



Timothy M. Keller, Mayor

December 11, 2017

John Jacquez, E.I.  
Miller Engineering Consultants, Inc  
3500 Comanche NE Bldg. F  
Albuquerque, NM, 87107

**RE: Coors and Central – 100 Coors Blvd NW**  
**Conceptual Grading Plan**  
**Engineer's Stamp Date: No Stamp Date**  
**Hydrology File: K10D017**

Dear Mr. Jacquez:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based upon the information provided in your submittal received 12/06/17, the Conceptual Grading Plan **is not** approved for Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Please provide the FIRM Map and flood plain note with effective date.
2. Please provide a vicinity map showing the location of the site. Typically this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
3. Please add the property line in both Section A-A and Section B-B.
4. Please also show the retaining wall footer in both Section A-A and Section B-B.
5. Per DPM Ch. 22.5.B, grading and construction of retaining walls at or near the property line must demonstrate that the adjacent property is not damaged or its use constrained. Any such encroachment by the wall or grading must be accompanied by written permission of both landowners.
6. Per Transportation's DRB comments on December 6, 2017, the overall site plan will have some changes and some will affect the drainage. Please insure that the Conceptual Grading Plan matches the Site Plan for Building Permit.

# CITY OF ALBUQUERQUE



Timothy M. Keller, Mayor

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

PO Box 1293

Albuquerque

NM 87103

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# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: COORS AND CENTRAL Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_  
DRB#: 1011445 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: TRACT E, ATRISCO VILLAGE ZONED C-2, LOCATED NE CORNER COORS BLVD NW AND CENTRAL AVE. NW APPROX 1 ACRE (K-16)  
City Address: 100 COORS BLVD., ALBUQUERQUE, NM  
Engineering Firm: MILLER ENGINEERING CONSULTANTS, INC Contact: JOHN JACQUEZ, C.E.T.  
Address: 3500 COMANCHE NE, BLDG. F, ALBUQUERQUE, NM 87107  
Phone#: 505-888-7500 Fax#: 505-888-3800 E-mail: JJACQUEZ@MECNM.COM  
Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Architect: GG ARCHITECT, LLC Contact: CLINT WILSEY  
Address: 2041 S. PLAZA ST. NW, ALBUQUERQUE, NM 87104  
Phone#: 505-280-0043 Fax#: \_\_\_\_\_ E-mail: CLINT.WILSEY@GMAIL.COM  
Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION  
☒ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

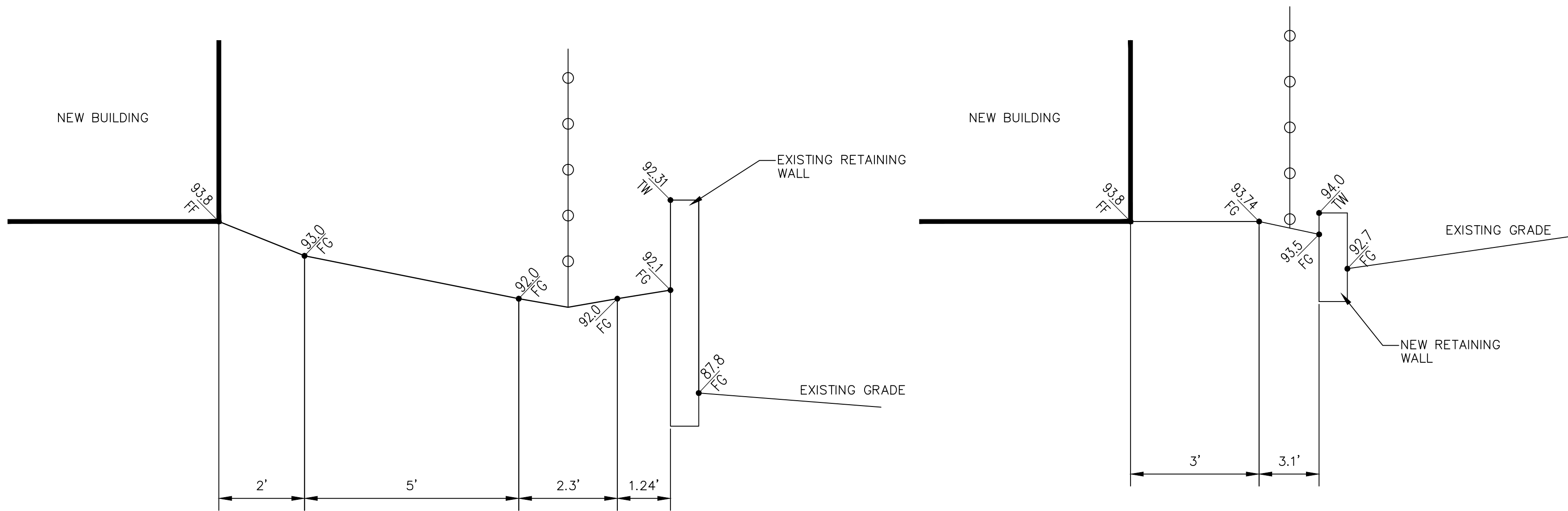
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: Yes ☐ No ☒

