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Project Data Site Data

LEGAL DESCRIPTION
PORTION OF TRACT A-1A-2C, HUBBELL PLAZA AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON AUGUST 29, 1996 IN VOLUME 96C, PAGE 376.

ZONE R-2
SITE AREA ±2.72 ACRES OR +118,482 SF
DENSITY 25 UNITS ON +2.72 ACRES = 9.1 UNITS/ACRE
FAR .20

Landscaping and Open Space
REQUIRED LANDSCAPING 15% OF 94,990 SF = 14,249 SF
PROVIDED LANDSCAPING 69,761 SF (SEE LANDSCAPE CALCULATIONS ON SHEET L001)
REQUIRED LOT SETBACKS
FRONT 20'
REAR 15'
SIDE 14'

REQUIRED UNIT SETBACKS (UBC-TABLE 5A)
5' TO ASSUMED PROPERTY LINE AROUND UNITS (10' MIN. DISTANCE BETWEEN UNITS)

Parking Requirement

REQUIRED PARKING
1 SPACE PER BATH NOT LESS THAN 1.5 PER UNIT
25 UNITS X 1.5 SPACES/UNIT = 38 SPACES
PROVIDED PARKING
39 TOTAL SPACES PROVIDED
REQUIRED HANDICAP PARKING
10% X 39 = 3.9 = 4 SPACES
PROVIDED HANDICAP PARKING
6 TOTAL SPACES PROVIDED (3 VAN ACCESSIBLE)

Code Analysis - UBC 1997

SEISMIC ZONE 2-B
OCCUPANCY CLASSIFICATIONS
APARTMENTS R-1
COMMUNITY BUILDING B AND R-1
MIXED OCCUPANCY - COMMUNITY BLDG.
646 + 1815 ≤ 1.0
6000 8000
.11 + .23 = .34 < 1.0
TYPES OF CONSTRUCTION
APARTMENTS V-N
COMMUNITY BUILDING V-N
MAXIMUM ALLOWABLE HEIGHT
APARTMENTS 26'
COMMUNITY BUILDING 17'-6"
18'-6"
ALLOWABLE SF.
TOTAL ALLOWABLE SF R-1 = 6,000 SF
TOTAL ALLOWABLE SF B = 8,000 SF
MAXIMUM HEIGHT OF BUILDINGS: 2 STORY
ACTUAL HEIGHT OF BUILDINGS: 1 STORY
ACTUAL SF
BUILDING A = 3,516 SF
COMMUNITY BUILDING = 2,840 SF
BUILDING B = 586 < 1
COMMUNITY BUILDING = 355 < 1
1 HR. FIRE RESISTANT WALLS (UBC-310.2.2)
APARTMENTS - 1 HOUR FIRE RESISTANT CONSTRUCTION WALLS
BETWEEN LIVING UNITS (R1)
COMMUNITY BLDG. - 1 HOUR FIRE RESISTANT CONSTRUCTION WALLS
BETWEEN LIVING UNIT (R1) AND COMMUNITY BLDG. (B).

OCCUPANT LOAD & EXIT REQUIREMENTS
APARTMENT (EACH UNIT)
1 1BR/1BA UNIT: 732 SF / 200 OCC. = 3.66
2 2BR/1BA UNIT: 1026 SF / 200 OCC. = 5.13
REQUIRED EXIT WIDTH AT EACH APARTMENT: 36"
PROVIDED EXIT WIDTH AT EACH APARTMENT: 36"
COMMUNITY BUILDING
1 OFFICE 105 SF / 100 OCC. = 1.05
2 COMMUNITY 708 SF / 15 OCC. = 47.2
3 LAUNDRY 148 SF / 100 OCC. = 1.48
REQUIRED EXIT WIDTH AT COMMUNITY BUILDING: 44"
PROVIDED EXIT WIDTH AT COMMUNITY BUILDING: 72"

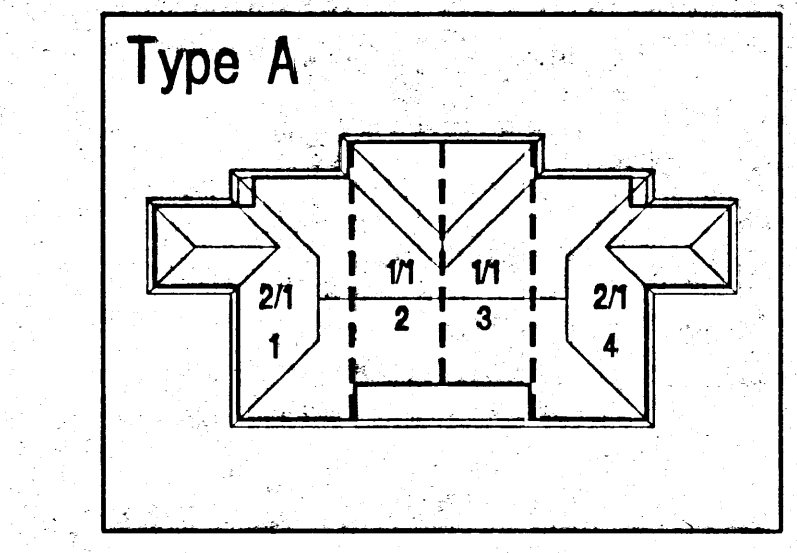
Accessibility Data

REQUIRED ACCESSIBLE (HC) UNITS:
REQUIRED: 25 UNITS X 10% = 3 UNITS
PROVIDED: 3 UNITS
NOTE: ALL UNITS HANDICAP ADAPTABLE. COMMUNITY BUILDING HANDICAP ACCESSIBLE

