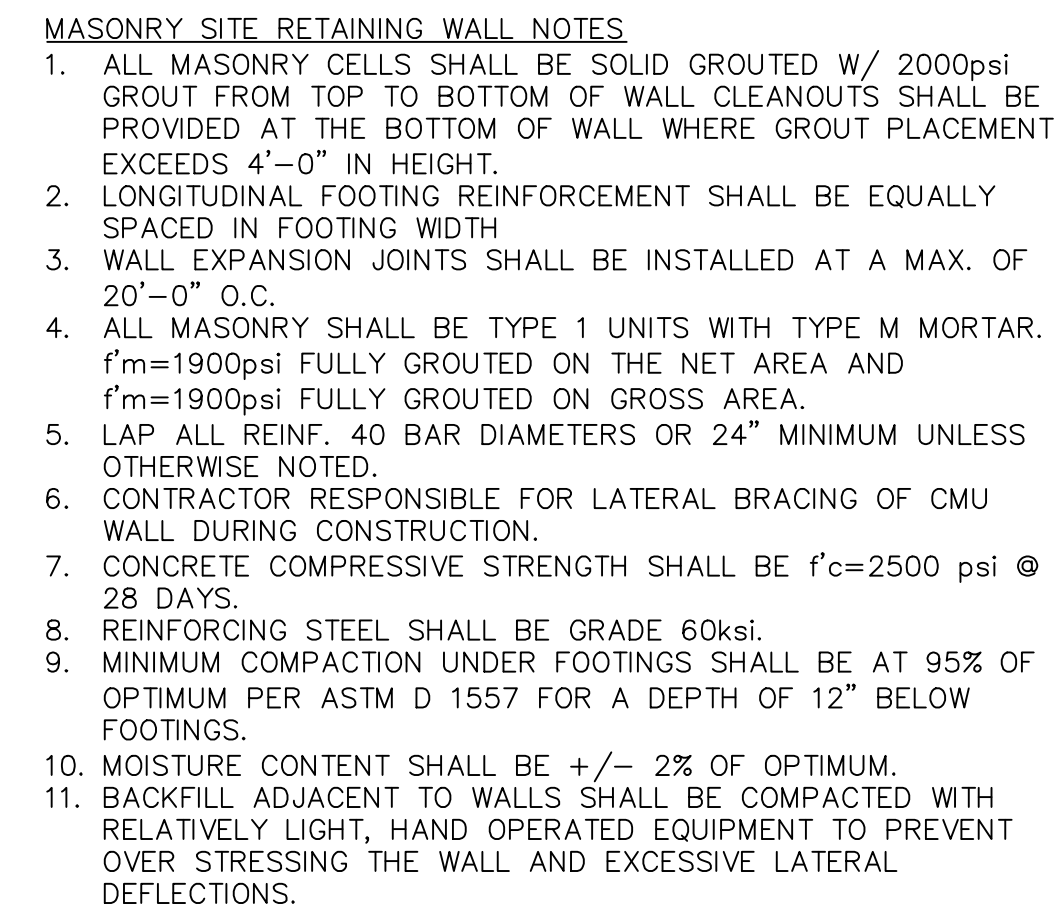
MAP NUMBER 35001C0329H

MAP REVISED AUGUST 16, 2012

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Map Store at www.msc.fema.gov

A1 FLOOD ZONE MAP
FLOOD ZONE MAP: 35001C0353H



MASONRY SITE RETAINING WALL SCHEDULE											
WALL TYPE	"H"	"W"	"A"	"B"	"C"	"D"	"E"	"o"	"b"	"c"	"d"
①	3'-0"	2'-0"	1'-0"	0'-8"	0'-8"	0'-8"	2'-6"	#4@24"	#4@48"	#4@16"	(3) #4"
②	4'-0"	2'-7"	1'-0"	0'-11"	0'-8"	0'-11"	2'-6"	#4@24"	#4@48"	#4@16"	(3) #4"
③	5'-0"	3'-2"	1'-0"	1'-3"	0'-8"	1'-3"	2'-6"	#5@8"	#4@48"	#4@16"	(4) #4"

MASONRY SITE RETAINING WALL DETAIL
SCALE: NONE

CONSULTANT:	
<div><div><div>MILLER ENGINEERING CONSULTANTS</div><div>Engineers • Planners 3500 COMANCHE, NE ALBUQUERQUE, NM 87107 (505)886-7500 (505)886-3800 (FAX) WWW.MECNM.COM</div></div></div>	
ARCHITECT:	
<div></div>	
Architect:	
Clint Wilsey / 66Architect, LLC clint.wilsey@gmail.com 505 280-0043	
DRAWN BY:	CJW
<div></div>	<div></div>
ISSUE:	PERMIT SET
COORS AND CENTRAL	
100 COORS BLVD. NW Albuquerque, NM	
DATE:	9/20/17
SHEET TITLE:	
CONCEPTUAL GRADING AND DRAINAGE PLAN	
C-101A	