DATE SUBMITTED: 12/6/17 By: 

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





A1 SECTION A-A  
SCALE: 1"=20'

A1 SECTION B-B  
SCALE: 1"=20'

LEGEND:

38.00 FG	PROPOSED SPOT ELEVATIONS (FINISHED GRADE)	=====	GRADE BREAK-HIGH POINT
MATCH (95.19)	MATCH EXISTING ELEVATIONS	-----	SWALE
TC ON FL	TOP OF CONCRETE FLOW LINE, CURB	-----SD-----	STORM DRAIN LINE
INV	INVERT		
FG	FINISH GRADE	=====5895=====	PROPOSED MAJOR CONTOUR
TBC	TOP OF BASE COURSE	-----5895-----	PROPOSED MINOR CONTOUR
TC	TOP OF CURB	-----	EXISTING MAJOR CONTOUR
TG	TOP OF GRATE	-----	EXISTING MINOR CONTOUR
Flow Arrow	FLOW ARROW		

GRADING AND DRAINAGE  
NARRATIVE

THE PROJECT SITE IS LOCATED AT 100 COORS BLVD. N.W. IN ALBUQUERQUE, NM. THE PROPERTY BOUNDARY IS MOSTLY RECTANGULAR IN SHAPE WITH A PORTION OF THE SOUTHWEST CORNER OUT TO RIGHT-OF-WAY. THE PROPERTY IS BOUNDED BY AN EXISTING BUSINESS TO THE EAST, AN EXISTING BUSINESS TO THE NORTH, CENTRAL AVE. N.W. TO THE SOUTH, AND COORS ROAD N.W. TO THE WEST. THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING BUILDING AND AN EXISTING ASPHALT PAVED PARKING AREA LOCATED SOUTH OF THE BUILDING ALONG CENTRAL AVENUE N.W. AND COORS ROAD N.W. THE SITE IS ACCESSED FROM CENTRAL AVENUE N.W. ON THE SOUTH SIDE OF THE SITE. THE PROPERTY GENERALLY SLOPES FROM THE NORTHWEST TO THE SOUTHEAST AT APPROXIMATELY 1.7%. THERE ARE EXISTING RETAINING WALLS THAT RUN ALONG THE NORTH SIDE OF THE PROPERTY AND ALONG THE EAST SIDE OF THE PROPERTY. THE PROPOSED BUILDING WILL BE CONSTRUCTED NEAR THE EAST SIDE OF THE PROPERTY, ADJACENT TO, AND ATTACHED TO THE EXISTING BUILDING LOCATED NEAR THE WEST SIDE OF THE PROPERTY. THE NEW BUILDING WILL HAVE A NEW ASPHALT PARKING LOT IMMEDIATELY SOUTH OF THE BUILDING.