Total Areas

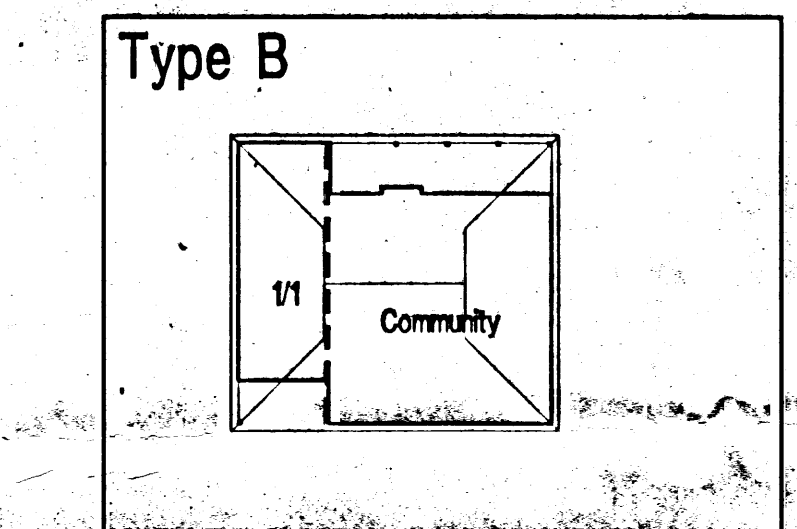
HEATED			
6 BUILDINGS (24 LIVING UNITS) @ 2640 SF =	15840 SF		
1 BUILDING (COMMUNITY AND 1 LIVING UNIT) @ 1883 SF =	1883 SF		
TOTAL HEATED AREA (25 UNITS + COMMUNITY BLDG) =	17723 SF		
COVERED			
6 BUILDINGS (24 LIVING UNITS) @ 3240 SF =	19440 SF		
1 BUILDING (COMMUNITY AND 1 LIVING UNIT) @ 2461 SF =	2461 SF		
TOTAL COVERED AREA (25 UNITS + COMMUNITY BLDG) =	21901 SF		

Building Types and Areas



	HEATED	OVERHANG	TOTAL
UNIT 1	792 SF	182 SF	974 SF
UNIT 2	528 SF	118 SF	646 SF
UNIT 3	528 SF	118 SF	646 SF
UNIT 4	792 SF	182 SF	974 SF
TOTALS	2640 SF	600 SF	3240 SF

1 HOUR FIRE RESISTANT WALLS
CONTINUE THRU ATTICS



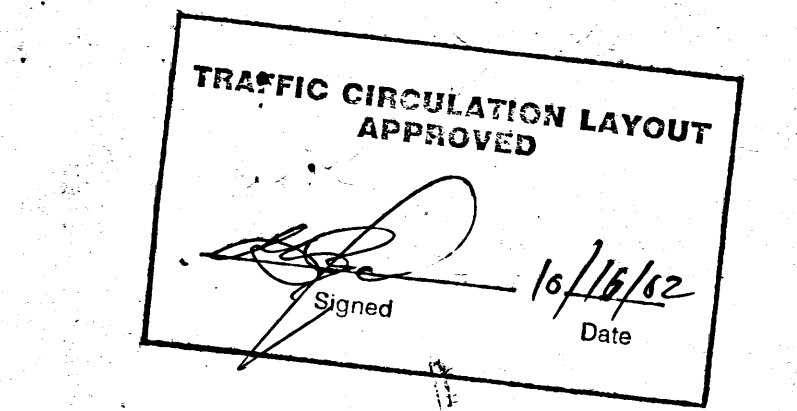
	HEATED	OVERHANG	TOTAL
UNIT	528 SF	118 SF	646 SF
COMMUNITY	1355 SF	460 SF	1815 SF
TOTALS	1883 SF	578 SF	2461 SF

1 HOUR FIRE RESISTANT WALLS
CONTINUE THRU ATTICS

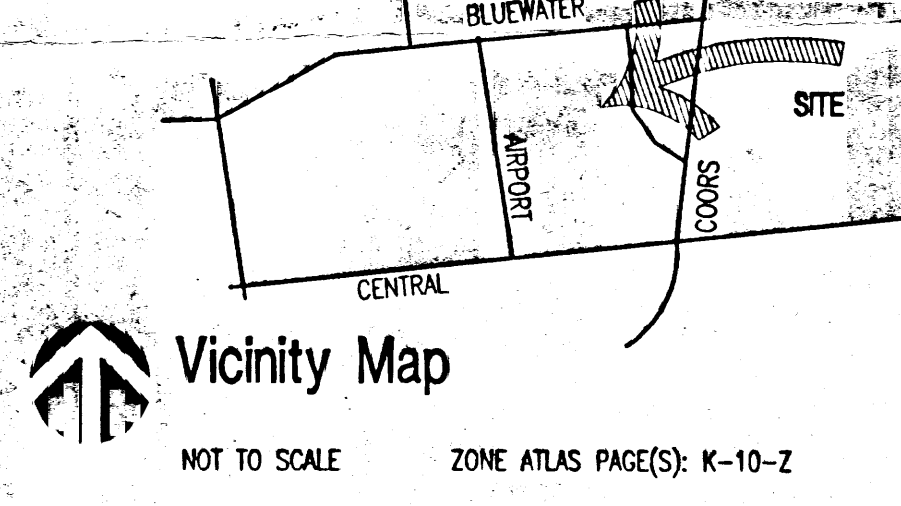
TOTAL NUMBER OF UNITS		
(1/1) ONE BEDROOM ONE BATH	12 UNITS	
(2/1) TWO BEDROOM ONE BATH	12 UNITS	
(1/1) ONE BEDROOM ONE BATH, CARETAKER	1 UNIT	
TOTAL NUMBER OF UNITS	25 UNITS	

UNITS PER BUILDING		
BUILDING TYPE 'A'		
(1/1) ONE BEDROOM ONE BATH	2 UNITS	
(2/1) TWO BEDROOM ONE BATH	2 UNITS	
TOTAL UNITS PER BUILDING TYPE 'A'	4 UNITS	
COMMUNITY BUILDING		
(1/1) ONE BEDROOM ONE BATH	1 UNIT	
TOTAL UNITS PER COMMUNITY BUILDING	1 UNIT	

TOTAL NUMBER OF BUILDINGS		
BUILDING TYPE 'A'	6 BUILDINGS	
COMMUNITY BUILDING	1 BUILDING	
TOTAL NUMBER OF BUILDINGS	7 BUILDINGS	



