

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

February 7, 2022

William Reilley, RA
APMI, Inc.
3003 N Central Ave., Ste 1100
Phoenix, Arizona 85102

Re: Chase Bank – US 66 & Coors Remote ATM
111 Coors NW, ste E-11
Traffic Circulation Layout
Engineer's/Architect's Stamp 02-03-2022 (K10-D018A)

Dear Mr. Reilley,

The TCL submittal received 02-03-2022 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Nilo Salgado-Fernandez, P.E.
Senior Traffic Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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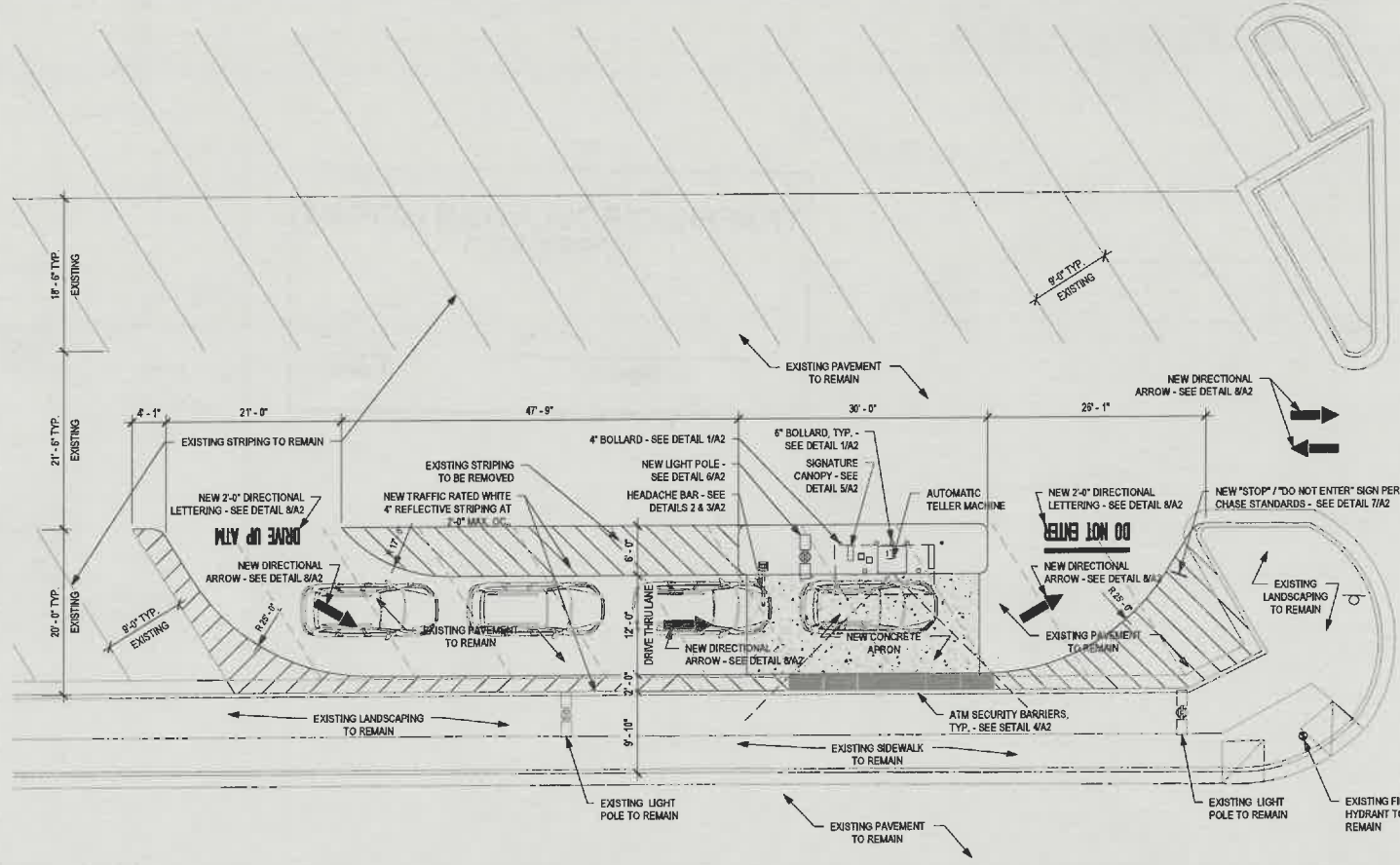
TRAFFIC CIRCULATION LAYOUT APPROVED

Date: 02/07/22
Signed: *[Signature]*



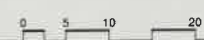
OVERALL SITE PLAN (FOR REFERENCE)

SCALE: NOT TO SCALE



SITE PLAN

SCALE: 1" = 10'-0"



PROJECT DATA

PROJECT OWNER:
J.P. MORGAN CHASE, N.A.
CORP. REAL ESTATE SERVICES
201 NORTH CENTRAL AVENUE, 25TH FLOOR
PHOENIX, ARIZONA 85004

CONTACT: JOE M. HERNANDEZ
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E JOE.M.HERNANDEZ@JPMCHASE.COM

ARCHITECT:
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CONTACT: WILL REILLY, A.J.A.
T 480.998.0709
E WREILLY@APMM.COM

LANDLORD:
COORS CTR DSG LLC & COORS CTR SG LLC &
COORS CTR MB LLC & ETAL C/O DSG TRUST
1155 KELLY JOHNSON BLVD
SUITE 302
COLORADO SPRINGS, COLORADO 80920

CONTACT: KERI ASHLEY
T 303.318.0100
E KERI@OAKREALTYPARTNERS.COM

PROJECT LOCATION:
111 COORS BOULEVARD NORTHWEST
SUITE E-11
ALBUQUERQUE, NEW MEXICO 87121

LEGAL DESCRIPTION:
TR A-1A-2A OF TRS A-1A-2A, A-1A-2B & A-1A-2C HUBBELL PLAZACONT 9.8880 AC ML OR 430,721 SF ML

PROJECT SUMMARY:
CONSTRUCTION OF A NEW REMOTE DRIVE UP ATM UNIT IN THE EXISTING PARKING AREA. THIS WILL INVOLVE THE REMOVAL OF 12 EXISTING PARKING SPACES AND REALLOCATING THEM FOR DRIVE THRU QUEUING.

PARCEL NUMBER:
101005744233210191

ZONING:
MX-M (MIXED USE - MEDIUM INTENSITY ZONE)

IMPROVEMENT AREA:
3,000 S.F.

BUILDING HEIGHT:
±19'-6" (EXIST.)

BUILDING CODES:
2015 NEW MEXICO COMMERCIAL BUILDING CODE
2015 NEW MEXICO MECHANICAL CODE
2015 NEW MEXICO PLUMBING CODE
2017 NEW MEXICO ELECTRIC CODE
2016 INTERNATIONAL ENERGY CONSERVATION CODE
2015 CITY OF ALBUQUERQUE FIRE CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

*ALL CODES AS MODIFIED BY THE CITY OF ALBUQUERQUE AMENDMENTS



VICINITY MAP

NOT TO SCALE

US66 & COORS
111 COORS BOULEVARD NORTHWEST, ALBUQUERQUE, NEW MEXICO 87121



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PHOENIX, ARIZONA 85012
480.998.0709
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EXP. DATE: 12-31-2022

DRAWN: JCG
DATE: 3.FEBRUARY.2022
PROJECT: 21125.00

SITE PLAN

A1

K10-0018A 1/2