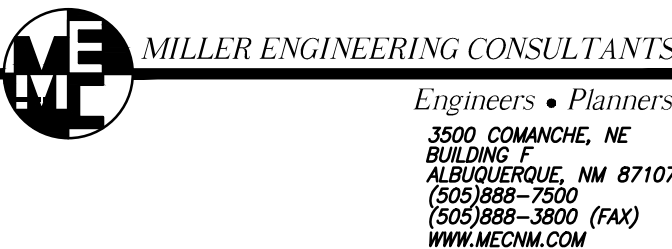
THE PROPOSED DEVELOPMENT OF THE SITE WILL CONSIST OF 10831 SQUARE FOOT BUILDING, ASSOCIATED CONCRETE FLATWORK, SIDEWALKS, ASPHALT PARKING LOT, AND LANDSCAPING. THE GRADING IMPROVEMENTS WILL CONTINUE TO ALLOW STORM WATER TO FLOW FROM THE NORTHWEST TO THE SOUTHEAST. NEW CURB AND GUTTER, A CURB CUT, AND NEW RIP RAP RUNDOWN WILL CONVEY THE STORMWATER INTO A PROPOSED WATER HARVESTING AREA LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY. THIS WATER HARVESTING AREAS WILL BE USED TO MANAGE THE 90TH PERCENTILE STORM EVENTS (REQUIRED VOLUME = (0.33 IN. \* 33,106 S.F.)/12 = 910 C.F.) THE PROPOSED WATER HARVEST AREA VOLUME IS GREATER THAN 910 CF, AS REQUIRED BY THE RECENT CITY OF ALBUQUERQUE DRAINAGE ORDINANCE CHANGES. ALL ROOF DRAINAGE AND PROPOSED ASPHALT PARKING AREAS WILL DISCHARGE INTO THE PROPOSED WATER HARVEST AREA LOCATED AT THE SOUTHEAST CORNER OF THE PROPERTY.

THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A F.E.M.A. DESIGNATED FLOOD ZONE AS ACCORDING TO F.E.M.A. MAP 35001C0329H.

KEYED NOTES:

- 1 CONCRETE SIDEWALK OR CONCRETE FLATWORK AS PER C.O.A. STANDARD DRAWINGS. CONTRACTOR SHALL SUBMIT A JOINT PATTERN TO THE PROJECT ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 2 CONCRETE HEADER CURB.
- 3 WATER HARVEST AREA. TOP=92.00, INV=90.00. SIDE SLOPE 2:1 WITH FILTER FABRIC AND 6" OF 2-3" COBBLE STONES.
- 4 24" CONCRETE CHANNEL WITH 24" SIDEWALK CULVERT.
- 5 CURB AND GUTTER.
- 6 BUILDING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 7 TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 8 LANDSCAPE AREA. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 9 HEAVY DUTY CONCRETE PAVEMENT SECTION. SEE PAVING SECTIONS AND THE GEOTECHNICAL REPORT FOR RECOMMENDATIONS.
- 10 EXISTING ASPHALT PAVED PARKING LOT TO BE REMOVED AND DISPOSED, RE-GRADED AS REQUIRED, AND REPLACED WITH NEW ASPHALT.
- 11 CURB CUT WITH RIP RAP RUNDOWN.
- 12 STORM DRAIN PIPING FOR ROOF DRAINS.
- 13 PROPOSED RETAINING WALL.
- 14 18" HANDICAP RAMP WITH RAILING.
- 15 SAWCUT EXISTING ASPHALT TO A CLEAN STRAIGHT EDGE FOR NEW PAVING AREA.
- 16 NEW ASPHALT PAVED PARKING LOT.
- 17 EXISTING CURB TO BE REMOVED.
- 18 RIP RAP RUNDOWN.
- 19 EXISTING GRASSY KNOLL TO REMAIN IN PLACE.
- 20 CONCRETE HEADER CURB FOR CONTAINMENT.