BUILDING & SAFETY
OCT 15 2002
U.C.C.
PLAN CHECK
SECTION



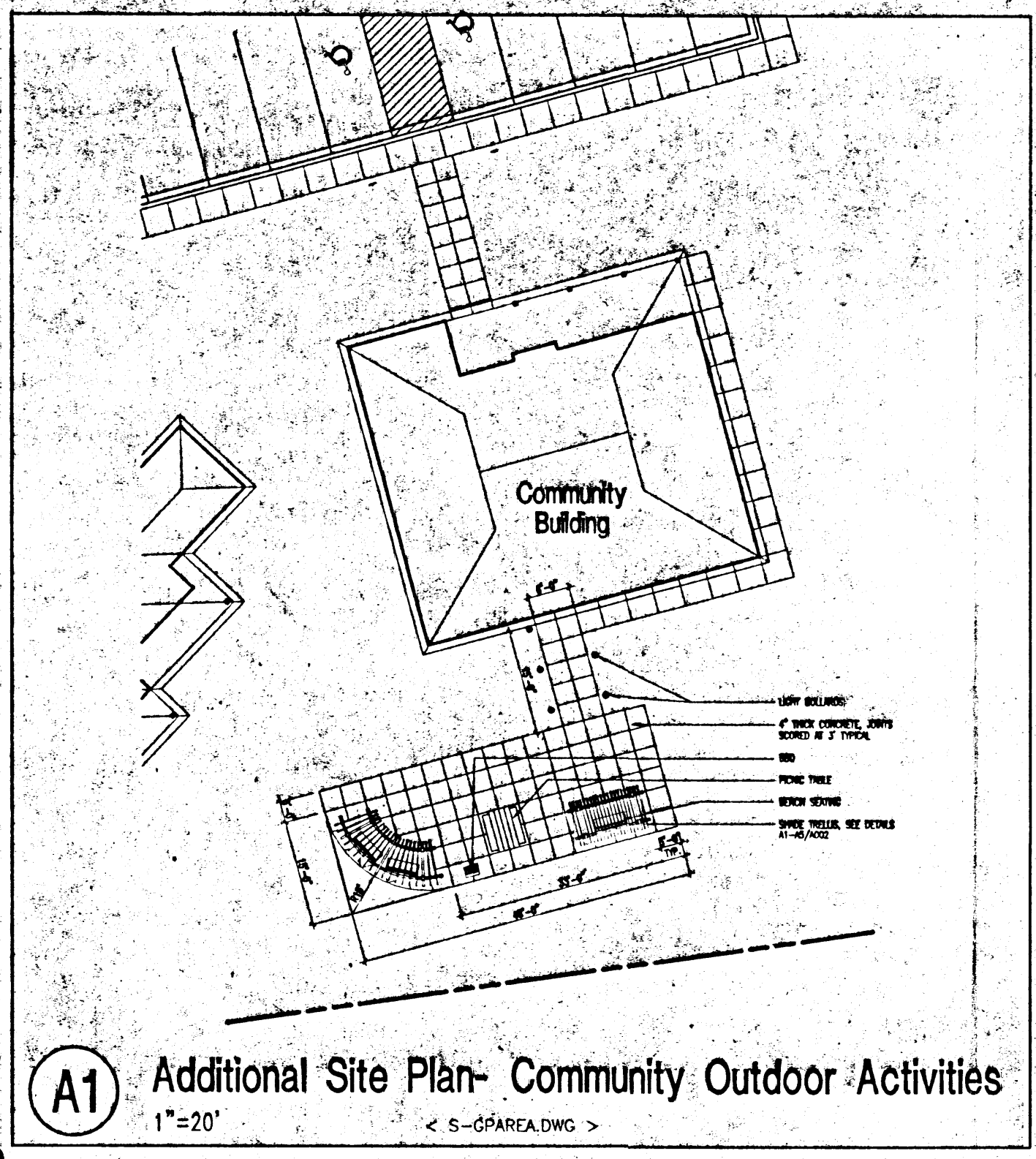
General Notes

1. ALL DIMENSIONS TO BUILDINGS ARE TO THE FACE OF STUD, UNLESS OTHERWISE NOTED.
2. REFER TO CIVIL DRAWINGS FOR BUILDING PAD ELEVATIONS.
3. REFER TO LANDSCAPE DRAWINGS FOR AREAS TO BE LANDSCAPED, PLANT MATERIALS, GROUND COVERS, IRRIGATION SYSTEMS, ETC. TO BE INSTALLED.
4. ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION, AND BEFORE TEMPORARY C.O. WILL BE SCHEDULED.
5. ALL CITY WORK ORDER CONSTRUCTION TO BE COMPLETED PRIOR TO C.O.
6. CERTIFICATION BY DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
7. THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN.
8. THIS SITE PLAN HAS BEEN APPROVED AND ACCEPTED BY ALL PARTIES. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK.
9. (2) INCREASE IN CONSTRUCTION COST TO THE RESPONSIBLE PARTY.
10. REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.

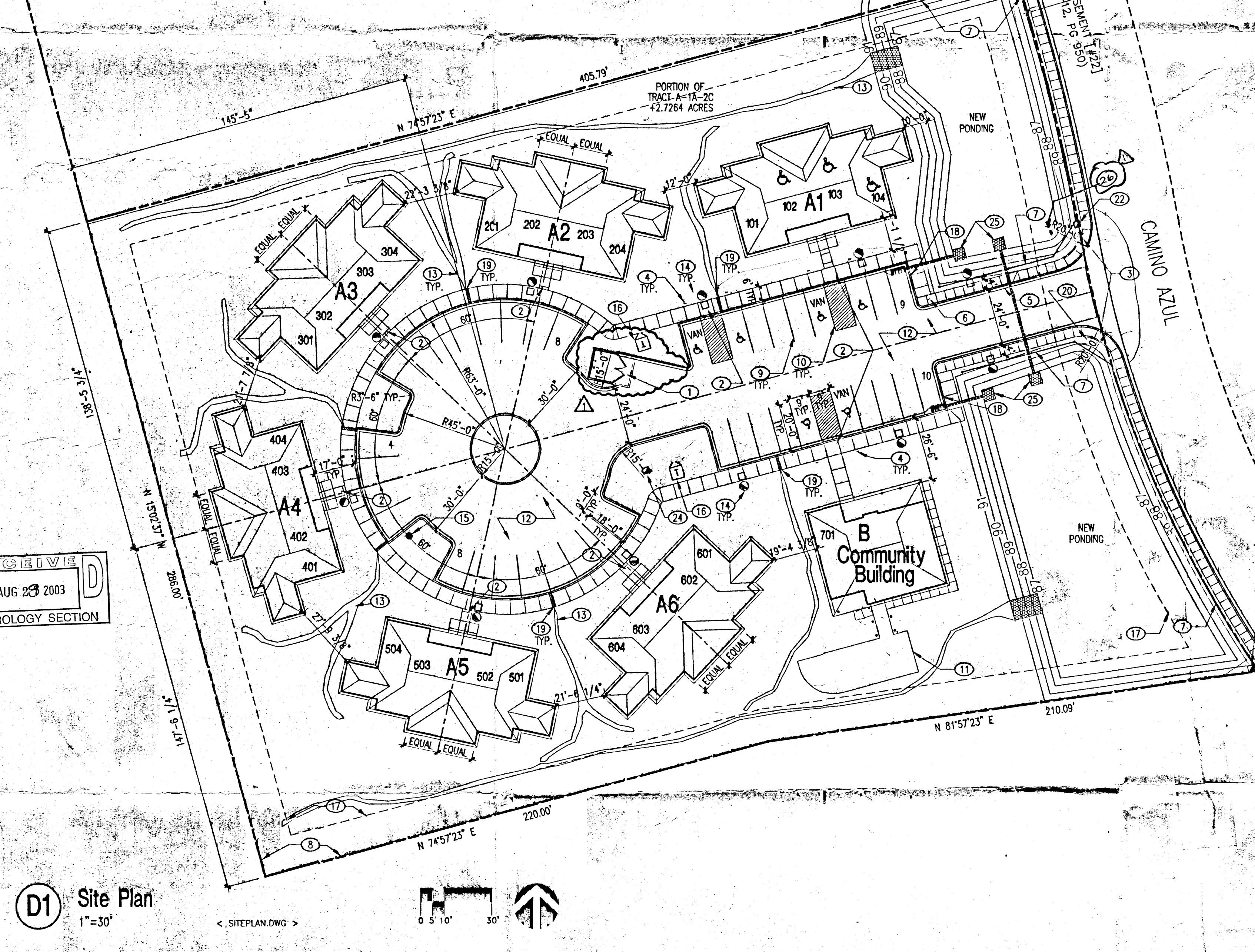
Keyed Notes

1. REFUSE DUMPSTER AND ENCLOSURE. REFER TO DETAILS A3,B3,C3,D3/A002.
2. HANDICAP RAMP. REFER TO DETAIL A4/A002.
3. HANDICAP SIGN. PLACED IN FRONT OF EACH HANDICAP SPACE. SEE DETAIL B4/A002.
4. CURB AND GUTTER. REFER TO DETAIL B5/A002.
5. SIDEWALK. REFER TO DETAIL C5/A002.
6. WROUGHT-IRON FENCE-NORTH AND EAST PROPERTY LINES AND ENTRY. D4/A002.
7. EXISTING CHAIN LINK FENCE AT SOUTH AND WEST PROPERTIES.
8. WIDE PAINTED PARKING STRIPING.
9. WIDE PAINTED STRIPING AT 18' O.C. FOR HANDICAP LOADING ZONE.
10. ADDITIONAL SITE WORK TO BE APPROVED-REFER TO DETAIL A-1/A001.
11. ASPHALT PAVING PER CIVIL DRAWINGS.
12. PROPOSED SWALE AS PER CIVIL.
13. LIGHT POLE.
14. PROPOSED FIRE HYDRANT.
15. TRANSFORMER.
16. SETBACK.
17. CURB CUT AS PER CIVIL.
18. 1" SIDEWALK CULVERT TYP. DETAIL C1/A002.
19. STOP SIGN.
20. 4' MAINTENANCE SIDEWALK.
21. EXISTING PNM SWITCHGEAR. REFER TO E001.
22. EXISTING TELEPHONE PEDESTAL. REFER TO E001.
23. TELEPHONE AND CABLE PEDESTAL. REFER TO E001.
24. TYPE 'A' INLET, 18" RCP, 5'x5' RIP RAP PAD. AS PER CIVIL.