CONSULTANT:



ARCHITECT:



Architect:

Clint Wilsey / 66Architect, LLC  
clint.wilsey@gmail.com  
505 280-0043

DRAWN BY: CJW

ISSUE: PERMIT SET

COORS AND CENTRAL

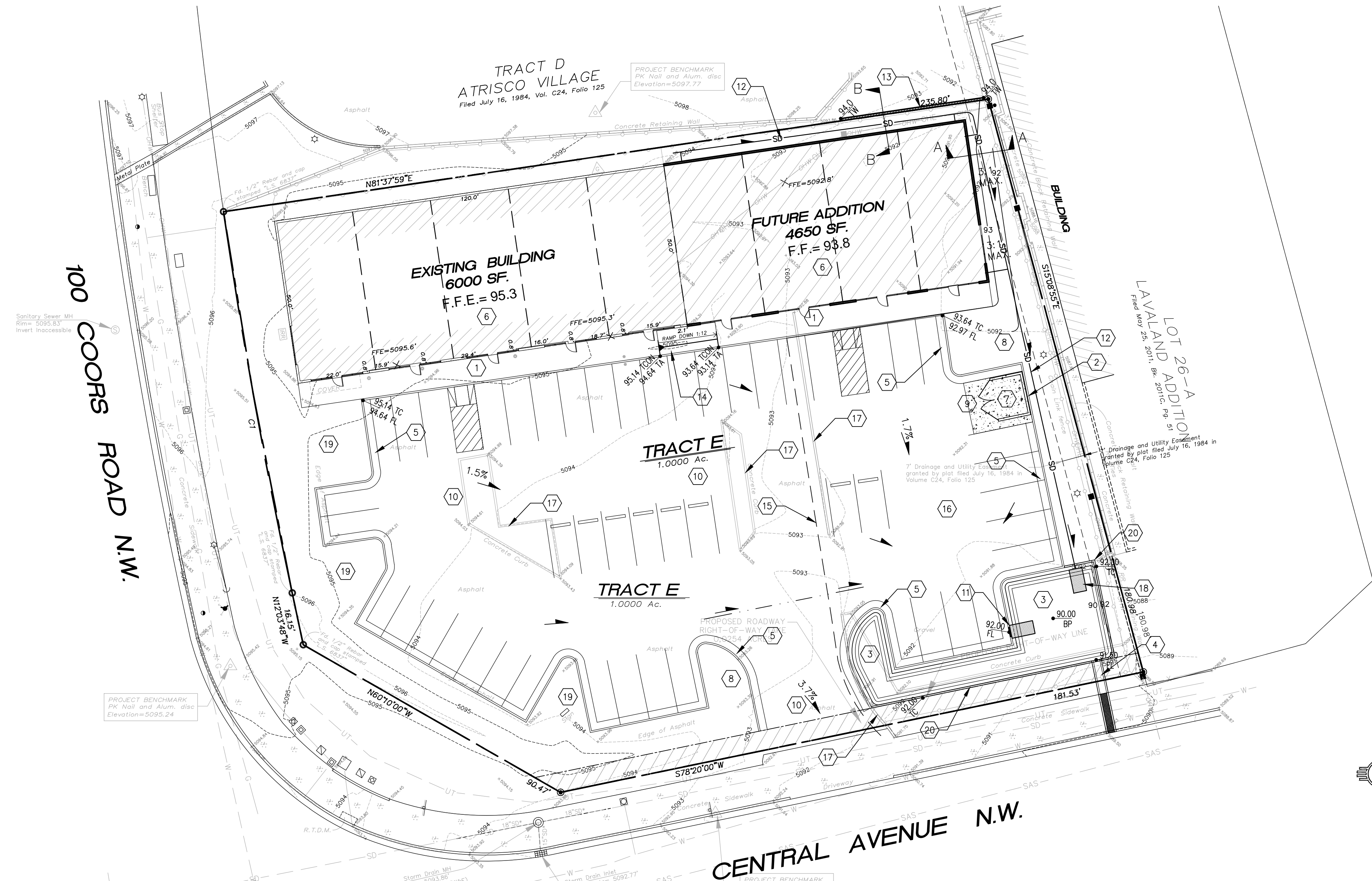
100 COORS BLVD. NW  
Albuquerque, NM

DATE: 9/20/17

SHEET TITLE:

CONCEPTUAL  
GRADING AND  
DRAINAGE PLAN

C-101



A1 CONCEPTUAL GRADING AND DRAINAGE PLAN  
SCALE: 1"=20'