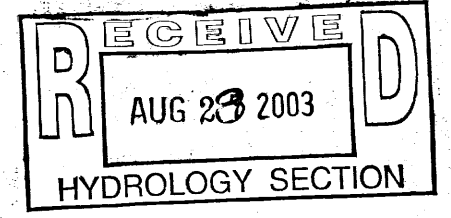
2 1/2' ACCESS SIGNAGE

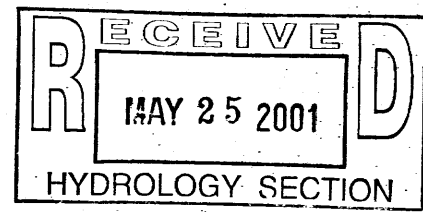


A1 Additional Site Plan- Community Outdoor Activities
1"=20'
S-CAREA.DWG



D1 Site Plan
1"=30'
SITEPLAN.DWG





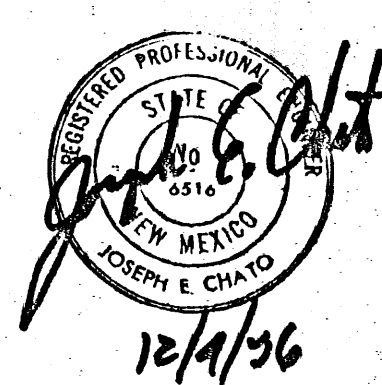
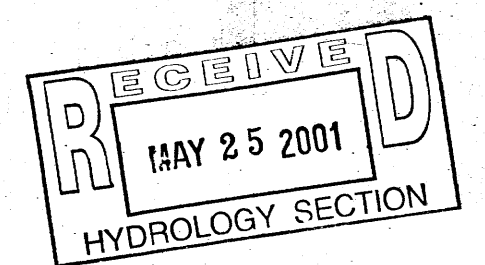
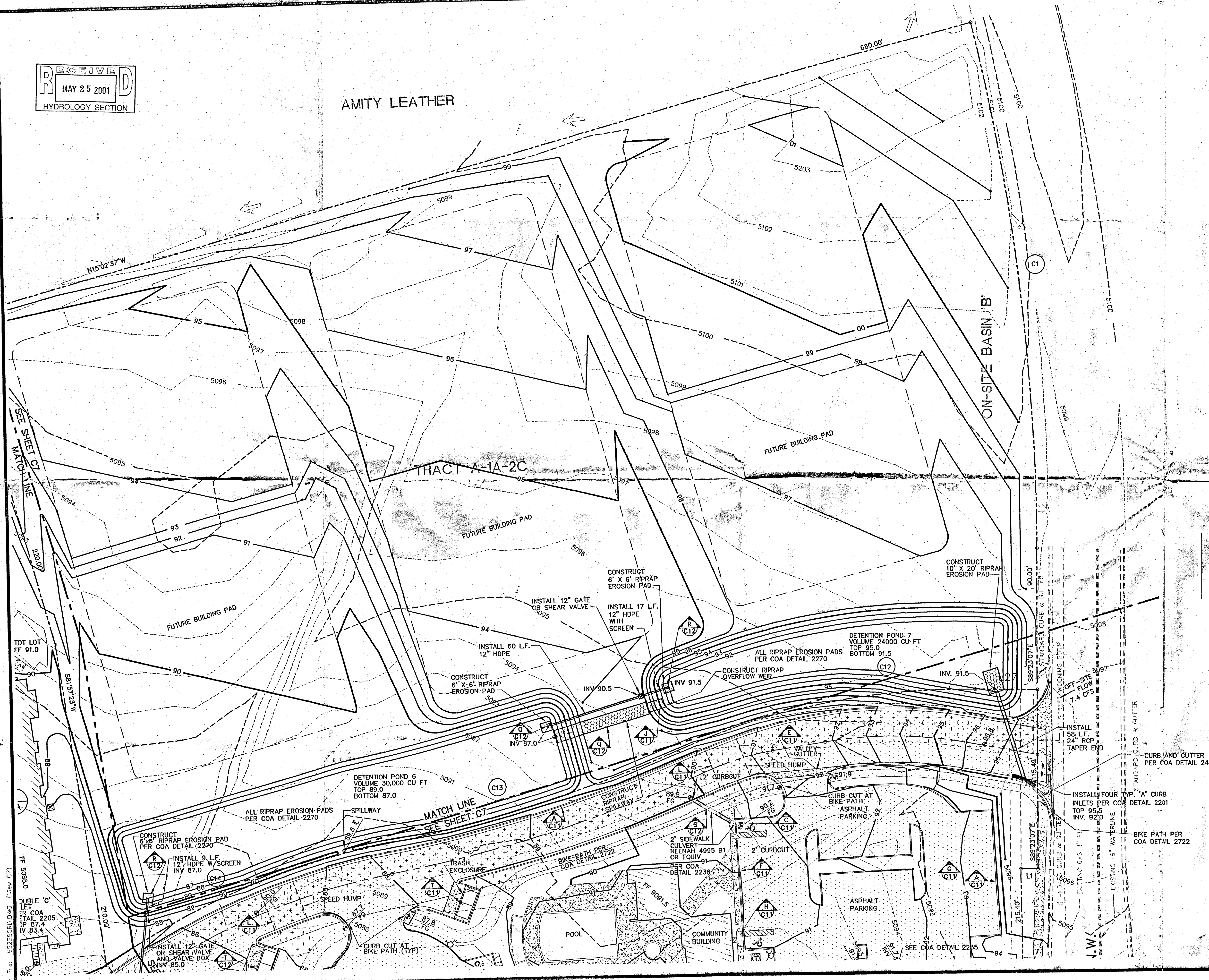
AMITY LEATHER

LEGEND

- SURFACE FLOW DIRECTION
- NEW GATE VALVE AND METER
- NEW GATE VALVE
- NEW FIRE HYDRANT
- NEW SANITARY CLEANOUT
- NEW MANHOLE
- EXISTING MANHOLE
- NEW TRANSFORMER PAD
- NEW SWITCHGEAR PAD
- EXISTING BOUNDARY CORNER
- NEW CHILLER PAD
- PROPOSED BUILDING
- PROPOSED UTILITY EASEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED RIPRAP
- PROPOSED DETENTION POND
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- DESIGN INDEX CONTOUR
- DESIGN CONTOUR
- EXISTING BOUNDARY
- PROPOSED CENTERLINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING CURB AND GUTTER
- EXISTING EASEMENT
- EXISTING FEMA FLOODPLAIN BOUNDARY



SCALE: 1" = 30'



ROBERT ZACHRY ARCHITECT

HUNT BUILDING CORPORATION

BLUEWATER VILLAGE

JOB NAME

REV.

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

89 APACHE RIDGE ROAD SANTA FE NM 87505

4401 NORTH MESA SUITE 201 EL PASO TEXAS 79902

6800 BLUEWATER ROAD NW ALBUQUERQUE NEW MEXICO 87021

ADDRESS

ADDRESS

ADDRESS

ADDRESS

ADDRESS

ADDRESS

ADDRESS

ADDRESS

ADDRESS

ADDRESS

TEL (505) 468 4444 FAX (505) 468 8223

TEL 915 5331122 FAX 915 5330119

Red Mountain Engineers, Inc. NE, Suite 101, Albuquerque, NM 87108

PHONE (505) 859-5064

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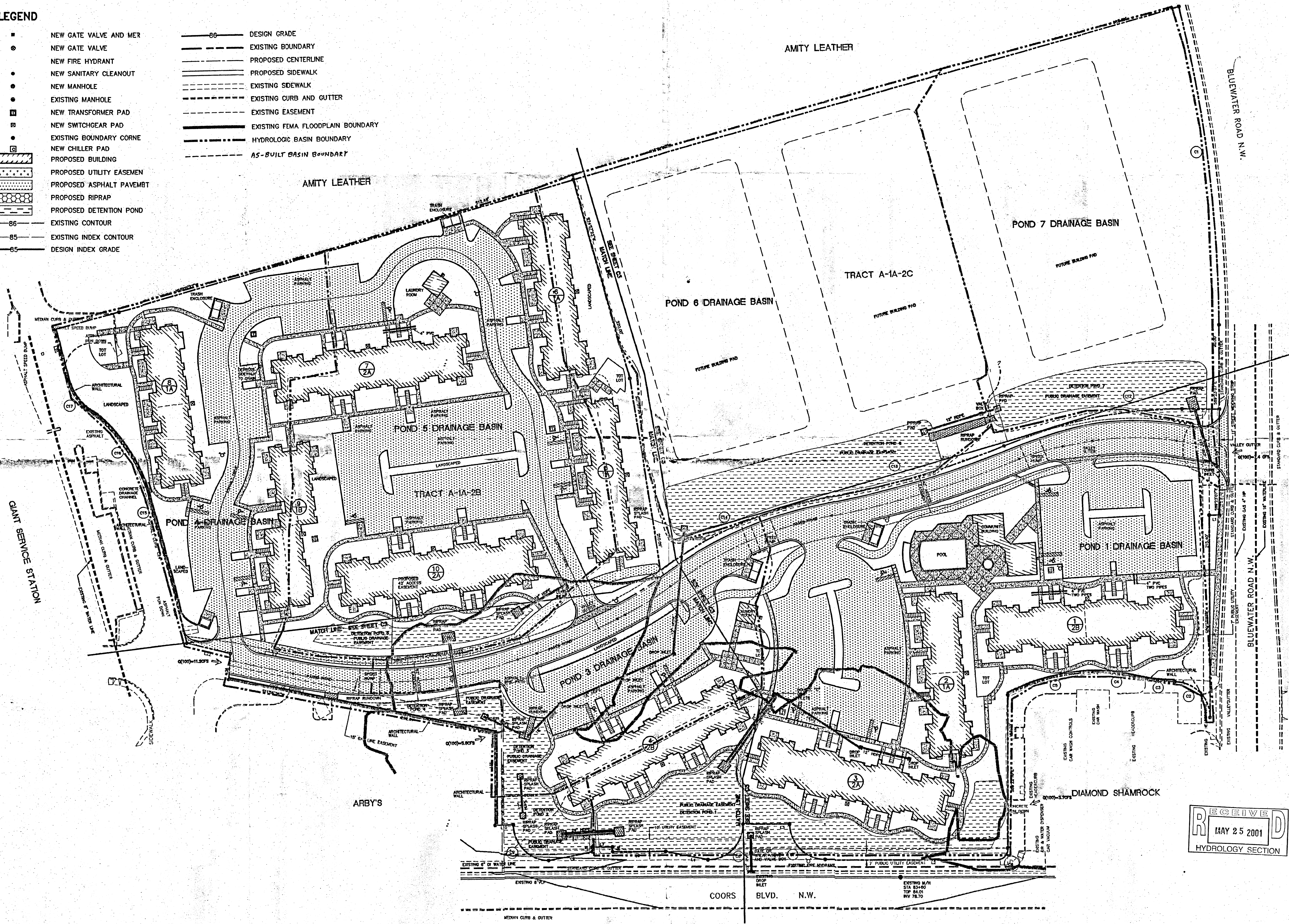
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MAY 25 2001
HYDROLOGY SECTION

LEGEND

- NEW GATE VALVE AND MER
- NEW GATE VALVE
- NEW FIRE HYDRANT
- NEW SANITARY CLEANOUT
- NEW MANHOLE
- EXISTING MANHOLE
- NEW TRANSFORMER PAD
- NEW SWITCHGEAR PAD
- EXISTING BOUNDARY CORNER
- NEW CHILLER PAD
- PROPOSED BUILDING
- PROPOSED UTILITY EASEMENT
- PROPOSED ASPHALT PAVEMENT
- PROPOSED RIPRAP
- PROPOSED DETENTION POND
- 86 EXISTING CONTOUR
- 85 EXISTING INDEX CONTOUR
- 85 DESIGN INDEX GRADE
- 86 DESIGN GRADE
- EXISTING BOUNDARY
- PROPOSED CENTERLINE
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING CURB AND GUTTER
- EXISTING EASEMENT
- EXISTING FEMA FLOODPLAIN BOUNDARY
- HYDROLOGIC BASIN BOUNDARY
- AS-BUILT BASIN BOUNDARY



RECEIVED
MAY 25 2001
HYDROLOGY SECTION



RZA		HUNT BUILDING CORPORATION		ROBERT ZACHRY ARCHITECT	
JOB NO.	92335	JOB NAME	BLUEWATER VILLAGE	200 UNIT MULTI-FAMILY FENTAL COMMUNITY	
DATE	8-23-96	ADDRESS	6800 BLUEWATER ROAD NW ALEXANDRIA NEW MEXICO 8721	4401 NORTH MESA SUITE 201 ELPASO TEXAS 79902	
SCALE	1" = 50'	SHEET TITLE	SITE LAYOUT		
		TEL 915 5331122		TEL (505) 468 8223	
		FAX 915 5330119		FAX (505) 468 8223	
				89 APACHE RIDGE ROAD SANTA FE NM 87505	

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Code Analysis - UBC 1997

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OCCUPANCY SEPARATION WALLS

R-1 1 HOUR SEPARATION WALLS BETWEEN UNITS
B 1 HOUR SEPARATION WALLS TO R-1

OCCUPANT LOAD & EXIT REQUIREMENTS

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NOTE: ALL UNITS HANDICAP ADAPTABLE, COMMUNITY BUILDING HANDICAP ACCESSIBLE

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OCT 16 2002

sheet no.

Total Areas

HEATED

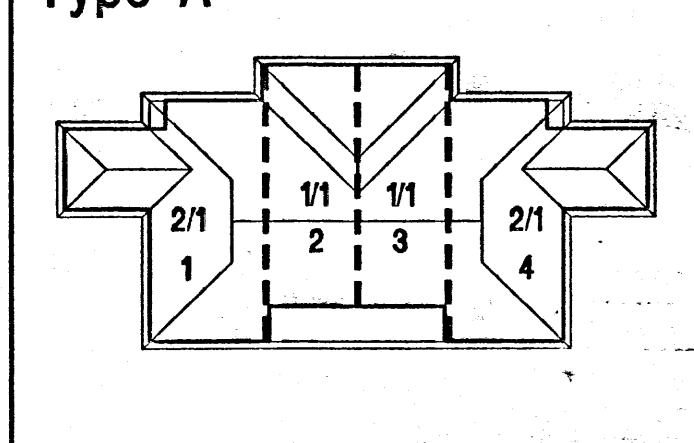
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COVERED

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Building Types and Areas

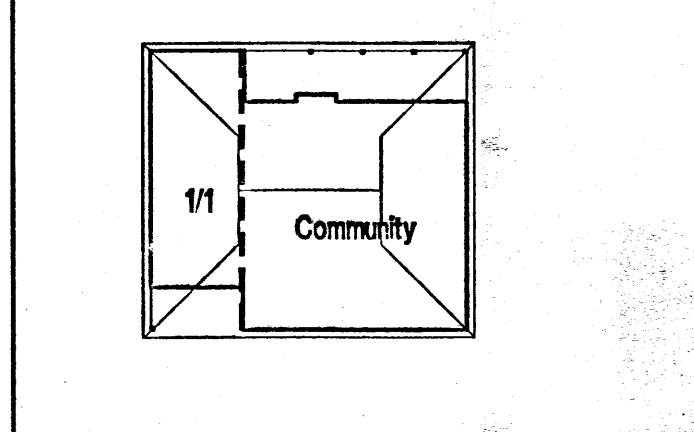
Type A



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1 HOUR SEPARATION WALLS
CONTINUE THRU ATTICS

Type B



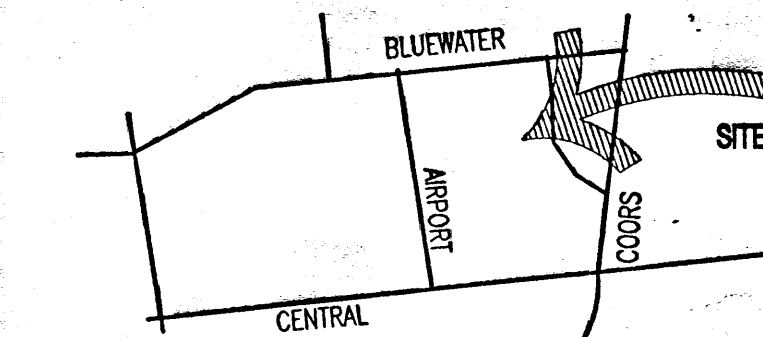
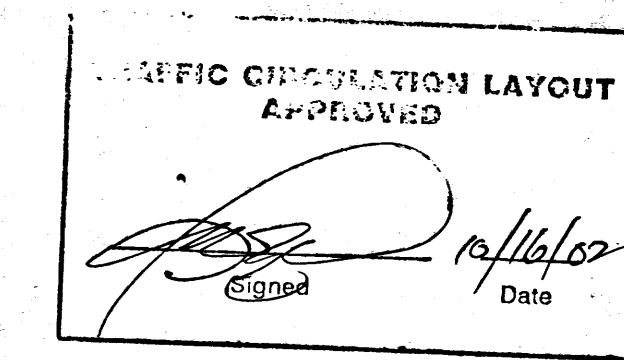
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1 HOUR SEPARATION WALLS
CONTINUE THRU ATTICS

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COMMUNITY BUILDING	
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TOTAL UNITS PER COMMUNITY BUILDING	1 UNIT

TOTAL NUMBER OF BUILDINGS	
BUILDING TYPE 'A'	6 BUILDINGS
COMMUNITY BUILDING	1 BUILDING
TOTAL NUMBER OF BUILDINGS	7 BUILDINGS



Vicinity Map

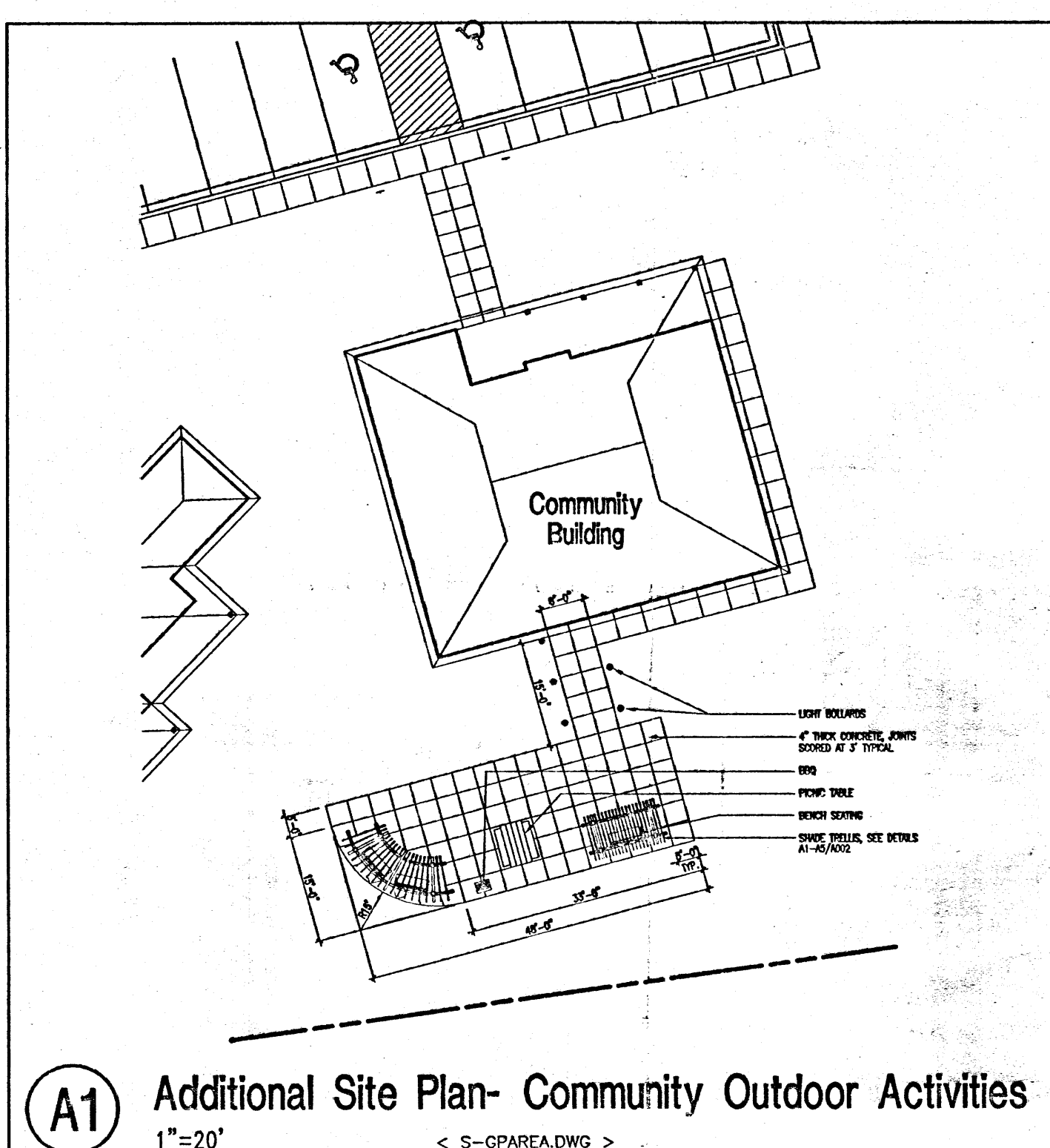
NOT TO SCALE ZONE ATLAS PAGE(S): K-10-Z

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- REFER TO CIVIL DRAWINGS FOR BUILDING PAD ELEVATIONS.
- REFER TO LANDSCAPE DRAWINGS FOR AREAS TO BE LANDSCAPED, PLANT MATERIALS, GROUND COVERS, IRRIGATION SYSTEMS, ETC. TO BE INSTALLED.
- ALL ASPHALT AND CONCRETE CONSTRUCTION MUST BE 100% COMPLETE BEFORE INITIAL INSPECTION, AND BEFORE TEMPORARY C.O. WILL BE SCHEDULED.
- ALL CITY WORK ORDER CONSTRUCTION TO BE COMPLETED PRIOR TO C.O.
- CERTIFICATION BY DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- THE RESPONSIBLE PARTY MUST RECTIFY ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN. ANY FIELD CHANGES NOT ACCEPTED BY TRAFFIC ENGINEER AFTER APPROVAL WILL RESULT IN (1) UNTIMELY DELAY OF INITIAL INSPECTION FOR TEMPORARY CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK. (2) INCREASE IN CONSTRUCTION COST TO THE RESPONSIBLE PARTY.
- REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.

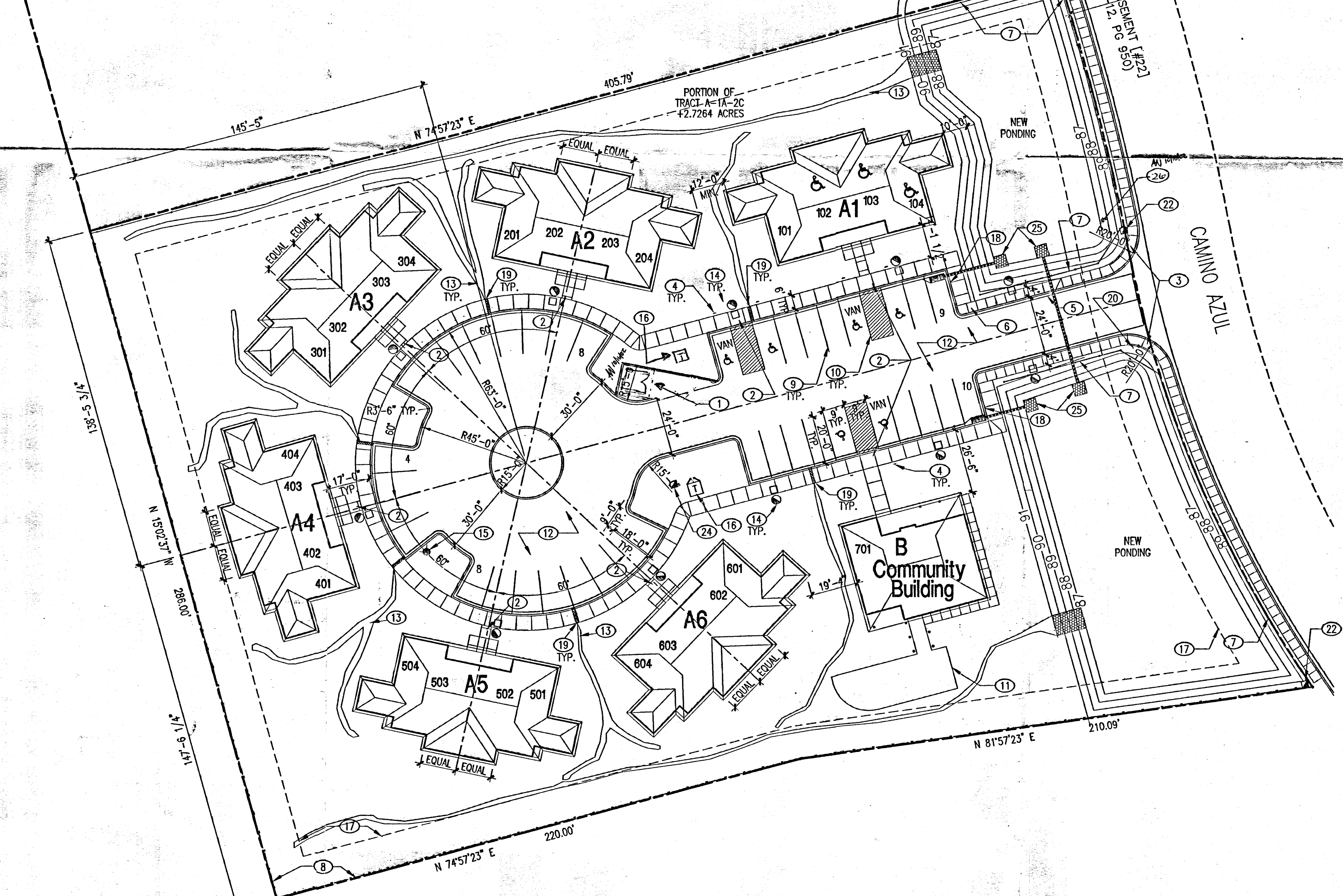
Keyed Notes

- REFUSE DUMPSTER AND ENCLOSURE, REFER TO DETAILS A3,B3,C3,D3/A002.
- HANDICAP RAMP, REFER TO DETAIL A4/A002.
- HANDICAP RAMP, REFER TO DETAIL A5/A002.
- HANDICAP SIGN, PLACED IN FRONT OF EACH HANDICAP SPACE, SEE DETAIL B4/A002.
- CURB AND GUTTER, REFER TO DETAIL B5/A002.
- SIDEWALK, REFER TO DETAIL C5/A002.
- WROUGHT IRON FENCE-NORTH AND EAST PROPERTY LINES AND ENTRY. D4/A002.
- EXISTING CHAIN LINK FENCE AT SOUTH AND WEST PROPERTIES.
- 4" WIDE PAINTED PARKING STRIPING.
- 4" WIDE PAINTED STRIPING AT 18" O.C. FOR HANDICAP LOADING ZONE.
- ADDITIONAL SITE WORK TO BE APPROVED - REFER TO DETAIL A-1/A001.
- ASPHALT PAVING PER CIVIL DRAWINGS.
- PROPOSED SWALE AS PER CIVIL.
- LIGHT POLE.
- PROPOSED FIRE HYDRANT.
- TRANSFORMER.
- SEIBACK.
- CURB CUT AS PER CIVIL.
- 1" SIDEWALK CULVERT TYP. DETAIL C1/A002.
- STOP SIGN.
- 4" MAINTENANCE SIDEWALK.
- EXISTING PUMP SWITCHGEAR, REFER TO E001.
- EXISTING TELEPHONE PEDESTAL, REFER TO E001.
- TELEPHONE AND CABLE PEDESTAL, REFER TO E001.
- TYPE 'A' INLET, 18" RCP, 5'X5' RIP RAP PAD, AS PER CIVIL.
- ADDRESS SIGNAGE AS PER CIVIL.



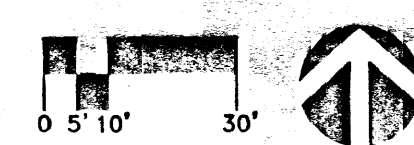
A1 Additional Site Plan- Community Outdoor Activities
1"=20' < S-GPAREA.DWG >

TRACT A-1A-2C
HUBBELL PLAZA
(8/29/96, 96C-376)



D1 Site Plan

1"=30' < SITEPLAN.DWG >



APID T.C.L.

